

# CITY OF ALBUQUERQUE



January 25, 2018

Anissa Hogeland  
1232 Western Meadows Rd  
Albuquerque, NM 87114

**Re: PurLife  
4320 Lead Ave. SE  
Traffic Circulation Layout  
Architect's Stamp XX-XX-XX (K17-D047)**

Dear Ms. Hogeland,

Based upon the information provided in your submittal received 01-16-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier at the top of the current ADA aisle and parking spaces 1 and 2. Please call out detail and location of barrier curb.

The following is not required for approval.

3. Please consider moving the ADA parking space to parking space 9 and 10. (we will allow 8 foot wide parking spaces where the current ADA spot is if you are not able to fit a standard spot in its place.)
4. Please make all parking space 18 feet in length. This may help with flow.
5. Are both Motorcycle spaces needed? One can be eliminated to help flow if needed.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz  
Senior Engineer, Planning Department  
Development Review Services

LWP via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** PurLife - 4320 Lead Ave SE **Building Permit #:** BP-2017-40671 **City Drainage #:** K17D047  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** 4320 Lead Ave SE  
**City Address:** Albuquerque, New Mexico 87108

**Engineering Firm:** not applicable **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** Trevor Reed **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** 541-598-5765 **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** Anissa Hogeland **Contact:** \_\_\_\_\_  
**Address:** 1232 Western Meadows Rd NW  
**Phone#:** 505-250-5434 **Fax#:** 505-898-5811 **E-mail:** anissaconstruction@gmail.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

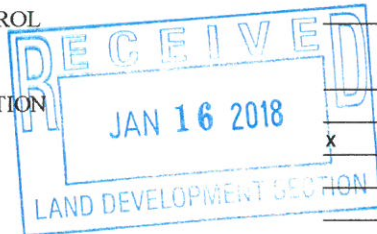
Check all that Apply:

**DEPARTMENT:**  
 HYDROLOGY/ DRAINAGE  
 TRAFFIC/ TRANSPORTATION  
 MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

BUILDING PERMIT APPROVAL  
 CERTIFICATE OF OCCUPANCY  
 PRELIMINARY PLAT APPROVAL  
 SITE PLAN FOR SUB'D APPROVAL  
 SITE PLAN FOR BLDG. PERMIT APPROVAL  
 FINAL PLAT APPROVAL  
 SIA/ RELEASE OF FINANCIAL GUARANTEE  
 FOUNDATION PERMIT APPROVAL  
 GRADING PERMIT APPROVAL  
 SO-19 APPROVAL  
 PAVING PERMIT APPROVAL  
 GRADING/ PAD CERTIFICATION  
 WORK ORDER APPROVAL  
 CLOMR/LOMR  
 PRE-DESIGN MEETING  
 OTHER (SPECIFY) \_\_\_\_\_

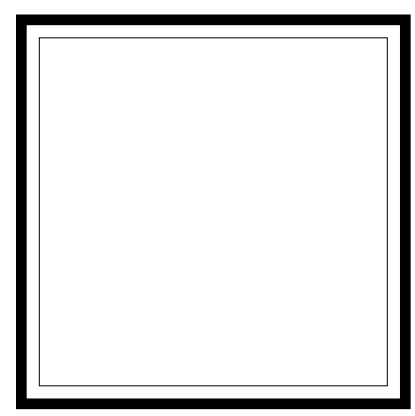
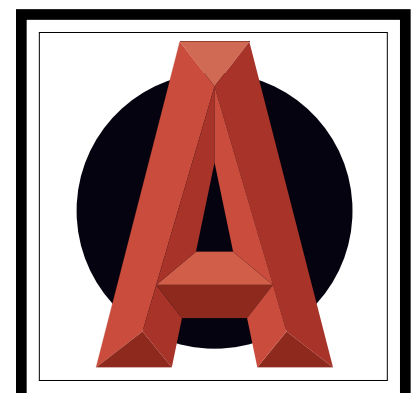
**TYPE OF SUBMITTAL:**  
 ENGINEER/ ARCHITECT CERTIFICATION  
 CONCEPTUAL G & D PLAN  
 GRADING PLAN  
 DRAINAGE MASTER PLAN  
 DRAINAGE REPORT  
 CLOMR/LOMR  
 TRAFFIC CIRCULATION LAYOUT (TCL)  
 TRAFFIC IMPACT STUDY (TIS)  
 EROSION & SEDIMENT CONTROL PLAN (ESC)  
 OTHER (SPECIFY) \_\_\_\_\_



IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: 1/15/2018 By: Anissa Hogeland

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



**PERMIT NUMBER: BP - 2017-40671**  
**TRAFFIC CIRCULATION PLAN**  
**SITE PLAN**

TITLE:

PutLife  
 4320 Lead  
 Albuquerque, New Mexico

**Anissa Construction, inc.**  
 505) 250-5434  
 1232 Western Meadows Rd NW  
 Albuq., NM 87114  
 fax) 505-898-5811

Rev. 1/15/2018  
**A-1**  
 page \_\_\_ of \_\_\_

**GENERAL INFORMATION**

Address: 4320 Lead Ave NE  
 Type of Development: Business, dispensary  
 Required parking spaces: 9 spaces  
 Provided parking spaces: 10 spaces

Executive Summary: The site is bordered by one-way street Lead and the other one-way street Coal, therefore, the triangular shaped site requires several egress points to accommodate the one-way directional traffic and small site.

Zoning: C-1

**KEYED NOTES**

1. Existing pole sign to remain.
2. Bicycle parking
3. Motorcycle parking
4. 6' curb stops
5. Landscaped area, see landscape plan. Existing 6' curb around landscape island radius to remain.
6. Wall mounted signage
7. Ground mounted mini-split mechanical system, see mechanical drawing. Mounting on concrete pad per manufacturer recommendations.
8. Existing irrigation controller.
9. Approximate location of existing underground gas line.
10. Approximate location of existing water line.
11. Existing city water meter.
12. Existing power pole.
13. Existing overhead powerline to remain.
14. Existing dumpster enclosure to remain.
15. Gas meter location. Coordinate installation of gas meter with gas company.
16. Existing bollards to remain, paint.

**GENERAL NOTES**

- A. Locations to be verified by accurate boundary survey.
- B. Field verify all dimensions
- C. Parking lots require a slope between 1% and 8% max.
- D. Parking areas adjacent to circulation and entrances 1% to 6% max.
- E.

	DRAINAGE
	EXISTING BUILDING - to be renovated
	NEW ADDITION
	EXISTING LANDSCAPE AREA

**SITE SIGNAGE**

- A. Accessible Parking: Accessible parking spaces must have a 12" x 18" sign that includes the international symbol of accessible and "RESERVED PARKING" and a "VAN ACCESSIBLE". Sign should be mounted at least 60" above the parking surface.
- B. Employee Parking
- C. Motorcycle Parking
- D. Bicycle Parking
- E. One Way

