

# CITY OF ALBUQUERQUE



November 28, 2018

Anissa Hogeland  
1232 Western Meadows Rd  
Albuquerque, NM 87114

**Re: PurLife**  
**4320 Lead Ave. SE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 01-26-2018 (K17D047)  
Certification dated 11-01-18

Dear Ms. Hogeland,

Based upon the information provided in your submittal received 11-26-2018, Transportation Development has no objection to the issuance of a **Permanent Certificate of Occupancy**. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3675.

Sincerely,

Mojgan Maadandar, E.I.  
Associate Engineer, Planning Dept.  
Development Review Services

MM via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

BP - 2017- 40671

Project Title: PurLife Building Permit #: BP-2017-4 City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: 4320 Lead Ave SE, Albuquerque, New Mexico 87108

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: Trevor Reed Contact: Trevor Reed

Address: 4320 Lead Ave SE, Albuquerque, New Mexico 87108

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Anissa Hogeland Contact: Anissa Hogeland

Address: 1232 Western Meadows Rd NW, Albuquerque, New Mexico 87114

Phone#: 505-250-5434 Fax#: \_\_\_\_\_ E-mail: anissaconstruction@gmail.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 11/20/2018 By: Anissa Hogeland

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



GRACELAND

1 SITE PLAN  
A-1 SCALE: 1/8" = 1'-0"

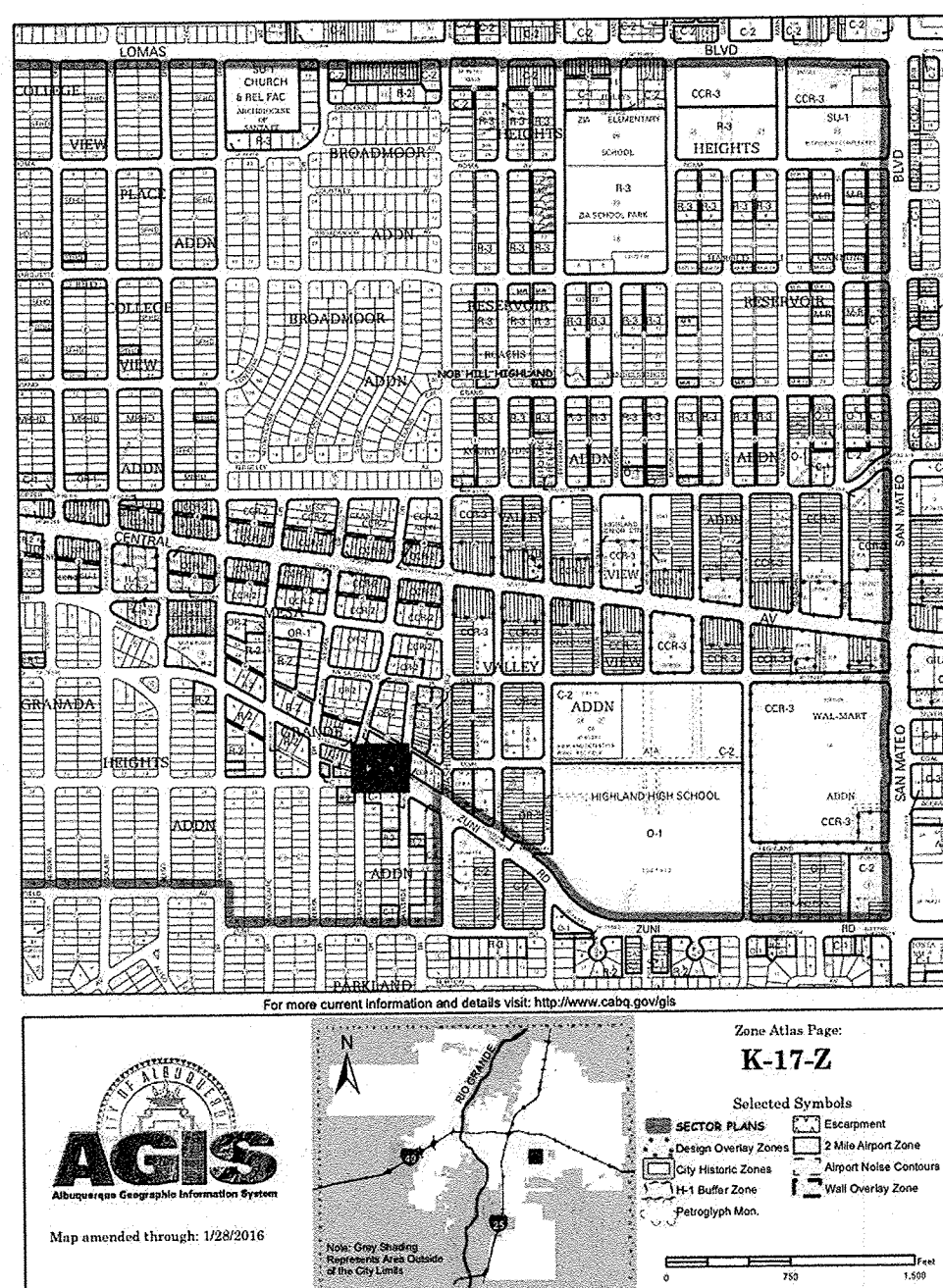
BICYCLE : 1 per 20 auto spaces  
Required: 1 bike space  
Provided: 1 bike space

