

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

October 20, 2021

Douglas Heller, RA  
Mullen Heller Architecture  
1718 Central Ave SW, Suite D  
Albuquerque, NM 87104

**Re: Route 66 Veterinary E.R. & Critical Care Center  
3601 Central Ave NE  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 3-19-21 (K17D064)  
Certification dated 10-15-21

Dear Mr. Heller,

Based upon the information provided in your submittal received 10-15-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please complete items listed on Certification letter.
- Complete sidewalk patch off Copper.
- Complete landscaping, remove barricades, remove construction equipment and debris from site.

Once corrections are complete resubmit

1. The approved and stamped TCL with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Interim Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



SITE DATA

PROJECT DESCRIPTION:

THIS PROJECT ENCOMPASSES THE INTERIOR RENOVATION OF AN EXISTING BLOCK BUILDING (FIRST FLOOR AND BASEMENT), AND THE CONSTRUCTION OF A 970sf NEW ONE-STORY ADDITION. THE EXISTING PARKING LOT SHALL BE REDESIGNED AND UPDATED FOLLOWING CURRENT IDO AND CITY OF ALBUQUERQUE STANDARDS. THE TWO EXISTING TWO-WAY DRIVEWAYS TO THE MAIN PARKING LOT ALONG CENTRAL AVENUE SHALL REMAIN, AND BE MODIFIED AS NOTED. A NEW PROPOSED DRIVEWAY IS LOCATED ON THE EAST PROPERTY LINE TO PROVIDE ONE-WAY ENTRY FROM HERMOSA DR. N.E. AND CONNECTS TO THE MAIN PARKING LOT. THE SAME ENTITY OWNS BOTH PROPERTIES (LOT A1 AND 10).

BUILDING ADDRESS:

3601 CENTRAL AVE N.E.  
ALBUQUERQUE, NEW MEXICO 87108

LEGAL DESCRIPTION:

TRACT A1 AND LPTS 10, 11 AND 12 BLOCK 1 COLLEGE VIEW  
BUSINESS ADDITION  
BERNALILLO COUNTY,  
ALBUQUERQUE, NEW MEXICO

SITE ACREAGE:

LOT A1: 0.51 ACRE  
LOT 10, 11, 12: 0.2 ACRE  
TOTAL SITE ACREAGE: 0.71 ACRES

BUILDING GROSS SQUARE FOOTAGE:

EXISTING BUILDING (3601 CENTRAL AVE N.E.):  
EXISTING: 6,510 GROSS SF  
FIRST FLOOR ADDITION: 907 GROSS SF  
TOTAL: 7,417 GROSS SF

EXISTING OFFICE BUILDING (3625 CENTRAL AVE. N.E.):  
TOTAL: 1,270 GROSS SF

OCCUPANCY GROUP:

VETERINARY OFFICE

IDO ZONING INFORMATION:

MX-M: MIXED USE - MODERATE INTENSITY  
MAIN STREET CORRIDOR AREA - CENTRAL AVENUE  
MAJOR TRANSIT AREA - CENTRAL AVENUE  
PREMIUM TRANSIT STATION AREA - NOB HILL EAST STATION  
COMPREHENSIVE PLAN CENTER - NOB HILL, ACTIVITY CENTER  
CHARACTER PROTECTION OVERLAY ZONE - 3-4 NOB HILL/HIGHLAND

PROJECT PHASING:

THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

PARKING CALCULATIONS:

PER IDO SECTION 5-5(C)(1)(G) OFF-STREET PARKING CALCULATION:  
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

REQUIRED PARKING:

PER IDO TABLE 5-5-1 FOR OFFICE USE TYPE IN US-MS-PT: 2.5 SPACES/1,000 GSF

AREAS:  
OFFICE (RENOVATION & ADDITION) = 7,417 GSF  
OFFICE (EXISTING OFFICE BUILDING) = 1,270 GSF  
TOTAL OFFICE USE = 8,687 GSF

TOTAL REQUIRED PARKING (OFFICE):  
8,687 GSF @ 2.5 SPACES PER 1,000 GSF = 21.71 SPACES  
ROUNDED DOWN = 21 SPACES REQUIRED

PARKING REDUCTIONS:

PER SECTION 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN BE REDUCED BY 30%:

21 \* 0.70 (30% REDUCTION) = 14.7 SPACES  
ROUNDED DOWN = 14 SPACES REQUIRED

PARKING PROVIDED:

SPACES PROVIDED = 38 SPACES  
REGULAR SPACES: 27  
COMPACT SPACES: 9  
ADA SPACES: 2

REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER IDO 5-5-5(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-5(C)(5) (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAA) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

REQUIRED:

PER ADAA:  
IN PARKING FACILITIES WITH 26-50 TOTAL SPACES, PROVIDE 2 ACCESSIBLE SPACES MIN.

PROVIDED: 2 SPACES (1 STANDARD, 1 VAN)

REQUIRED MOTORCYCLE SPACES:

PER 5-5(D) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE 5-5-4,

FOR REQUIRED OFF-STREET PARKING BETWEEN 26-50 SPACES, 2 MOTORCYCLE SPACES SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 2 SPACES

REQUIRED BICYCLE SPACES:

PER TABLE 5-5-5, FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, PROVIDE BICYCLE PARKING FOR 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

REQUIRED: 3 BICYCLE SPACES  
PROVIDED: 3 SPACES

GENERAL NOTES:

- THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS. SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
- ALL UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. REFER TO DETAIL.
- CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
- ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
- GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND FULLY SHIELDED FROM VIEW BY THE PARAPET CONSTRUCTION. SHOULD A MECHANICAL UNIT BE LOCATED AT THE GROUND LEVEL, IT SHALL BE FULLY SCREENED FROM VIEW PER THE IDO.

RADIUS INFORMATION:

- 3'-0"
- 6'-0"
- 15'-0"
- 10'-0"
- 2'-0"

KEYED NOTES:

- EXISTING CITY STANDARD SIDEWALK TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING PROPERTY LINE.
- EXISTING CURB RAMP TO REMAIN.
- EXISTING CURB CUT TO REMAIN.
- EXISTING DRIVEWAY TO REMAIN.
- EXISTING STRIPED CROSSWALK TO REMAIN.
- EXISTING RETAINING WALL TO REMAIN.
- EXISTING RAILING TO REMAIN.
- EXISTING STAIRS TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING LANDSCAPING TO REMAIN.
- EXISTING PERMANENT BUS SHELTER EASEMENT.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING TRAFFIC SIGNAL MAST TO REMAIN.
- EXISTING CITY TRASH CAN TO REMAIN.
- EXISTING CITY BIKE RACK TO REMAIN.
- EXISTING SIGN TO REMAIN.
- EXISTING COVERED PATIO/PORCH TO REMAIN.
- PROPOSED CONCRETE CURB.
- ALIGN DRIVE AISLE WITH EXISTING CURB CUT.
- TIE NEW CURB INTO EXISTING CURB.
- PROPOSED CONCRETE SIDEWALK. SEE 2/A002.
- PROPOSED ACCESS DRIVEWAY PER COA CITY STANDARD 2426. REFER TO DETAIL 5/A003.
- PROPOSED SIDEWALK CONNECTION TO PUBLIC SIDEWALK.
- PROPOSED CITY STANDARD HC RAMP. INSTALL TRUNCATED DOMES PER COA STANDARDS.
- PROPOSED PARALLEL PARKING SPACES.
- PROPOSED PAINTED PARKING STRIPING.
- PROPOSED ASPHALT PAVING.
- EXISTING ROLLED CURB TO REMAIN.
- PROPOSED LANDSCAPING AREA.
- PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". SEE 6/A002.
- PROPOSED STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978. SEE 1/A002.
- PROPOSED ADA PAVEMENT SIGN.
- PROPOSED ADA RAMP. SEE 8/A002.
- PROPOSED PAINTED DIRECTIONAL ARROW/SIGNAGE ON PAVEMENT.
- "ONE-WAY ONLY/ONE-WAY ENTRANCE ONLY/DO NOT ENTER" SIGNAGE ON PAVEMENT WHERE NOTED.
- PROPOSED MOTORCYCLE PARKING WITH PAVEMENT SIGN AND WITH SIGNAGE. SEE 6/A002. SIMILAR.
- PROPOSED BIKE RACKS WITH 4 BIKE SPACES. SEE 5/A002.
- PROPOSED 12" CLEAR ZONE AT BIKE RACKS.
- PROPOSED 6" CEDAR PLANK.
- CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- PROPOSED REFUSE AND RECYCLING ENCLOSURE. SEE 1/A003.
- EXISTING DROP INLET TO REMAIN.
- "DO NOT ENTER" SIGN MOUNTED TO POLE.
- SITE LIGHTING, REFER TO ELECTRICAL.

