



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION

123 Central NW, Albuquerque, NM 87102

(505) 766-7644

August 13, 1986

Thomas O. Isaacson
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: DRAINAGE PLAN FOR JEFFERSON STREET APARTMENTS
(K-17/D49) ENGINEER'S STAMP DATED AUGUST 8, 1986

Dear Tom:

Based on the information provided on your August 8, 1986 submittal, the above referenced drainage plan is approved for Building Permit.

Please attach a copy of this approved drainage plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 766-7644.

Cordially,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Jefferson St. Apts. ZONE ATLAS/DRAINAGE FILE # D-18 K17/D49

LEGAL DESCRIPTION: (see plan)

CITY ADDRESS: 420 Jefferson St. NE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee

ADDRESS: 128 Monroe St NE PHONE: 268-8828

OWNER: Sunburst Technology, Inc. CONTACT: Annis Barousse

ADDRESS: Albuquerque, N.M. PHONE: 268-7617

ARCHITECT: AKT Architects CONTACT: Kent Trauernight

ADDRESS: P.O. Box 3366 Albuquerque, N.M. PHONE: 281-9560

SURVEYOR: Southwest Surveying CONTACT: Frank Wilson

ADDRESS: Albuquerque, N.M. PHONE: 247-4444

CONTRACTOR: UNKN CONTACT: _____

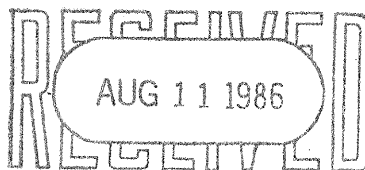
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

xx YES

____ NO

xx COPY OF CONFERENCE
RECAP SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

xx DRAINAGE PLAN

____ CONCEPTUAL GRADING & DRAIN PLAN

____ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

____ SECTOR PLAN APPROVAL

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ SITE DEVELOPMENT PLAN APPROVAL

____ FINAL PLAT APPROVAL

xx BUILDING PERMIT APPROVAL

____ FOUNDATION PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

____ ROUGH GRADING PERMIT APPROVAL

____ GRADING/PAVING PERMIT APPROVAL

____ OTHER _____ (SPECIFY)

DATE SUBMITTED: AUGUST 11, 1986

BY: Scott M McGee

BENCHMARK(S):

ACS 1-J17", A SQUARE CHISELED ON TOP OF CONCRETE CURB AT THE WNW CURB RETURN IN THE NW QUADRANT OF THE INTERSECTION OF MONROE ST. WITH LOMAS BLVD.
ELEVATION= 5225.22