MOTORCYCLE : 1 per 25 auto spaces  
Required: 1 motorcycle space  
Provided: 2 motorcycle spaces

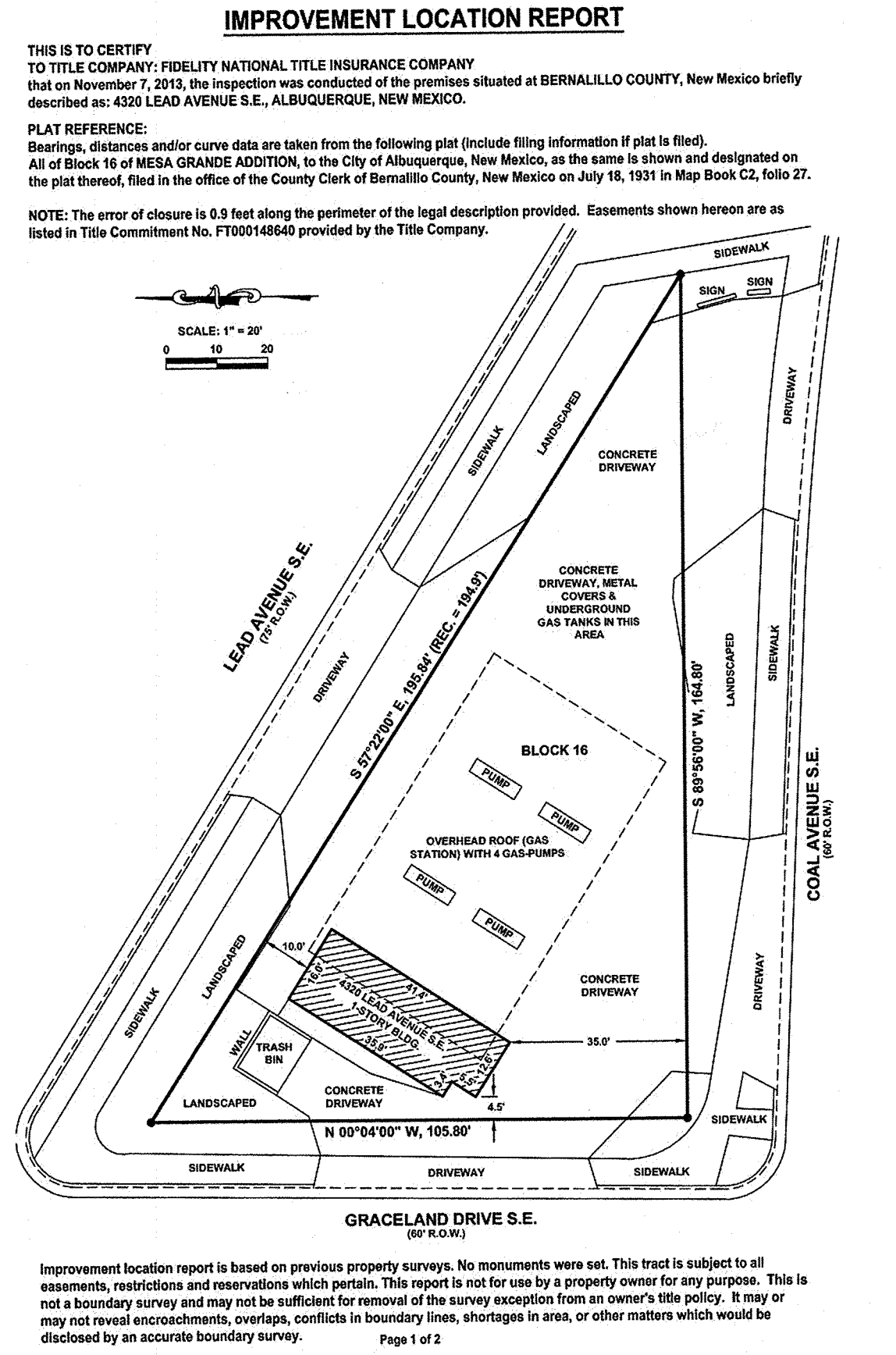
ADA PARKING : 1 per 25 auto spaces  
Required: 1 ADA auto space  
Provided: 1 ADA auto space