VICINITY MAP



ZONE ATLAS MAP

K-16-Z

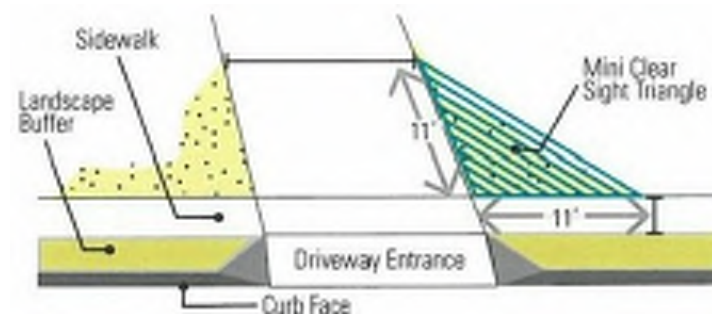


SITE SLOPES:

- PARKING LOT SLOPE SHALL BE BETWEEN 1% MIN. AND 8% MAX.
- PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% MIN. AND 5% MAX.
- ADA PARKING SHALL BE BETWEEN 1% MIN. AND 2% MAX.

CLEAR SIGHT TRIANGLE:

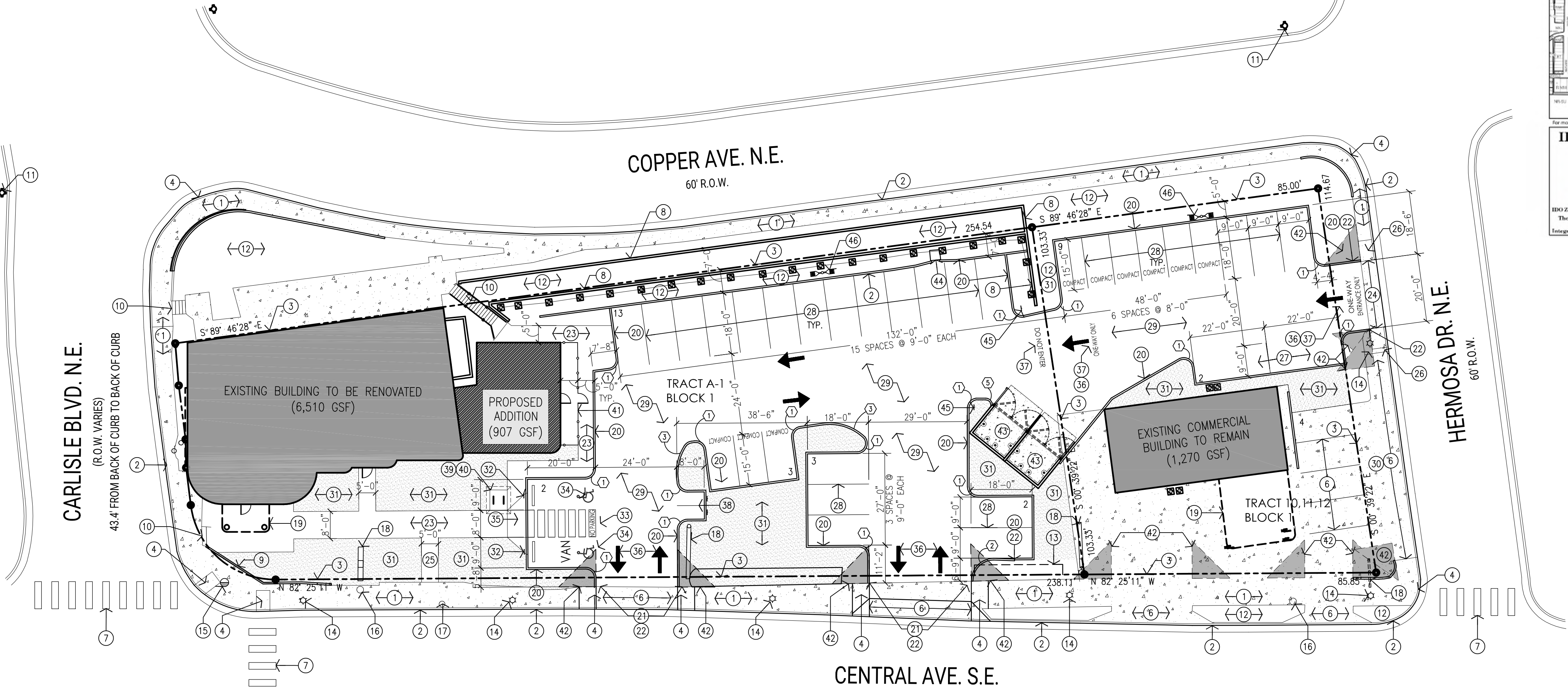
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



TRAFFIC CIRCULATION LAYOUT

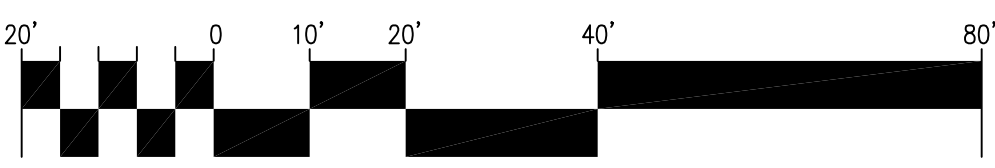
APPROVED

3/29/2021



Traffic Circulation Layout

Scale 1" = 20'



100' R.O.W. NEW CONSTRUCTION ALONG THIS ROADWAY FOR THE ALBUQUERQUE RAPID TRANSIT PROJECT INCLUDING SIDEWALK, CURB, GUTTER, AND ASPHALT ROADWAY.  
82.4' FROM BACK OF CURB TO BACK OF CURB.