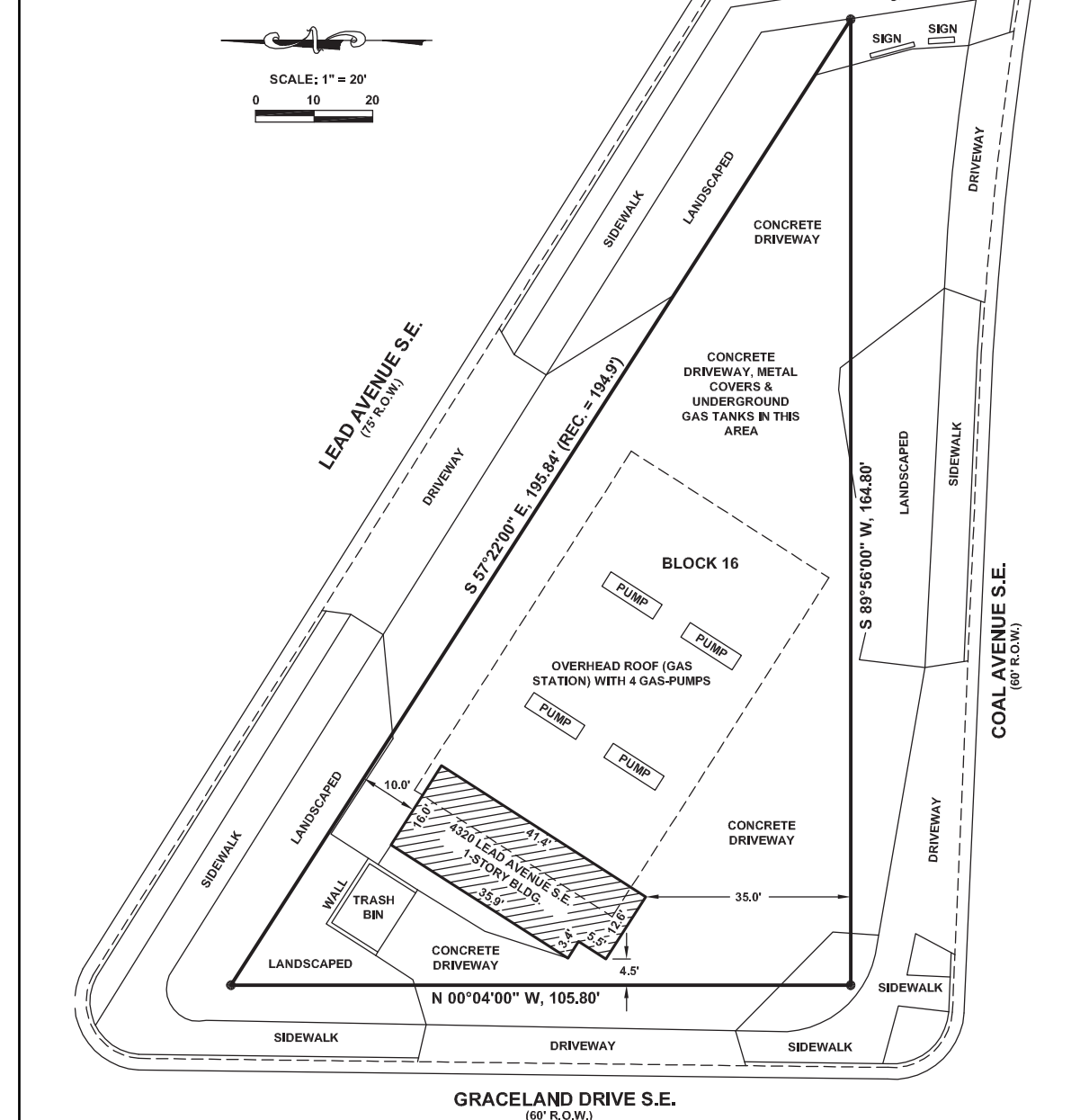


**IMPROVEMENT LOCATION REPORT**

THIS IS TO CERTIFY TO TITLE COMPANY: FIDELITY NATIONAL TITLE INSURANCE COMPANY that on November 7, 2013, the Inspector was conducted of the premises situated at BERNALILLO COUNTY, New Mexico briefly described as: 4320 LEAD AVENUE S.E., ALBUQUERQUE, NEW MEXICO.

PLAT REFERENCE: Bearings, distances and/or curve data are taken from the following plat (include filing information if plat is filed). All of Block 16 of MESA GRANDE ADDITION, to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 18, 1931 in Map Book C2, folio 27.

