

FILE COPY



KEN SCHULTZ  
MAYOR

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 24, 1989

Fred Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe Street, NE  
Albuquerque, New Mexico 87108

RE: DRAINAGE PLAN FOR AN ADDITION TO CONSULTING ENGINEERING  
ASSOCIATES (K-17/D61) ENGINEER'S STAMP DATED MARCH 10, 1989

Dear Mr. Arfman:

Based on the information provided on your submittal of March 13, 1989,  
the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to  
sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at  
768-2650.

Cordially,

*Bernie J. Montoya*  
Bernie J. Montoya, C.E.  
Engineering Assistant

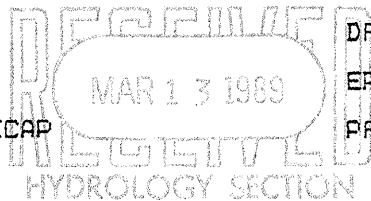
BJM/bsj  
(WP+1056)

## DRAINAGE INFORMATION SHEET

K17/1201

PROJECT TITLE: CONSULTING ENGR ASSOC. ZONE ATLAS/DRNG. FILE #: 4-17  
LEGAL DESCRIPTION: LOT 38-A-2, BLK 91, VALLEY VIEW ADDITION  
CITY ADDRESS: 128 MONROE ST. N.E.  
ENGINEERING FIRM: ISAACSON & ARFMAN CONTACT: FRED ARFMAN  
ADDRESS: 128 MONROE ST. N.E. PHONE: 268-8828  
OWNER: MONROE STREET VENTURE CONTACT: FRED ARFMAN  
ADDRESS: 128 MONROE ST. N.E. PHONE: 268-8528  
ARCHITECT: DEKKER & ASSOC. CONTACT: DALE DEKKER  
ADDRESS: 620 1ST ST. N.W. PHONE: 297-2888  
SURVEYOR: WILLIAM P. PETTIT CONTACT: BILL PETTIT  
ADDRESS: \_\_\_\_\_ PHONE: 268-6631  
CONTRACTOR: N/A. CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP  
SHEET PROVIDED

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

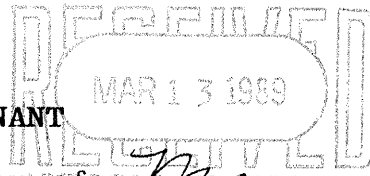
## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER \_\_\_\_\_ (SPECIFY)DATE SUBMITTED: 3-13-89BY: FRED C. ARFMAN