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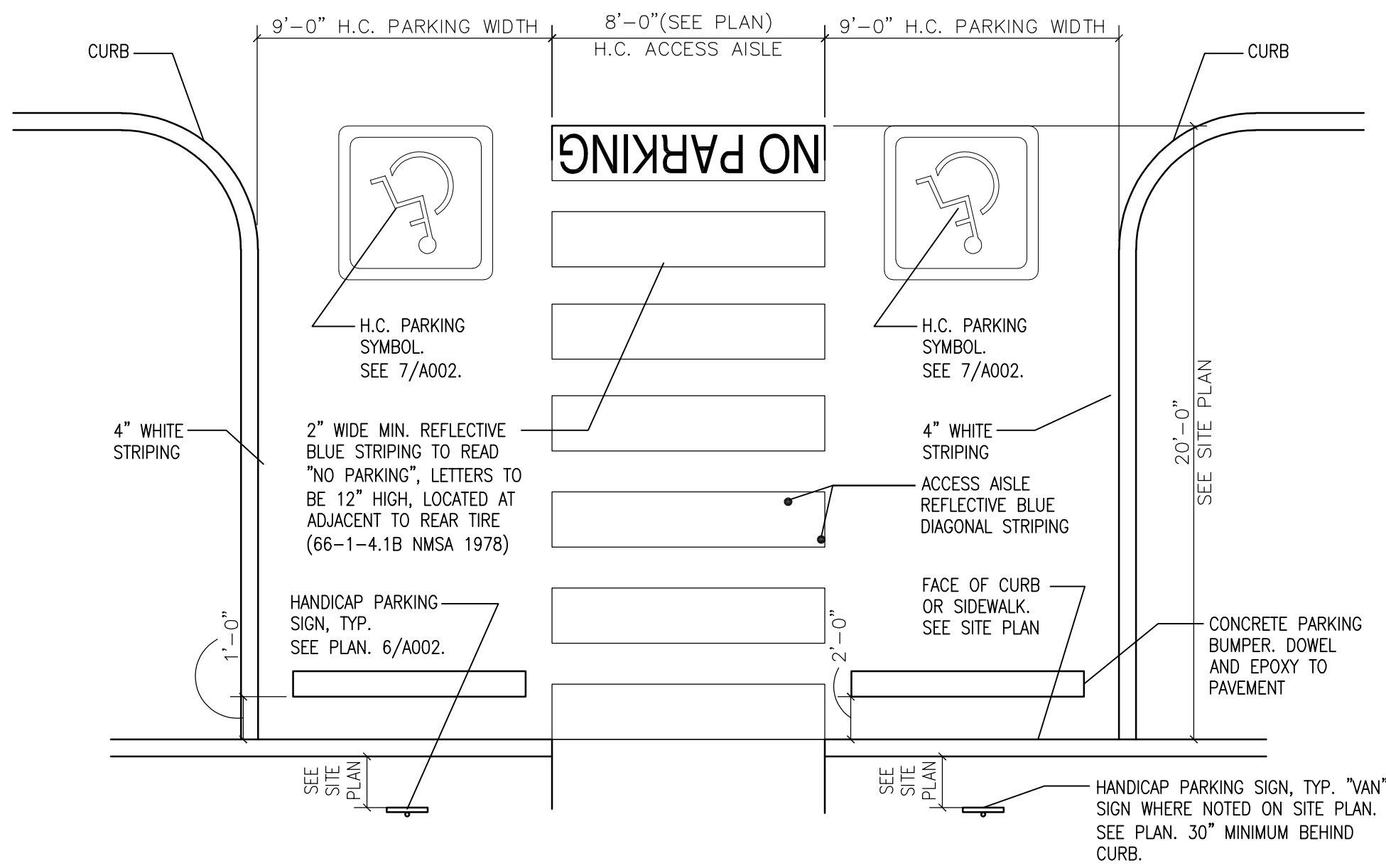
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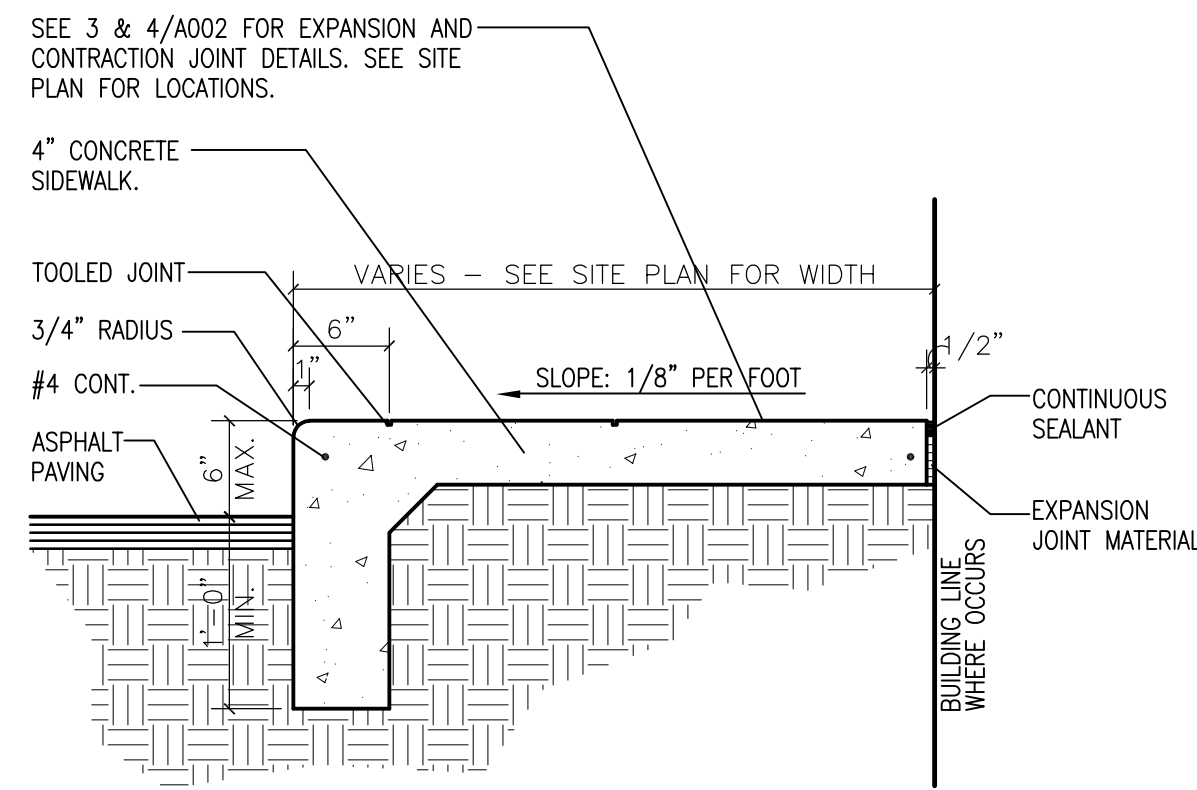
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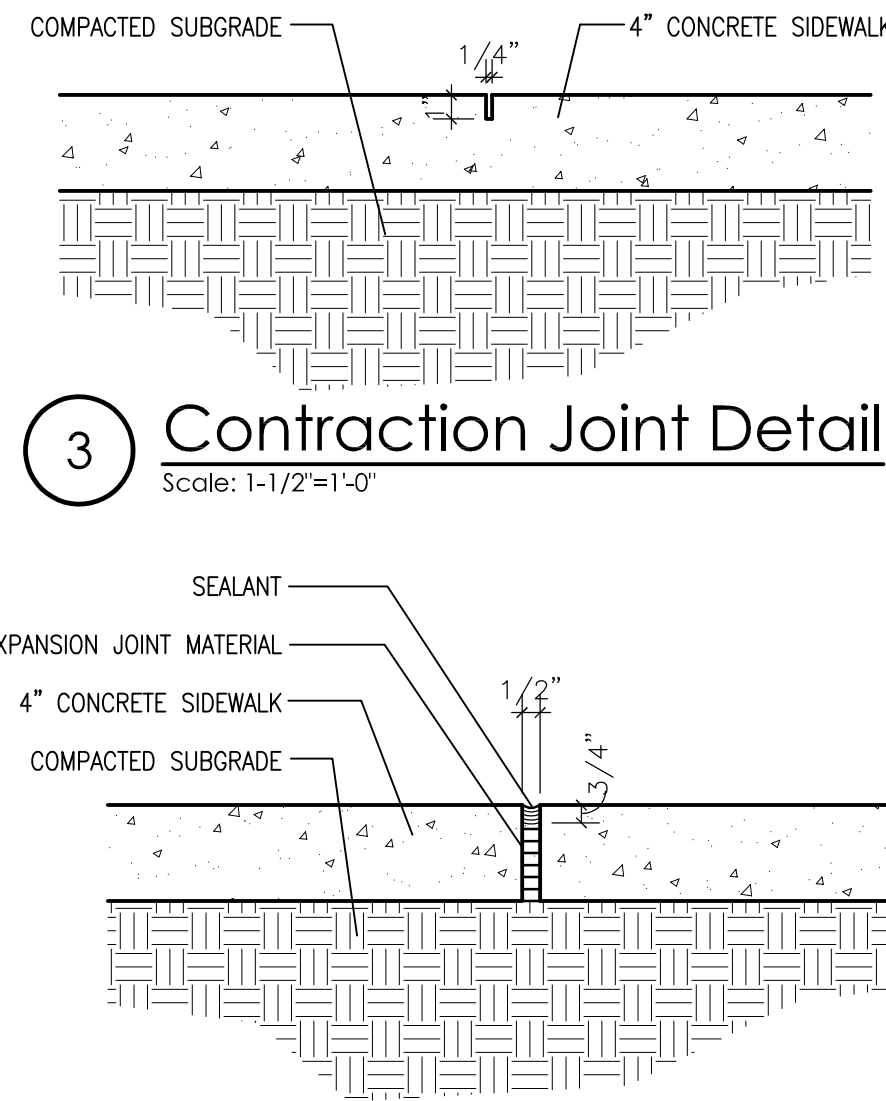