TEMPORARY RM: TOP OF BLOCK COURSE ON EAST PROPERTY LINE FIVE FEET SOUTH OF THE NE PROPERTY CORNER.
ELEVATION: 5225.40

LEGAL DESCRIPTION

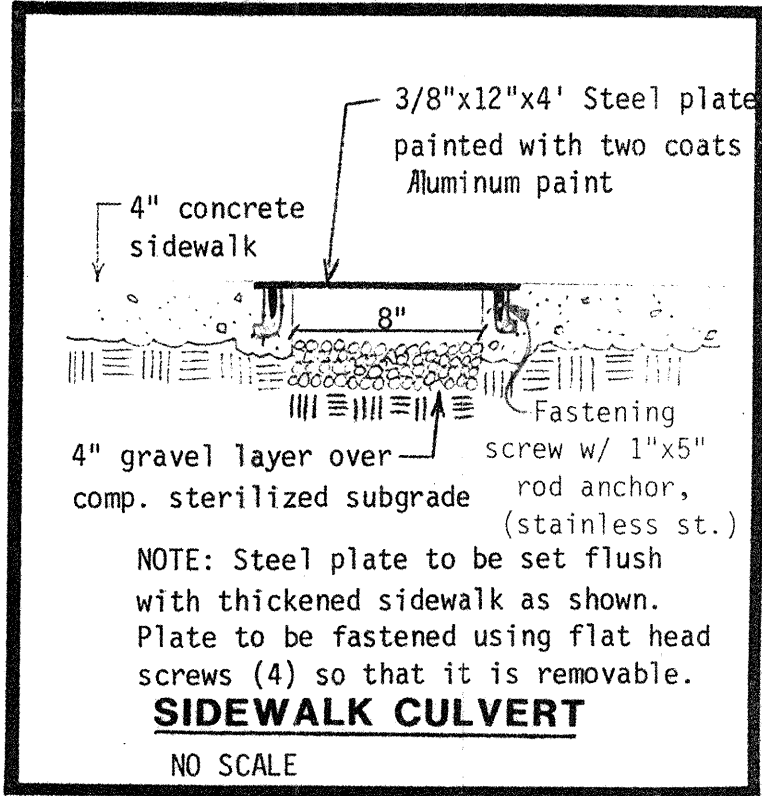
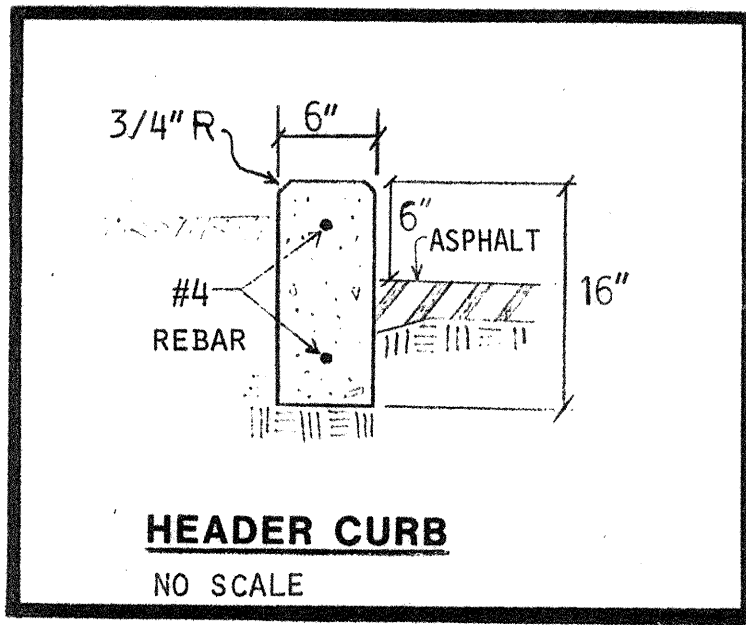
THE NORTHERLY EIGHTY (80) FEET OF THE SOUTHERLY 164.5 FEET OF THE WESTERLY 275 FEET OF TRACT EIGHTEEN (18) OF HEIGHTS RESERVOIR ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON THE 21ST DAY OF MAY, 1923. ALSO, THE WESTERLY ONE-HALF (1/2), BEING THE WESTERLY THIRTY (30) FEET OF LAND WHICH WAS ORIGINALLY DEDICATED AS MADISON STREET, N.E., WHICH LIES ADJACENT TO THE ABOVE DESCRIBED PROPERTY.

SURVEY: SOUTHWEST SURVEYING CO., INC. DATED JULY 28, 1986.

FLOOD HAZARD STATEMENT: FROM PANEL 29 OF 50 - FEMA FLOOD MAPS, THIS SITE IS NOT WITHIN AN ESTABLISHED FLOOD HAZARD AREA, NOR DOES IT DISCHARGE TO A FLOOD ZONE.