8921007

DRAINAGE COVENANT



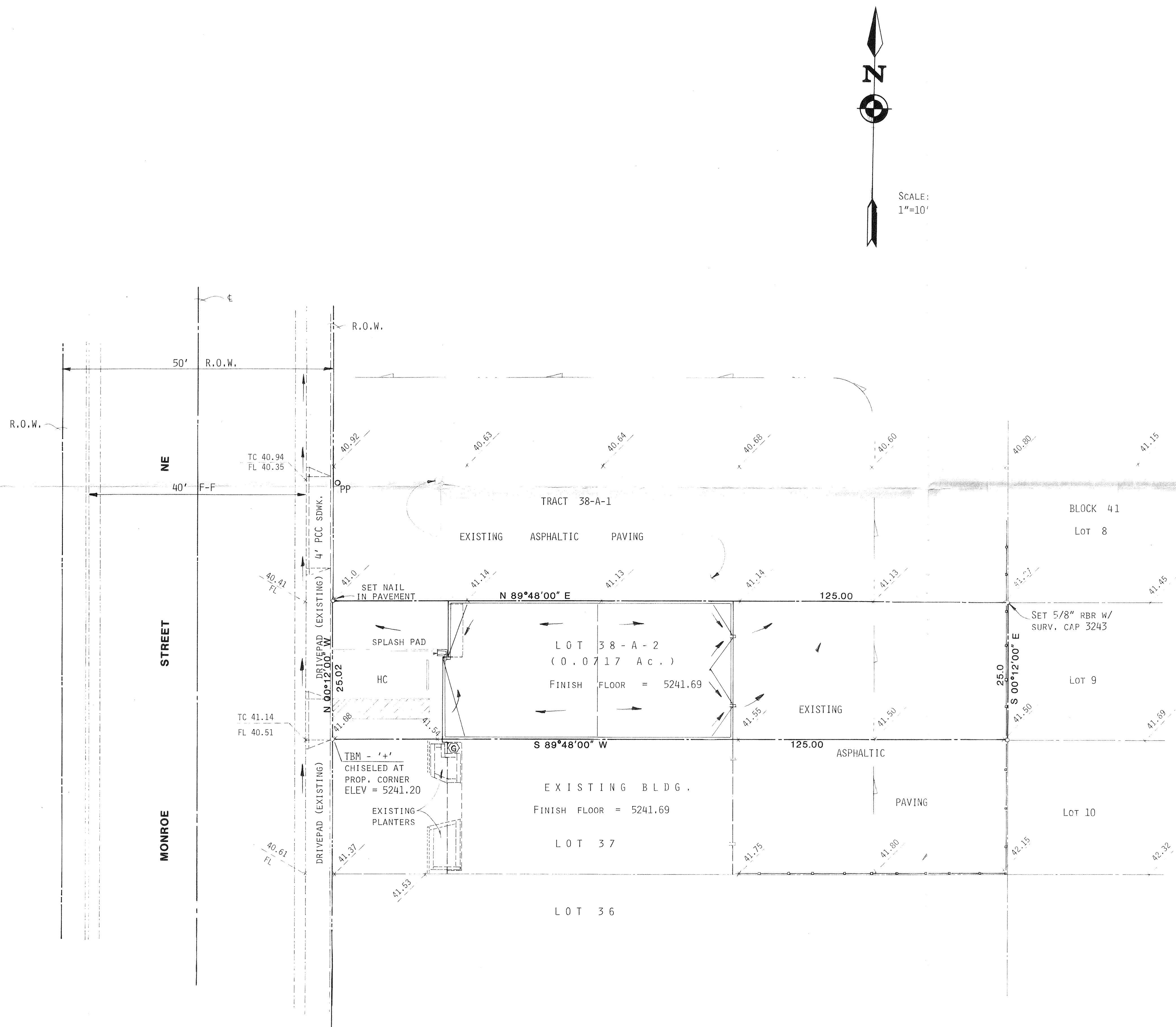
THIS COVENANT made this 13 day of May 1988, by and between the Mid Rio Grande Chapter of the American National Red Cross, Owner of Lot 38-A-1 in Block 41, of the Valley View Addition, City of Albuquerque, County of Bernalillo, State of New Mexico as the same is filed in the office of the Bernalillo County Clerk on February 3, 1988 in Volume C35, Folio 156,