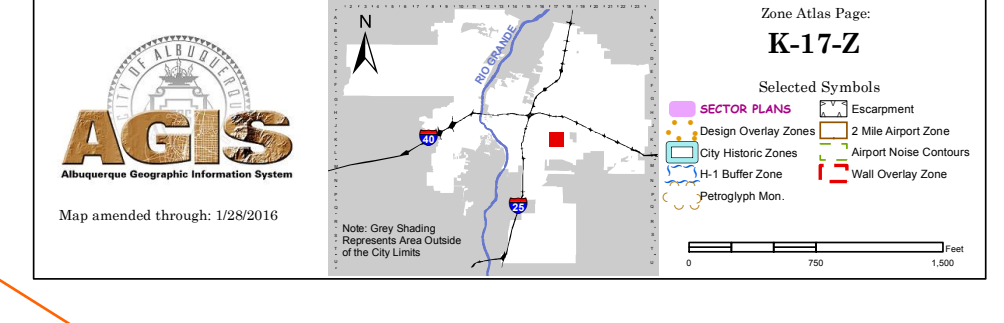
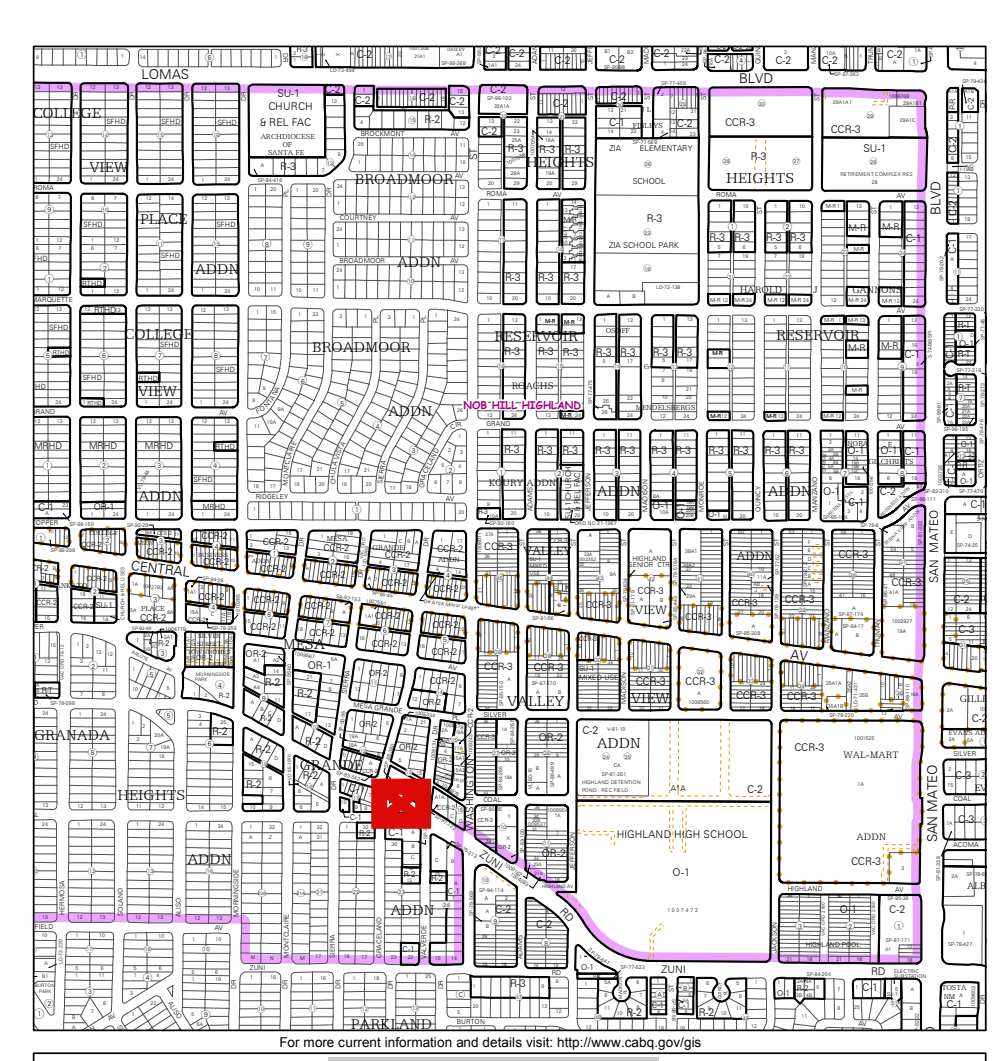
NOTE: The error of closure is 0.3 feet along the perimeter of the legal description provided. Easements shown hereon are as listed in Title Commitment No. FT00148540 provided by the Title Company.



Improvement location report is based on previous property surveys. No monuments were set. This tract is subject to all easements, restrictions and reservations which pertain. This report is not for use by a property owner for any purpose. This is not a boundary survey and may not be sufficient for removal of the survey exception from an owner's title policy. It may or may not reveal encroachments, overlaps, conflicts in boundary lines, shortages in area, or other matters which would be disclosed by an accurate boundary survey.