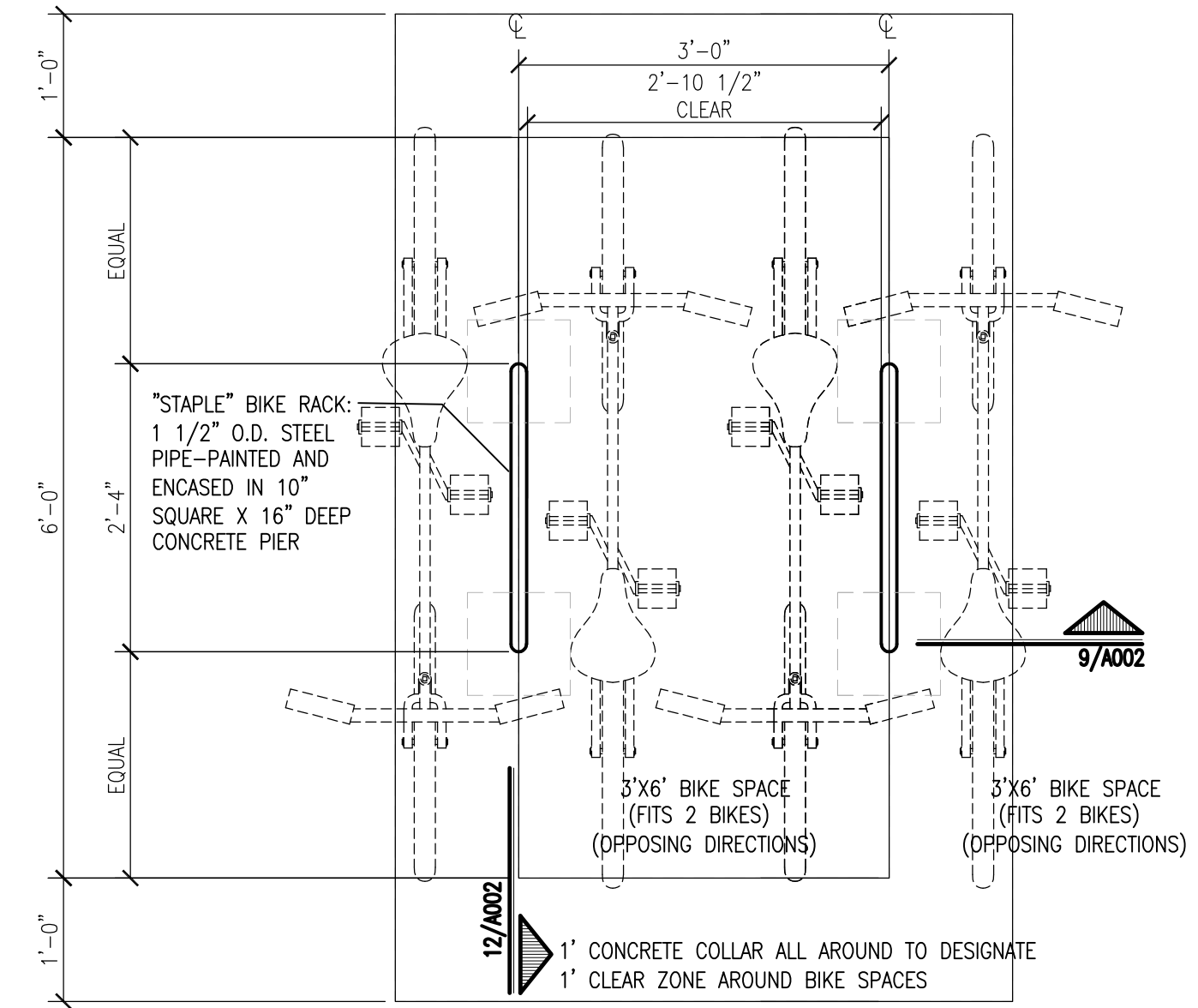
1 HC Parking Striping Detail  
Scale: 1/4"=1'-0"