Required automobile parking = SF/200  
Required: 9 auto spaces  
Provided: 10 auto spaces

2 CALCULATIONS  
A-1 NOT TO SCALE



3 ZONING PLAN  
A-1 NOT TO SCALE



4 EXISTING SURVEY  
A-1 NOT TO SCALE

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
Signed: [Signature] Date: 01-30-18

## GENERAL INFORMATION

Address: 4320 Lead Ave NE

Type of Development: Business, dispensary

Required parking spaces: 9 spaces  
Provided parking spaces: 10 spaces

Executive Summary: The site is bordered by one-way street Lead and the other one-way street Coal, therefore, the triangular shaped site requires several egress points to accommodate the one-way directional traffic and small site.

Zoning: C-1

## KEYED NOTES

- Existing pole sign to remain.
- Bicycle parking
- Motorcycle parking
- 6" high x 6' long curb stops, anchored with two 1/2" rebar per each curb stop.
- Landscape area, see landscape plan. Existing 6" curb around landscape island radius to remain.
- Wall mounted signage
- Ground mounted mini-split mechanical system, see mechanical drawing. Mounting on concrete pad per manufacturer recommendations.
- Existing irrigation controller.
- Approximate location of existing underground gas line.
- Approximate location of existing water line.
- Existing city water meter.
- Existing power pole.
- Existing overhead powerline to remain.
- Existing dumpster enclosure to remain.
- Gas meter location. Coordinate installation of gas meter with gas company.
- Existing bollards to remain, paint.

## GENERAL NOTES

- A. Locations to be verified by accurate boundary survey.
- B. Field verify all dimensions
- C. Parking lots require a slope between 1% and 8% max.
- D. Parking areas adjacent to circulation and entrances 1% to 6% max.

← DRAINAGE

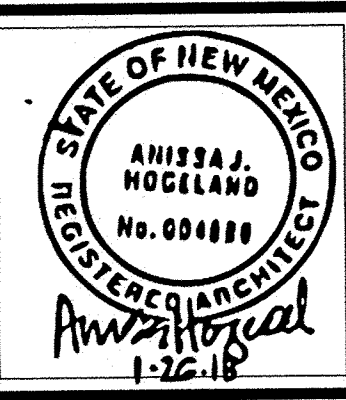
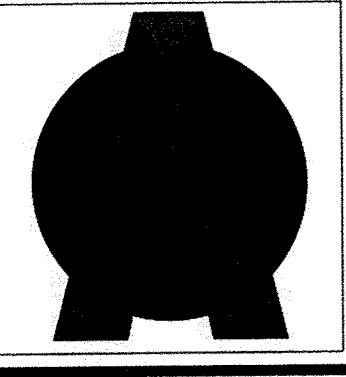
EXISTING BUILDING - to be renovated

NEW ADDITION

EXISTING LANDSCAPE AREA

## SITE SIGNAGE

- A. Accessible Parking:  
Accessible parking spaces must have a 12" x 18" sign that includes the international symbol of accessible and "RESERVED PARKING" and a "VAN ACCESSIBLE". Sign should be mounted at least 60" above the parking surface.
- B. Employee Parking
- C. Motorcycle Parking
- D. Bicycle Parking
- E. One Way



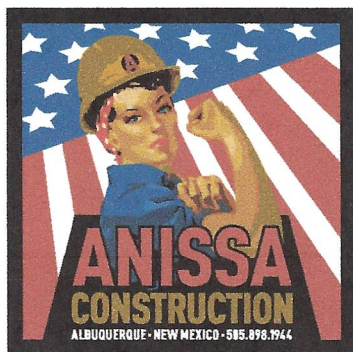
PERMIT NUMBER: BP - 2017-40671  
TRAFFIC CIRCULATION PLAN  
SITE PLAN  
TITLE:

PurLife  
4320 Lead  
Albuquerque, New Mexico

Anissa Construction, inc.  
505) 250-5434  
1232 Western Meadows Rd NW  
Albuq, NM 87114  
fax) 505-898-5811

Rev. 1/26/2018  
A-1  
page \_\_\_\_ of \_\_\_\_





NEW MEXICO  
1232 Western Meadows Rd NW  
Albuquerque, NM 87114  
505) 898-1944 office  
505) 250-5434 cell  
505) 898-5811 fax

COLORADO  
196 N. 5th  
Pagosa Springs, Colorado 81147  
970) 585-4912 office  
505) 250-5434 cell

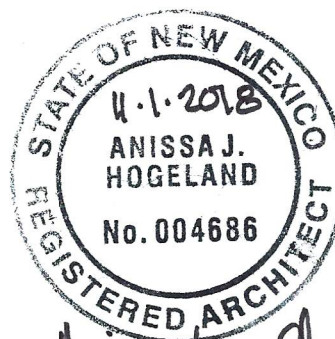
[anissaconstruction@gmail.com](mailto:anissaconstruction@gmail.com)

DATE: 11/20/2018

To: City of Albuquerque  
Transportation Development  
600 2<sup>nd</sup> St NW, Suite 201  
Albuquerque, NM 87102

RE: TRAFFIC CERTIFICATION

Address: 4320 Lead Ave SE, Albuquerque, NM 87108



*Anissa Hogeland*

I, Anissa Hogeland, NMPE or NMRA, OF THE FIRM Anissa Construction, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/29/2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY original survey OF THE FIRM Vladimir Jirik, professional surveyor. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/1/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA DPROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR certificate of occupancy.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENTS ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Anissa*  
(Anissa Hogeland, AIA)

\_\_\_\_\_, ENGINEER'S OR ARCHITECT'S STAMP  
Signature of Engineer or Architect

# CITY OF ALBUQUERQUE



January 30, 2018

Anissa Hogeland  
Anissa Construction  
1232 Western Meadows Rd.  
Albuquerque, NM 87108

**Re: PurLife**  
**4320 Lead Ave SE**  
**Traffic Circulation Layout**  
Architect's Stamp dated 01-26-18 (K17-D047)

Dear Ms. Hogeland,

The TCL submittal received 01-29-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz  
Senior Engineer, Planning Department  
Development Review Services