and

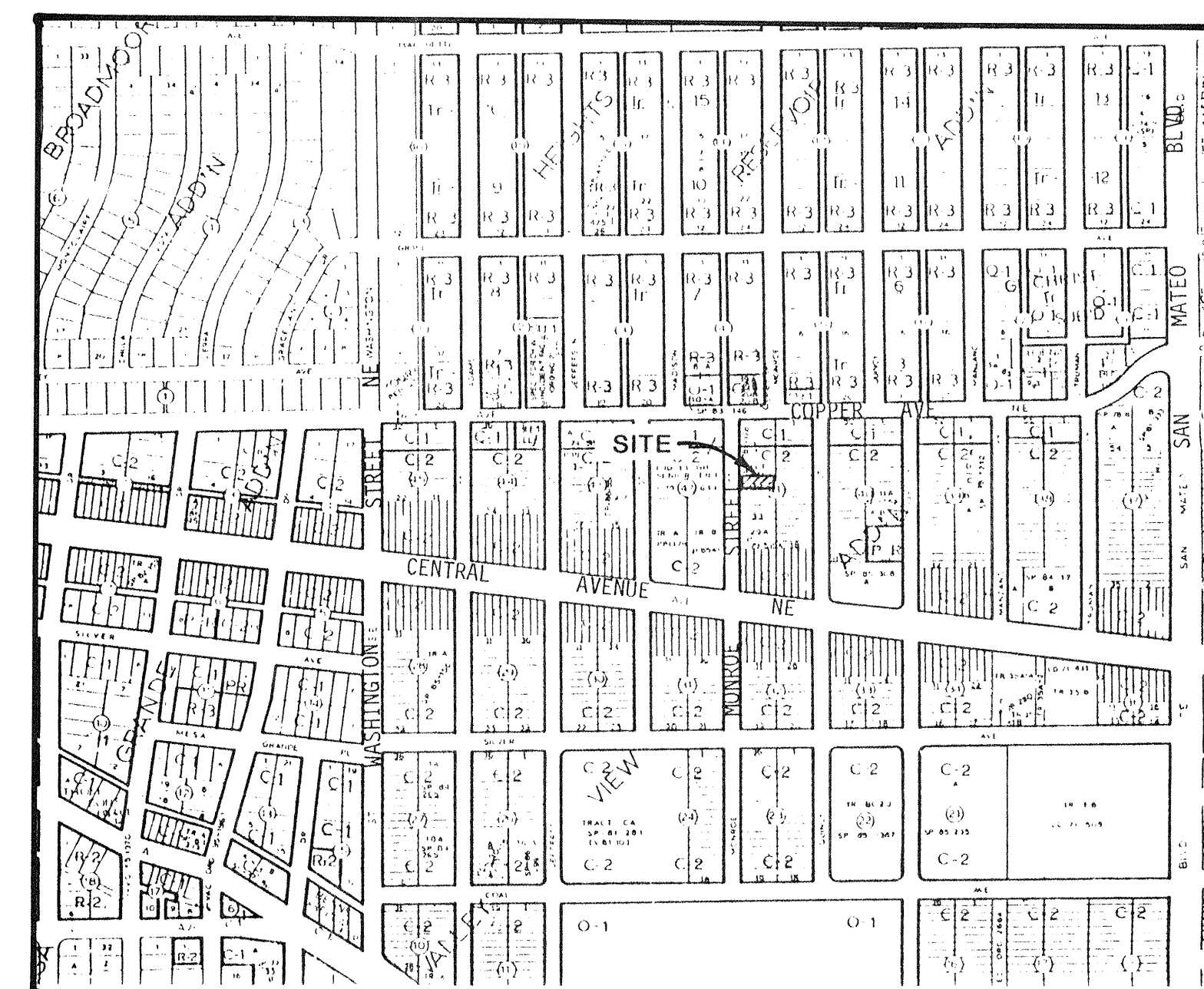
Monroe Street Venture, Owner of Lot 38-A-2 in Block 41, of the Valley View Addition, City of Albuquerque, County of Bernalillo, State of New Mexico as the same is filed in the office of the Bernalillo County Clerk on February 3, 1988 in Volume C35, Folio 156.

The Mid Rio Grande Chapter of the American National Red Cross, its successors and assigns, grants to Monroe Street Venture, its successors and assigns, the right to convey storm runoff, any drainage from watering landscaping, and any other domestic use across the common boundary line between said Lots 38-A-1 and 38-A-2.

This DRAINAGE COVENANT is binding upon the Mid Rio Grande Chapter of the American National Red Cross, its successors and assigns, and will continue to run with said property until an alternate drainage plan has been approved by the City of Albuquerque Hydrology Department and released by the Monroe Street Venture, its successors and assigns, by recorded document.



SCALE:  
1"=10'



VICINITY MAP (H-17)

K-7

### GENERAL NOTES

LEGAL DESCRIPTION: LOT 38-A-2, BLOCK 41, VALLEY VIEW ADDITION, SECTION 23, T 10 N, R 2 E, N.M.P.M. AS FILED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO, U.S.A. ON FEBRUARY 3, 1988 IN VOL. C35, FOLIO 156.

BENCHMARK: ACS "5-K17" LOCATED AT THE INTERSECTION OF WASHINGTON ST. AND CENTRAL AVENUE. ELEVATION: 5233.23

TEMPORARY BENCHMARK: CHISELED "+" ON TOP OF DRIVEPAD AT THE COMMON PROPERTY CORNER OF LOT 37 AND 38-A-2 ALONG THE EASTERLY RIGHT-OF-WAY OF MONROE STREET N.E. ELEVATION: 5241.20

SURVEY: PERFORMED BY WILLIAM P. PETTIT, N.M.L.S. # 3243, ON FEBRUARY 2, 1983.

