

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Interim Director



*Mayor Timothy M. Keller*

December 1, 2021

John Douglas Heller, R.A.  
Mullen Heller Architecture, PC  
1718 Central Ave Suite D  
Albuquerque, NM 87104

**Re: Route 66 Veterinary E.R. & Critical Care Center**  
**3601 Central Ave NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 3-19-21 (K17D064)  
Certification dated 11-24-21

Dear Mr. Heller,

PO Box 1293

Based upon the information provided in your submittal received 11-24-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

www.cabq.gov

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



SITE DATA

PROJECT DESCRIPTION:

THIS PROJECT ENCOMPASSES THE INTERIOR RENOVATION OF AN EXISTING BLOCK BUILDING (FIRST FLOOR AND BASEMENT), AND THE CONSTRUCTION OF A 970sf NEW ONE-STORY ADDITION. THE EXISTING PARKING LOT SHALL BE REDESIGNED AND UPDATED FOLLOWING CURRENT IDO AND CITY OF ALBUQUERQUE STANDARDS. THE TWO EXISTING TWO-WAY DRIVEWAYS TO THE MAIN PARKING LOT ALONG CENTRAL AVENUE SHALL REMAIN, AND BE MODIFIED AS NOTED. A NEW PROPOSED DRIVEWAY IS LOCATED ON THE EAST PROPERTY LINE TO PROVIDE ONE-WAY ENTRY FROM HERMOSA DR. N.E. AND CONNECTS TO THE MAIN PARKING LOT. THE SAME ENTITY OWNS BOTH PROPERTIES (LOT A1 AND 10).

BUILDING ADDRESS:

3601 CENTRAL AVE N.E.  
ALBUQUERQUE, NEW MEXICO 87108

LEGAL DESCRIPTION:

TRACT A1 AND LPTS 10, 11 AND 12 BLOCK 1 COLLEGE VIEW  
BUSINESS ADDITION  
BERNALILLO COUNTY,  
ALBUQUERQUE, NEW MEXICO

SITE ACREAGE:

LOT A1: 0.51 ACRE  
LOT 10, 11, 12: 0.2 ACRE  
TOTAL SITE ACREAGE: 0.71 ACRES

BUILDING GROSS SQUARE FOOTAGE:

EXISTING BUILDING (3601 CENTRAL AVE N.E.):  
EXISTING: 6,510 GROSS SF  
FIRST FLOOR ADDITION: 907 GROSS SF  
TOTAL: 7,417 GROSS SF

EXISTING OFFICE BUILDING (3625 CENTRAL AVE. N.E.):  
TOTAL: 1,270 GROSS SF

OCCUPANCY GROUP:

VETERINARY OFFICE

IDO ZONING INFORMATION:

MX-M: MIXED USE - MODERATE INTENSITY  
MAIN STREET CORRIDOR AREA - CENTRAL AVENUE  
MAJOR TRANSIT AREA - CENTRAL AVENUE  
PREMIUM TRANSIT STATION AREA - NOB HILL EAST STATION  
COMPREHENSIVE PLAN CENTER - NOB HILL, ACTIVITY CENTER  
CHARACTER PROTECTION OVERLAY ZONE - 3-4 NOB HILL/HIGHLAND

PROJECT PHASING:

THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

PARKING CALCULATIONS:

PER IDO SECTION 5-5(C)(1)(G) OFF-STREET PARKING CALCULATION:  
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

REQUIRED PARKING:

PER IDO TABLE 5-5-1 FOR OFFICE USE TYPE IN US-MS-PT: 2.5 SPACES/1,000 GSF

AREAS:  
OFFICE (RENOVATION & ADDITION) = 7,417 GSF  
OFFICE (EXISTING OFFICE BUILDING) = 1,270 GSF  
TOTAL OFFICE USE = 8,687 GSF

TOTAL REQUIRED PARKING (OFFICE):  
8,687 GSF @ 2.5 SPACES PER 1,000 GSF = 21.71 SPACES  
ROUNDED DOWN = 21 SPACES REQUIRED

PARKING REDUCTIONS:

PER SECTION 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN BE REDUCED BY 30%:

21 \* 0.70 (30% REDUCTION) = 14.7 SPACES  
ROUNDED DOWN = 14 SPACES REQUIRED

PARKING PROVIDED:

SPACES PROVIDED = 38 SPACES  
REGULAR SPACES: 27  
COMPACT SPACES: 9  
ADA SPACES: 2

REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER IDO 5-5-5(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-5(C)(5) (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAA) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

REQUIRED:

PER ADAA:  
IN PARKING FACILITIES WITH 26-50 TOTAL SPACES, PROVIDE 2 ACCESSIBLE SPACES MIN.