LWP via: email  
C: File





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

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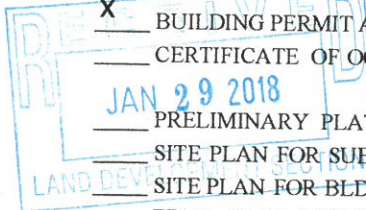
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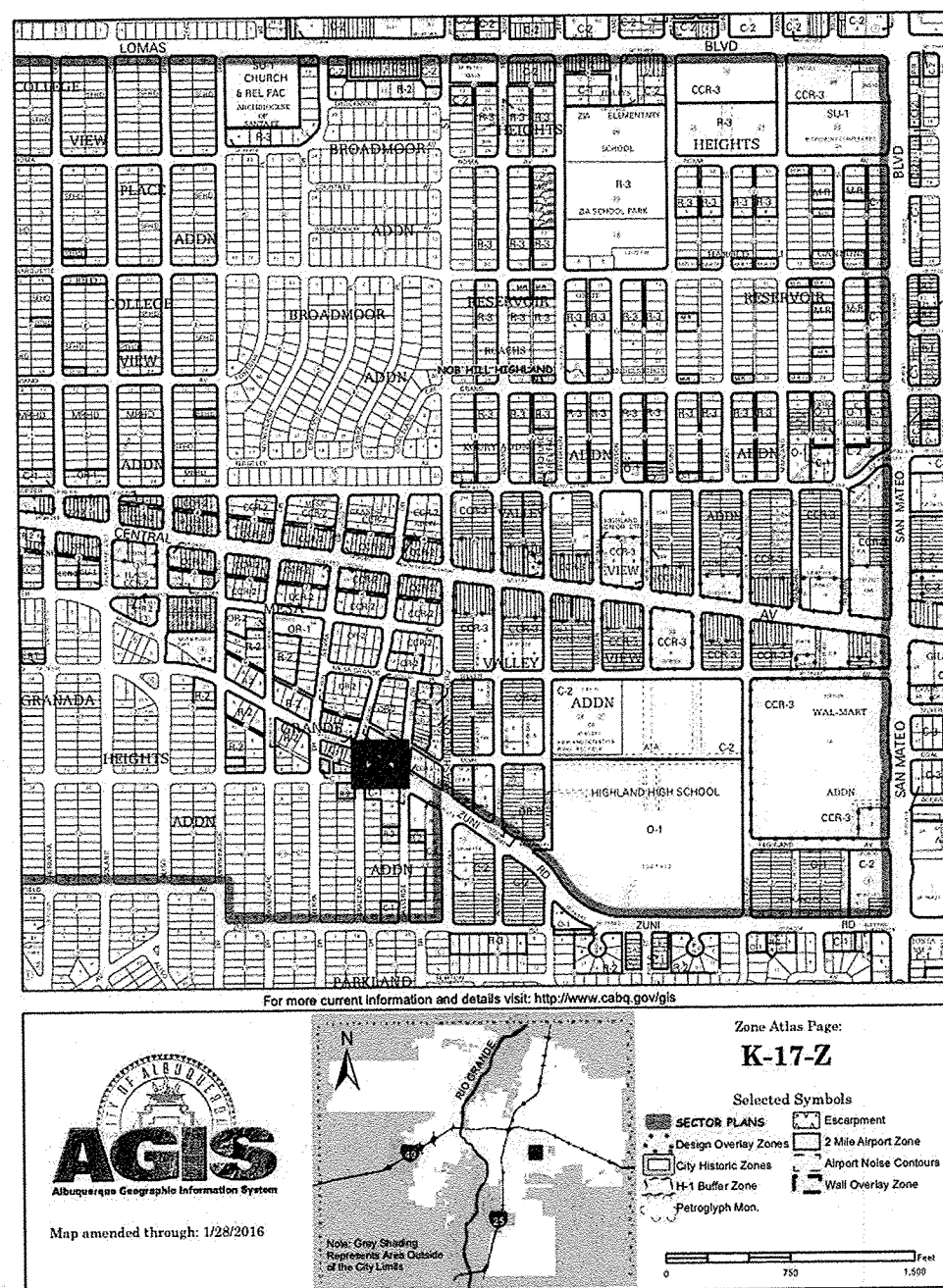
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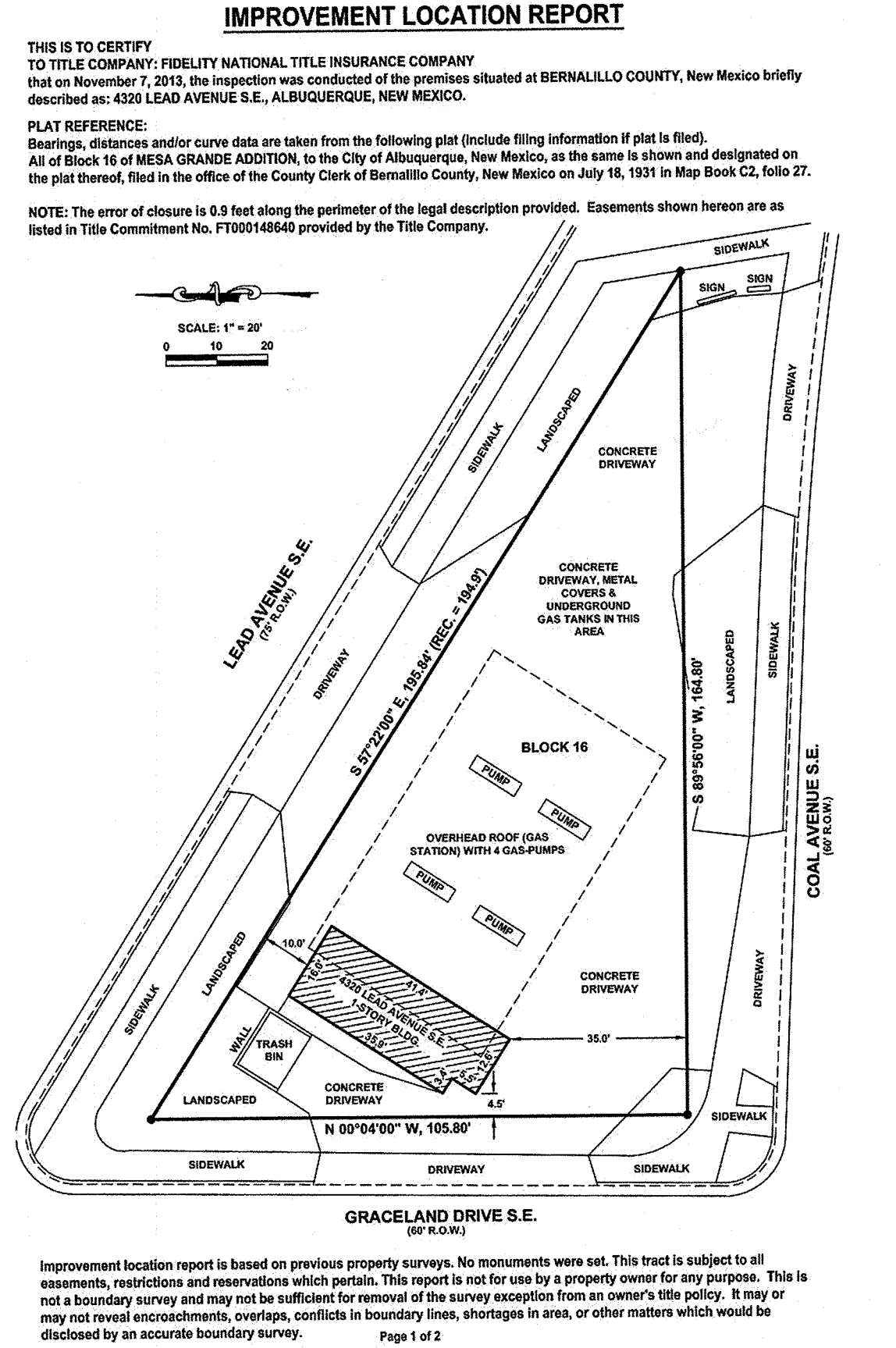
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TRAFFIC CIRCULATION LAYOUT  
APPROVED  
Signed: *Joyce Pate* Date: 01-30-18