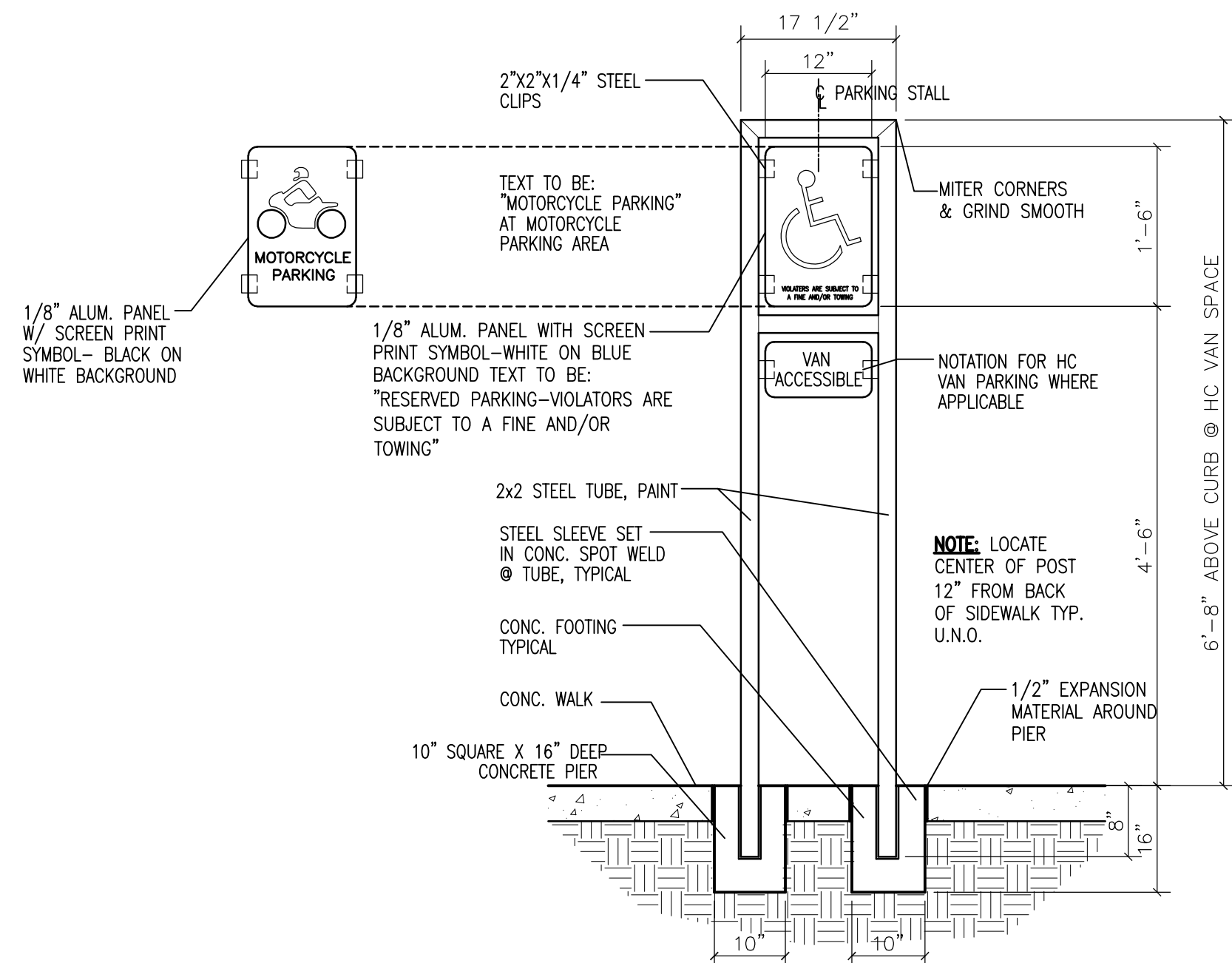
2 Concrete Sidewalk Detail  
Scale: 1"=1'-0"



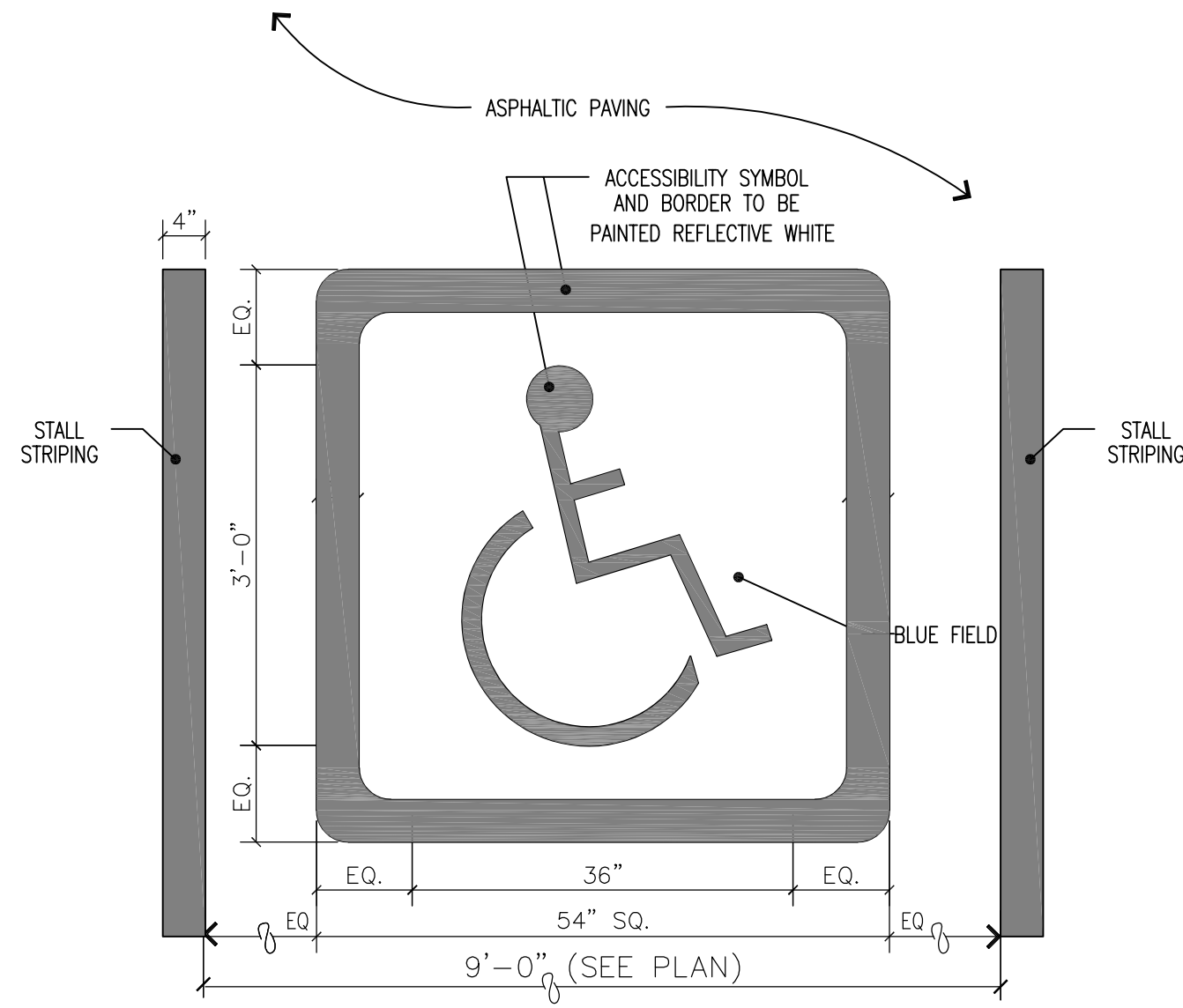
4 Expansion Joint Detail  
Scale: 1-1/2"=1'-0"



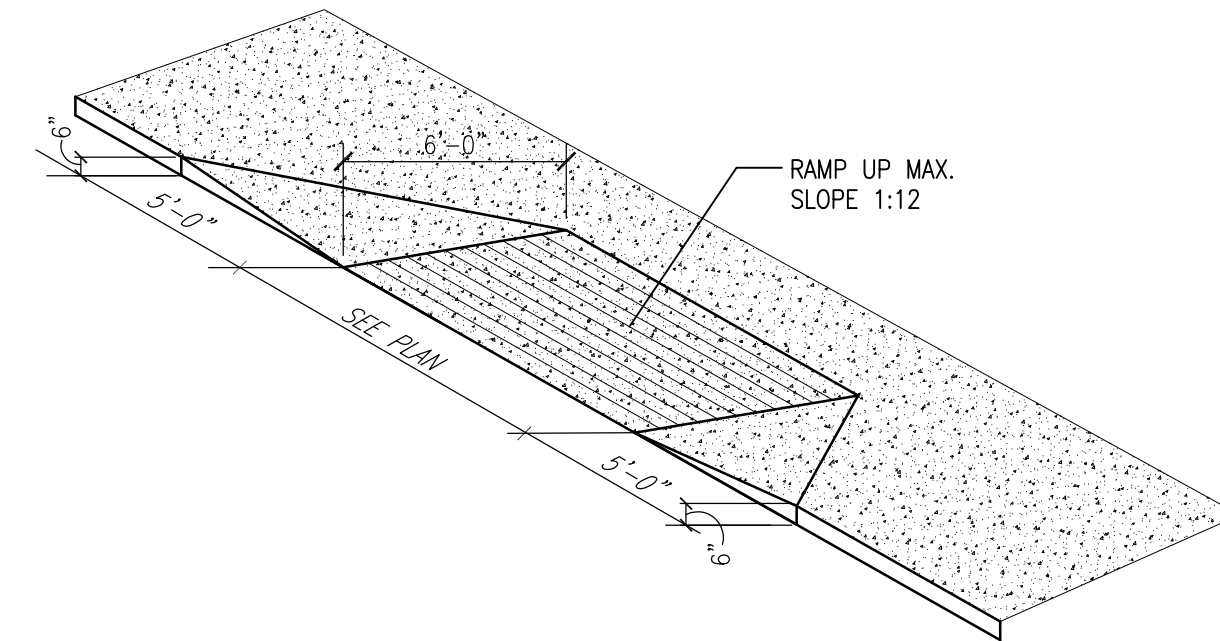
5 Bicycle Rack Partial Plan Detail  
Scale: 3/4"=1'-0"