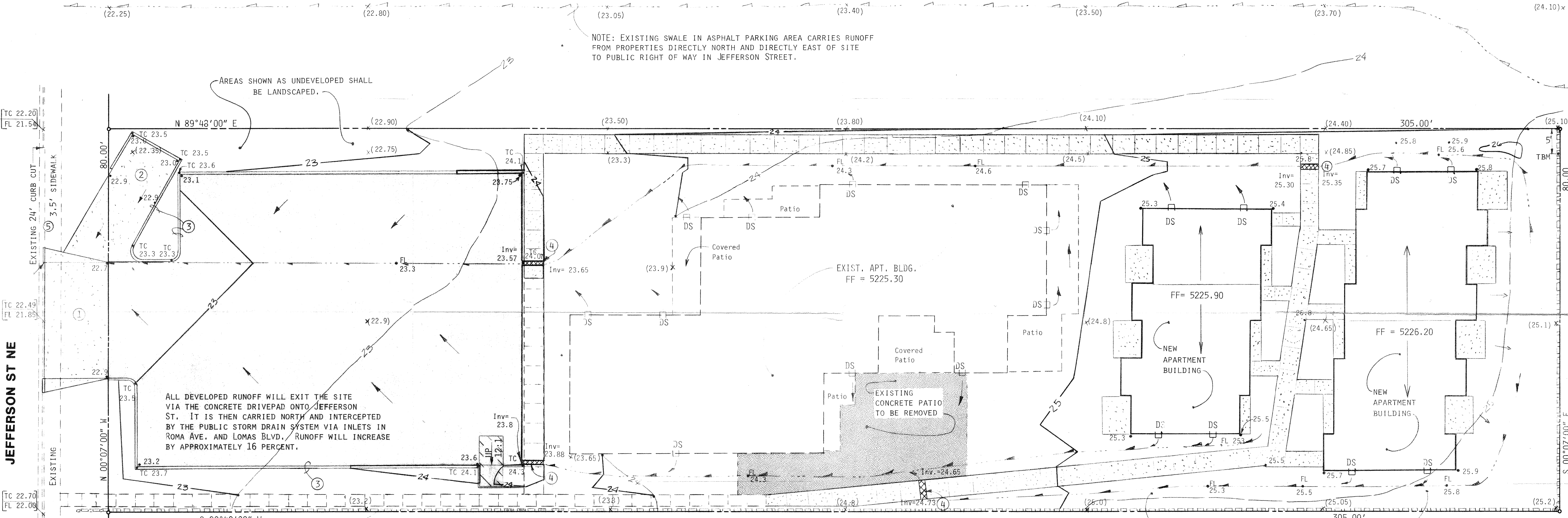
SOILS: FROM THE SCS SOIL SURVEY OF BERNALILLO COUNTY, THESE WINK-EMBUDO FINE SANDY LOAM SOILS ARE CLASSIFIED AS HYDROLOGIC SOIL GROUP 'B' SOILS.

OFFSITE FLOWS: SUBJECT SITE DOES NOT ACCEPT ANY OFFSITE FLOWS.



SCALE: 1"=10'

NOTE: EXISTING SWALE IN ASPHALT PARKING AREA CARRIES RUNOFF FROM PROPERTIES DIRECTLY NORTH AND DIRECTLY EAST OF SITE TO PUBLIC RIGHT OF WAY IN JEFFERSON STREET.



COMPOSITE 'C' VALUES

EXISTING:

TYPE	% AREA	C	TOTAL
ROOF	28	0.90	0.25
PARKING & WALKS	28	0.95	0.27
LANDSCAPING	13	0.25	0.03
UNDEVELOPED	31	0.40	0.12

PROPOSED:

TYPE	% AREA	C	TOTAL
ROOF	50	0.90	0.45
PARKING & WALKS	29	0.95	0.28
LANDSCAPING	21	0.25	0.05

DRAINAGE CALCULATIONS

Q = CIA Q₁₀ = 0.657 (Q₁₀₀)
COMPOSITE 'C' VALUES:
EXISTING C = 0.67
PROPOSED C = 0.78
I = (2.3)(2.16) = 4.97 (FROM DPM PLATES)
A = 0.5601 ACRES

	EXISTING	PROPOSED
Q ₁₀₀ (cfs)	1.9	2.2
Q ₁₀ (cfs)	1.3	1.5
V ₁₀₀ (cf)	3134	3648
V ₁₀ (cf)	2059	2397



VICINITY MAP

LEGEND

- EXISTING CURB, GUTTER & SIDEWALK
- EXISTING BLOCK WALL
- FF = 5225.30 FINISH FLOOR ELEVATION
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB ELEV. FLOWLINE
- PROPOSED SPOT ELEVATION
- ROOF DOWNSPOUT
- EXISTING GRAVEL PARKING AREA TO BE PAVED

KEYED NOTES

- 24 FOOT WIDE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL P-11.
- REFUSE ENCLOSURE PER CURRENT CITY REQUIREMENTS.
- SEE HEADER CURB DETAIL. PROVIDE CONTRACTION JOINTS AT 10' O.C., PROVIDE EXPANSION JOINTS AT 50' O.C.
- SEE SIDEWALK CULVERT DETAIL.
- REMOVE & REBUILD CURB CUT PORTION OF CURB TO STANDARD CURB SECTION, REMOVE & REPLACE ALL DEPRESSED SIDEWALK SECTIONS.

APPROVED
AUG 11 1986
HYDROLOGY SECTION



Date: 8-8-86
Designed: SMM
Checked: TOI

Isaacson & Arfman, P.A.
CONSULTING ENGINEERING ASSOCIATES
Albuquerque, New Mexico

DRAINAGE & GRADING PLAN

JEFFERSON ST APTS
420 JEFFERSON ST NE

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of