FLOOD HAZARD STATEMENT: FROM PANEL 29 OF 50, F.E.M.A. FLOOD MAPS DATED OCTOBER 14, 1983, THE SUBJECT SITE IS NOT SUBJECT TO ANY FLOOD HAZARD POTENTIAL IN THE EVENT OF THE 100 YR. STORM.

SOILS: FROM THE SCS SOILS SURVEY FOR BERNALILLO COUNTY, THE SITE'S SOILS ARE CLASSIFIED AS TIJERAS (TgB) AND HAS A CORRESPONDING HYDROLOGICAL SOIL GROUP CLASSIFICATION OF "B".

### EXISTING CONDITIONS

SITE CURRENTLY HAS ASPHALTIC PAVING COVERING 100% OF LOT 38-A-2. STORM WATERS GENERATED FROM THIS LOT ARE ALLOWED TO SHEET FLOW TO THE NORTH AND/OR ARE COLLECTED BY A SURFACE DRAINAGE SWALE. THE SWALE RUNS TO THE NORTH AND THEN WESTERLY TO AN OUTFALL INTO THE PUBLIC RIGHT-OF-WAY OF MONROE ST. VIA AN EXISTING DRIVEWAY OPENING.

AREA: 0.0717 AC, 3,125 SF  
TC : LESS THAN 10 MIN.  
I : 4.75  
C : 0.95  
D : 2.2"

$Q_{100} = (0.95)(4.75)(0.0717) = 0.3$  CFS  
 $Q_{10} = (0.657)(0.3) = 0.2$  CFS

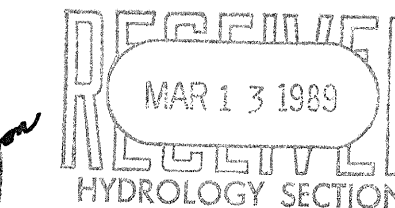
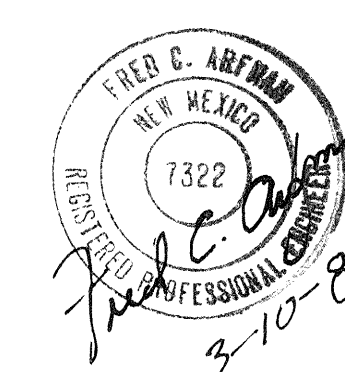
$V_{100} = (0.95)(0.183)(3,125) = 544$  CF  
 $V_{10} = (0.657)(544) = 358$  CF

SITE ACCEPTS OFFSITE STORM WATERS ONLY FROM THE ADJACENT LOT TO THE SOUTH. LOTS ARE UNDER COMMON OWNERSHIP AND PROPOSED ADDITION PERMANENTLY COMBINES THE LOTS.

### PROPOSED CONDITIONS

LOT 38-A-2 SHALL CONSIST OF A 1,250 SF BUILDING ADDITION AND THE REMAINDER SHALL REMAIN AS ASPHALT PAVING. ROOF FLOWS ARE EQUALLY SPLIT TO THE EAST AND WEST. WESTERLY FLOWS ARE DIRECTED TOWARD MONROE ST. VIA OVERLAND FLOW (20') AND THE EASTERLY FLOWS ARE ALLOWED TO FOLLOW THE HISTORICAL FLOW PATTERNS THAT PREVIOUSLY EXISTED. STORM WATER FLOWS ARE ALLOWED TO DISCHARGE OVER THE LOT LINE OF TRACT 38-A-1 BY A RECORDED DRAINAGE COVENANT.

RUNOFF FROM THE DEVELOPED SITE SHALL BE LESS THAN THOSE EXISTING RATES AND VOLUMES DUE TO THE REDUCED RUNOFF COEFFICIENT FROM 1,250 SF OF ROOF AREA. THIS SHALL BE CONSIDERED INCIDENTAL AND EQUAL RATES AND VOLUMES AS FOUND FOR THE EXISTING CONDITIONS SHALL BE USED FOR THIS STUDY.



CONSULTING ENGINEERING  
ASSOCIATES

128 MONROE ST. NE

DRAINAGE & GRADING PLAN

Isaacson & Arfman, P.A.  
CONSULTING ENGINEERING ASSOCIATES  
Albuquerque, New Mexico

Date  
Designed  
Checked

Sheet  
of