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**4 EXISTING SURVEY**  
 A-1 NOT TO SCALE



**3 ZONING PLAN**  
 A-1 NOT TO SCALE

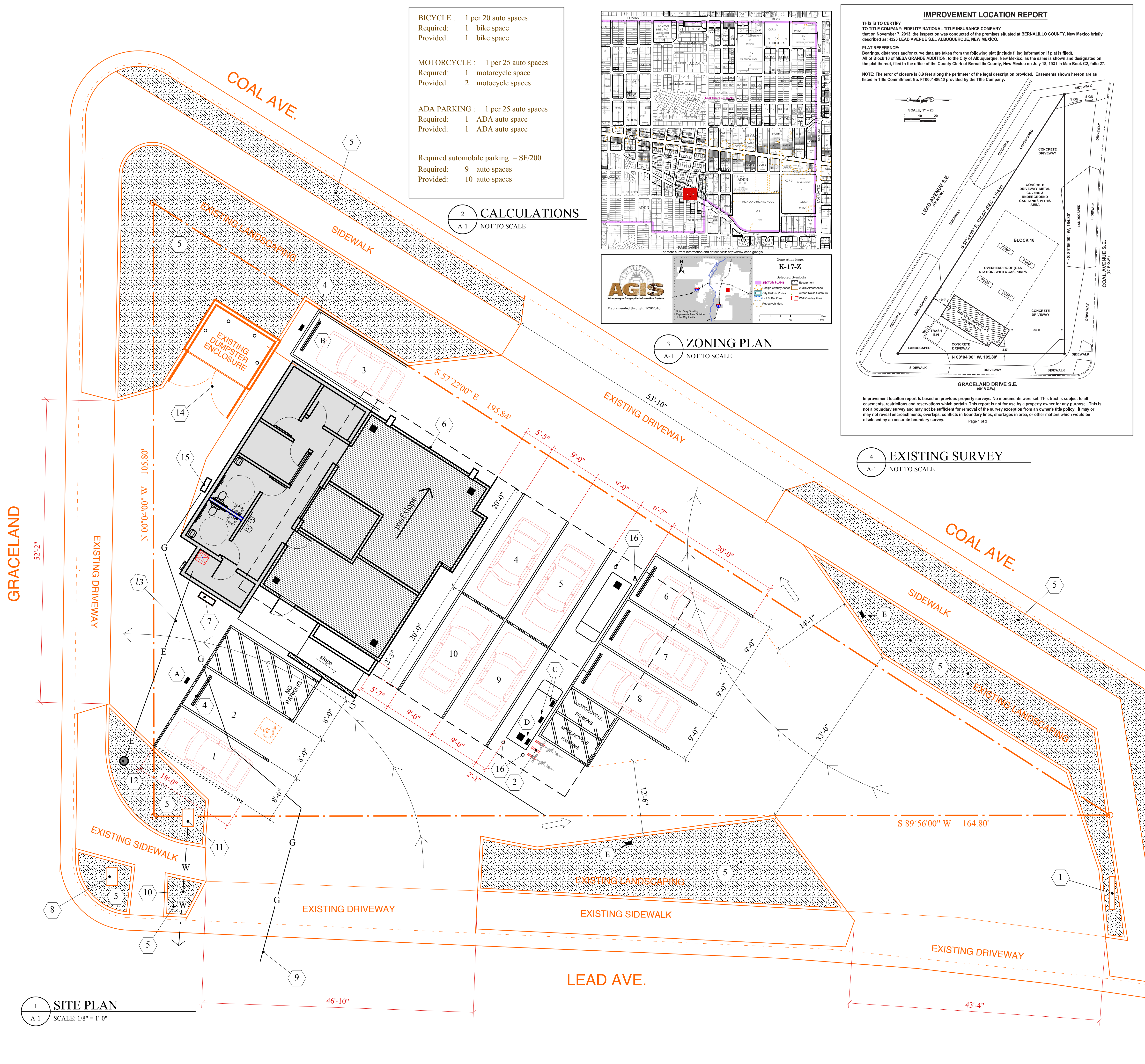
**BICYCLE :** 1 per 20 auto spaces  
 Required: 1 bike space  
 Provided: 1 bike space

**MOTORCYCLE :** 1 per 25 auto spaces  
 Required: 1 motorcycle space  
 Provided: 2 motorcycle spaces

**ADA PARKING :** 1 per 25 auto spaces  
 Required: 1 ADA auto space  
 Provided: 1 ADA auto space

Required automobile parking = SF/200  
 Required: 9 auto spaces  
 Provided: 10 auto spaces

**2 CALCULATIONS**  
 NOT TO SCALE



**1 SITE PLAN**  
 A-1 SCALE: 1/8" = 1'-0"