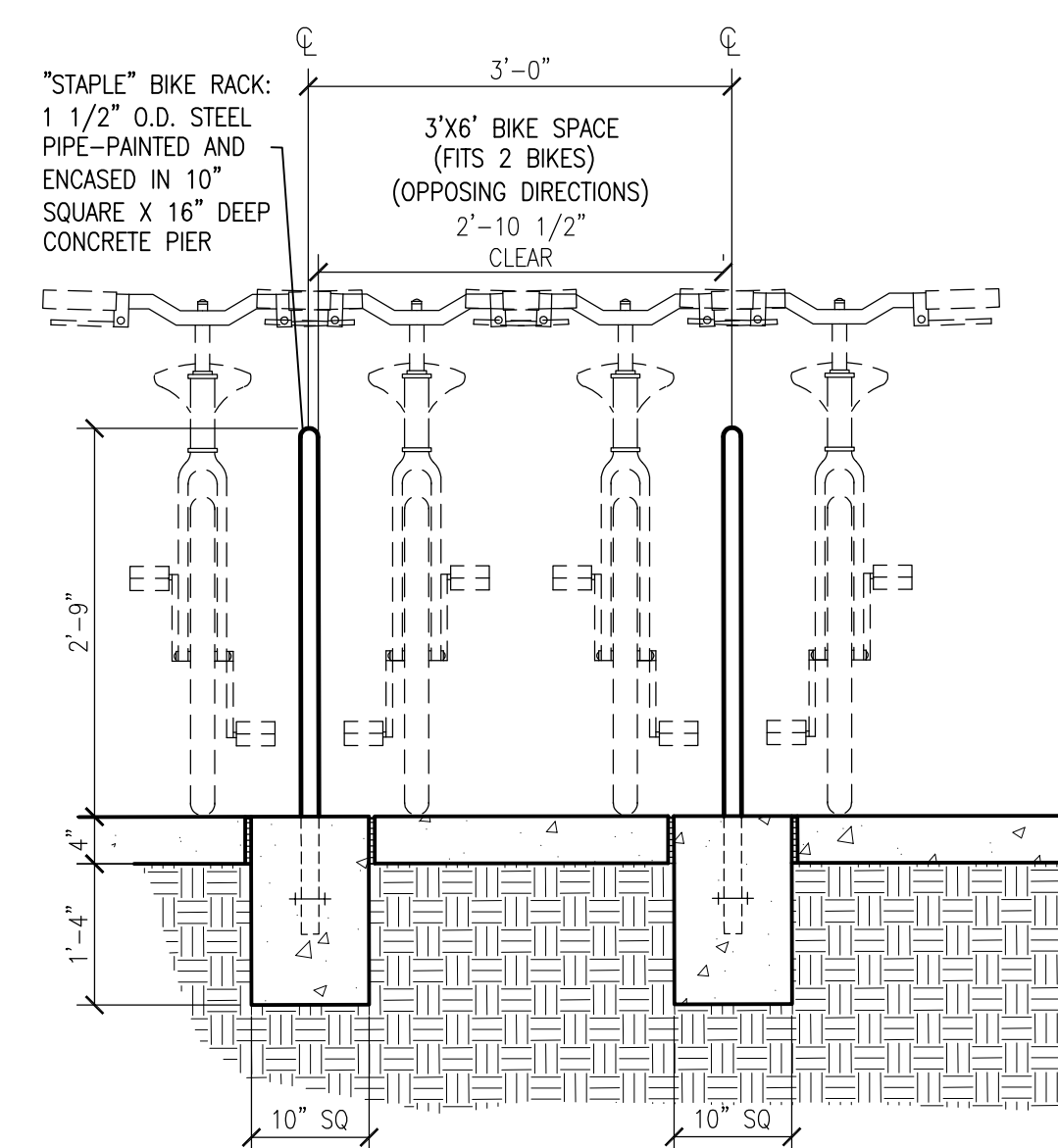
6 HC / Motorcycle Parking Sign Detail  
Scale: 3/4"=1'-0"



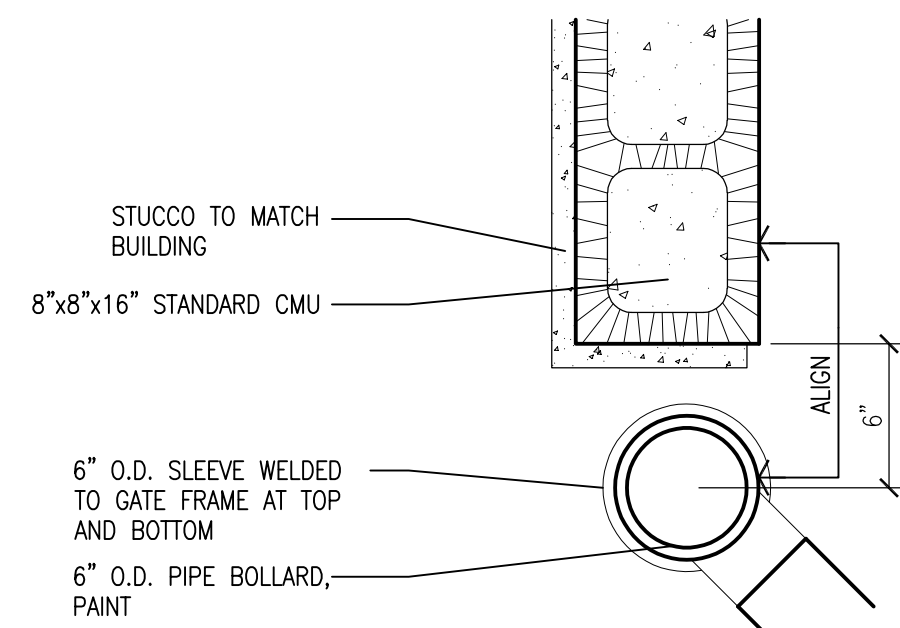
7 HC Pavement Sign Detail  
Scale: 3/4"=1'-0"