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

## GENERAL INFORMATION

Address: 4320 Lead Ave NE

Type of Development: Business, dispensary

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Executive Summary: The site is bordered by one-way street Lead and the other one-way street Coal, therefore, the triangular shaped site requires several egress points to accommodate the one-way directional traffic and small site.

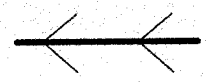
Zoning: C-1

## KEYED NOTES

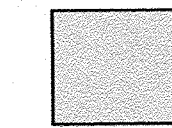
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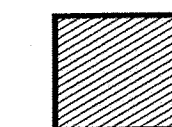
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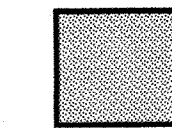
DRAINAGE



EXISTING BUILDING -  
to be renovated



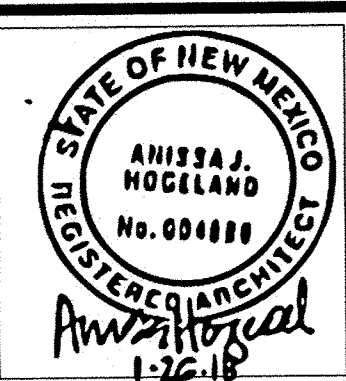
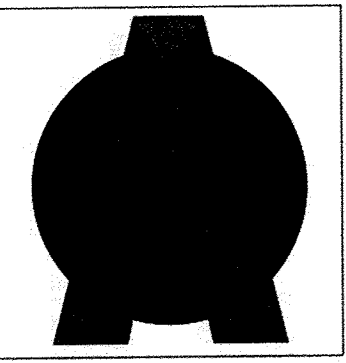
NEW ADDITION



EXISTING LANDSCAPE AREA

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PERMIT NUMBER: BP - 2017-40671  
TRAFFIC CIRCULATION PLAN  
SITE PLAN

TITLE:

PurLife  
4320 Lead  
Albuquerque, New Mexico

Anissa Construction, inc.  
505) 250-5434  
1232 Western Meadows Rd NW  
Albq, NM 87114  
fax) 505-898-5811

Rev. 1/26/2018

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