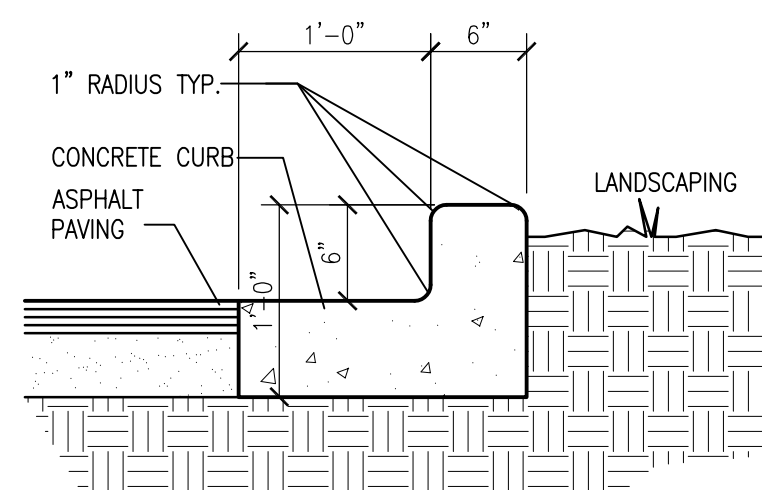
8 H.C. Ramp Detail  
Scale: Not To Scale (Isometric)



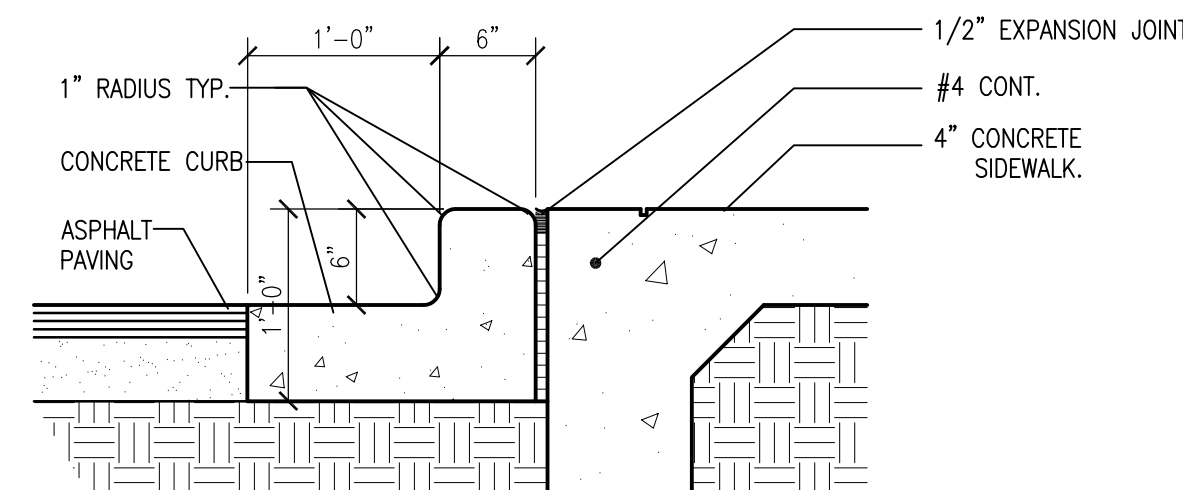
9 Bicycle Rack Front Detail  
Scale: 3/4"=1'-0"



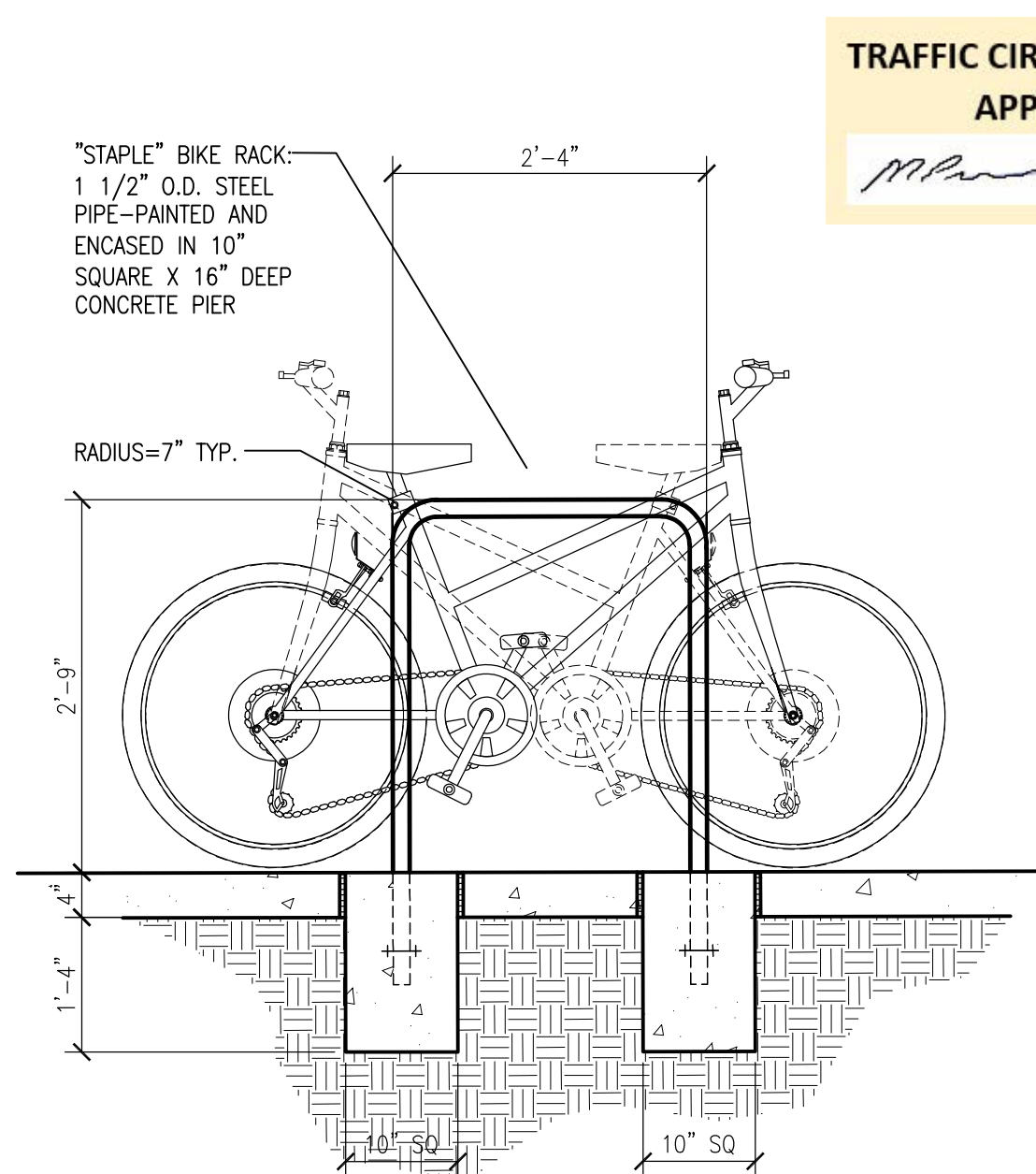
10 Refuse Enclosure Gate Detail  
Scale: 1 1/2"=1'-0"



11a Typ. Stand-Up Curb & Gutter  
Scale: 1"=1'-0"



11b Typ. Curb Sidewalk & Gutter  
Scale: 1"=1'-0"



12 Bicycle Rack Side Detail  
Scale: 3/4"=1'-0"

REV	DATE	DESCRIPTION
1		
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4		
5		



MULLEN HELLER ARCHITECTURE  
1718 CENTRAL AVE SW | STE D  
ALBUQUERQUE, NM 87109  
P | 505.268.4144  
F | 505.268.4244  
www.mullenheller.com

JOB NUMBER	20-19
DRAWN BY	DCdeV/ KBP/MW
PROJECT MGR	JDH
DATE	03-19-2021
PHASE	CD

PROJECT  
ROUTE 66 VETERINARY EMERGENCY & CRITICAL CARE CENTER  
3601 CENTRAL AVE. N.E.  
ALBUQUERQUE NM 87108

TITLE  
Site Details

SHEET  
A002



[illegible]

**PRIVATE ENTRANCE**

**SECTION A-A**

**CONSTRUCTION NOTES:**

- THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES TO COMMERCIAL SITES AND THE LIKE, IN LIEU OF STANDARD DRIVEPADS.
- INCLUDE QUARTER POINT ELEVATIONS. SEE STD. DETAIL DWG. 2420.
- WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED, CONSTRUCT CURB ACCESS RAMPS AS PER STD. DETAIL DWG. 2418 & 2441.
- INITIAL GRADE TO BE 4% OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS. 6% OR LESS WHEN CONNECTING TO LOCAL STREETS.
- INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DETAIL DWG. 2420.
- AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD. DETAIL DWG. 2415.
- IF SIDEWALK IS AGAINST CURB, THE SIDEWALK SHOULD BE TRANSITIONED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN.
- 1/2" EXPANSION JOINT MATERIAL.
- THEORETICAL FACE OF CURB OR FLOWLINE.

**REVISIONS**

1/91	
1/14/91	
4/4/94	

**CITY OF ALBUQUERQUE**

**PAVING**

**PRIVATE ENTRANCE DETAILS - ILLUSTRATING TWO SEPARATE R/W CONDITIONS.**

**DWG. 2420**

**AUG. 1988**

4x4 TUBE STEEL FRAME  
13'-4" (SEE PLAN)  
12'-0" CLEAR (SEE PLAN)  
2x2 STEEL ANGLE BRACING  
8" CMU  
2"  
EQUAL  
EQUAL  
2"  
8" CMU  
PREFINISHED METAL ROOFING PANEL, COLOR: TO MATCH BUILDING, ATTACHED TO TUBE STEEL FRAME.  
0'-3"  
0'-1"  
8" CMU WITH STUCCO FINISH, MATCH BUILDING COLOR.  
STEEL PIPE HINGE, PAINTED TO MATCH GATE COLOR.  
6" DIAMETER CONCRETE FILLED PIPE BOLLARD, PAINTED TO MATCH GATE COLOR.  
10/A002  
DROP PIN (TYP. AT EACH GATE). GATE PIN HOLES IN THE OPEN/CLOSED POSITION. ADA-COMPLIANT.  
COMMERCIAL GRADE CASTER (TYP. AT EACH GATE).

GENERAL NOTE:

[A] BASIC CODE-REQUIRED AND STANDARD ENGINEERED STEEL REINFORCING FOR ALL SITE CONCRETE AND CMU WALLS, FOUNDATIONS AND STAIRS IS REQUIRED REGARDLESS OF WHETHER IT IS CALLED OUT SPECIFICALLY ON DETAILS.

SLOPE STUCCO TO DRAIN.

STUCCO STOP

K.O.B.B. - WITH #4 CONT.

6" x 8" x 16" STANDARD CMU.

#4 @ 48" O.C. VERT.

6" CONCRETE SLAB WITH 6"x6"-10/10 WWM.

FINISHED GRADE. SEE CIVIL

3-#4 BARS CONT. AND #4 DOWELS @ 32" O.C.

6'-0"

8"

1'-2"

EXISTING 1-1/2" ROUND PIPE HAND RAIL TO REMAIN.

EXISTING RAIL ROAD TIE RETAINING WALL TO REMAIN.

EXISTING LANDSCAPING TO REMAIN.

EXISTING CONCRETE STAIRS TO REMAIN.

EXISTING RAIL ROAD TIE RETAINING WALL TO REMAIN.

NEW LANDSCAPING THIS AREA.

NEW 6' CEDAR PLANK FENCE ON TOP OF EXISTING RAIL ROAD TIE RETAINING WALL.

SLOPE

CONTINUE 6' CEDAR PLANK FENCE AT SAME ELEVATION THIS AREA.

EXISTING RAIL ROAD TIE RETAINING WALL TO REMAIN.

EXISTING RAIL ROAD TIE RETAINING WALL TO BE REMOVED.

NEW GRADE TO MATCH SLOPE OF STAIR.

EXISTING 1-1/2" ROUND PIPE GUARD RAIL TO REMAIN.

NEW 6' CEDAR PLANK FENCE.

NEW DOWNSPOUT AND SPLASH BLOCK.

EXISTING RAIL ROAD TIE GUARD RAIL TO REMAIN.

NEW CONCRETE SIDEWALK.

5'-0"

EXISTING BUILDING

ADDITION

NEW OXYGEN GENERATOR EQUIPMENT PROVIDED AND INSTALLED BY OWNER. REFER TO MECHANICAL AND ELECTRICAL FOR OTHER CONNECTIONS. SYSTEM INCLUDES OXYGEN GENERATOR, TANK, CONCENTRATORS, AND CONTROL PANEL.

EXISTING RAIL ROAD TIE RETAINING WALL TO BE REMOVED.

TRAFFIC CIRCULATION LAYOUT

**TRAFFIC CIRCULATION LAYOUT**  
**APPROVED**  
*M. P. P.E.* 3/29/2021



# MULLEN+HELLER

ARCHITECTURE. P.C.

October 15, 2021

Jeanne Wolfenbarger, P.E., Transportation Development  
Planning Department  
Development and Building Services Division  
City of Albuquerque  
600 2<sup>nd</sup> Street NW.  
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for  
Route 66 Veterinary Emergency & Critical Care Center  
3601 Central Ave NE  
Albuquerque, NM 87108**

Dear Ms. Wolfenbarger:

I, Doug Heller, NMRA with Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout (Permit #BP-2021-12043). The attached As-Built Traffic Circulation Layout shows "redlined" revisions made to the site plan per construction coordination.

I further certify that I have personally visited the project site on October 13, 2021, and have determined by visual inspection that the information provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The construction of the sitework matches the approved permit drawings with a few minor exceptions, which include:

- Signage for the two accessible parking spaces (keyed note 32) have not been installed yet but will before final Certificate of Occupancy.
- Signage for the two motorcycle parking spaces (keyed note 38) have not been installed yet but will before final Certificate of Occupancy.
- 'Do Not Enter' signage at the one-way drive (keyed note 45) have not been installed yet but will before final Certificate of Occupancy.
- One space in the northeast row of 9 parking spaces was omitted to accommodate an existing mature tree. This row of 8 parking spaces are all now standard-size in lieu of the 'compact' spaces as approved. The reduction in parking spaces does not affect the required parking as the site plan has an excess of parking. The 'Parking Provided' calculations have been adjusted accordingly.

This certification is submitted in support for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,  
**Mullen Heller Architecture, PC**



Douglas Heller, AIA



# MULLEN+ELLER

ARCHITECTURE. P.C.

Attachments: Site Photographs from Visits Conducted on 10/13/21  
Approved TCL dated 3/29/21  
Approved TCL with as-built redlines dated 10/15/21







One-way drive aisles pavement marking spaces off of Hermosa Drive



New parallel parking spaces along existing building





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Route 66 Veterinary E.R. and Critical Care Center **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** TRA1 AND LOTS 10, 11, and 12, BLOCK 1 COLLEGE VIEW.

**City Address:** 3601 CENTRAL AVE. N.E.

**Applicant:** MULLEN HELLER ARCHITECTURE, PC **Contact:** DOUG HELLER

**Address:** 1718 CENTRAL AVENUE SW, SUITE D, ALBUQUERQUE, NM 87104

**Phone#:** 505-268-4144 **Fax#:** 505-268-4244 **E-mail:** DOUG@MULLENHELLER.COM

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 10/15/21 **By:** DOUG HELLER *b. heller*

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_