PROVIDED: 2 SPACES (1 STANDARD, 1 VAN)

REQUIRED MOTORCYCLE SPACES:

PER 5-5(D) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE 5-5-4,

FOR REQUIRED OFF-STREET PARKING BETWEEN 26-50 SPACES, 2 MOTORCYCLE SPACES SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 2 SPACES

REQUIRED BICYCLE SPACES:

PER TABLE 5-5-5, FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, PROVIDE BICYCLE PARKING FOR 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

REQUIRED: 3 BICYCLE SPACES  
PROVIDED: 3 SPACES

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
[B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
[C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
[D] ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).  
[E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.  
[F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.  
[G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.  
[H] ALL UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. REFER TO DETAIL.  
[I] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.  
[J] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.  
[K] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.  
[L] MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND FULLY SHIELDED FROM VIEW BY THE PARAPET CONSTRUCTION. SHOULD A MECHANICAL UNIT BE LOCATED AT THE GROUND LEVEL, IT SHALL BE FULLY SCREENED FROM VIEW PER THE IDO.

RADIUS INFORMATION:

- ① = 3'-0"  
② = 6'-0"  
③ = 15'-0"  
④ = 10'-0"  
⑤ = 2'-0"

KEYED NOTES:

- EXISTING CITY STANDARD SIDEWALK TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING PROPERTY LINE.
- EXISTING CURB RAMP TO REMAIN.
- EXISTING CURB CUT TO REMAIN.
- EXISTING DRIVEWAY TO REMAIN.
- EXISTING STRIPED CROSSWALK TO REMAIN.
- EXISTING RETAINING WALL TO REMAIN.
- EXISTING RAILING TO REMAIN.
- EXISTING STAIRS TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING LANDSCAPING TO REMAIN.
- EXISTING PERMANENT BUS SHELTER EASEMENT.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING TRAFFIC SIGNAL MAST TO REMAIN.
- EXISTING CITY TRASH CAN TO REMAIN.
- EXISTING CITY BIKE RACK TO REMAIN.
- EXISTING SIGN TO REMAIN.
- EXISTING COVERED PATIO/PORCH TO REMAIN.
- PROPOSED CONCRETE CURB.
- ALIGN DRIVE AISLE WITH EXISTING CURB CUT.
- TIE NEW CURB INTO EXISTING CURB.
- PROPOSED CONCRETE SIDEWALK. SEE 2/A002.
- PROPOSED ACCESS DRIVEWAY PER COA CITY STANDARD 2426. REFER TO DETAIL 5/A003.
- PROPOSED SIDEWALK CONNECTION TO PUBLIC SIDEWALK.
- PROPOSED CITY STANDARD HC RAMP. INSTALL TRUNCATED DOMES PER COA STANDARDS.
- PROPOSED PARALLEL PARKING SPACES.
- PROPOSED PAINTED PARKING STRIPING.
- PROPOSED ASPHALT PAVING.
- EXISTING ROLLED CURB TO REMAIN.
- PROPOSED LANDSCAPING AREA.
- PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". SEE 6/A002.
- PROPOSED STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978. SEE 1/A002.
- PROPOSED ADA PAVEMENT SIGN.
- PROPOSED ADA RAMP. SEE 8/A002.
- PROPOSED PAINTED DIRECTIONAL ARROW/SIGNAGE ON PAVEMENT.
- "ONE-WAY ONLY/ONE-WAY ENTRANCE ONLY/DO NOT ENTER" SIGNAGE ON PAVEMENT WHERE NOTED.
- PROPOSED MOTORCYCLE PARKING WITH PAVEMENT SIGN AND WITH SIGNAGE. SEE 6/A002. SIMILAR.
- PROPOSED BIKE RACKS WITH 4 BIKE SPACES. SEE 5/A002.
- PROPOSED 12" CLEAR ZONE AT BIKE RACKS.
- PROPOSED 6" CEDAR PLANK.
- CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- PROPOSED REFUSE AND RECYCLING ENCLOSURE. SEE 1/A003.
- EXISTING DROP INLET TO REMAIN.
- "DO NOT ENTER" SIGN MOUNTED TO POLE.
- SITE LIGHTING, REFER TO ELECTRICAL.

VICINITY MAP



ZONE ATLAS MAP

K-16-Z

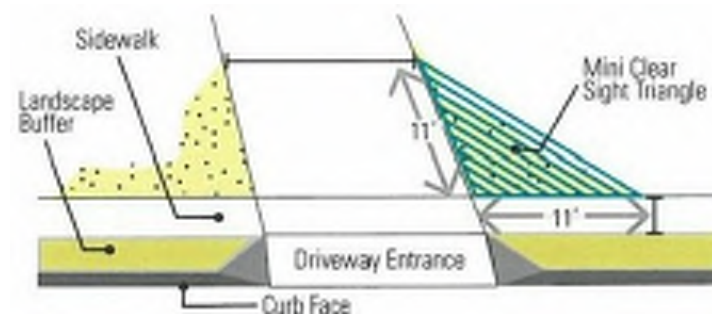


SITE SLOPES:

- PARKING LOT SLOPE SHALL BE BETWEEN 1% MIN. AND 8% MAX.
- PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% MIN. AND 5% MAX.
- ADA PARKING SHALL BE BETWEEN 1% MIN. AND 2% MAX.

CLEAR SIGHT TRIANGLE:

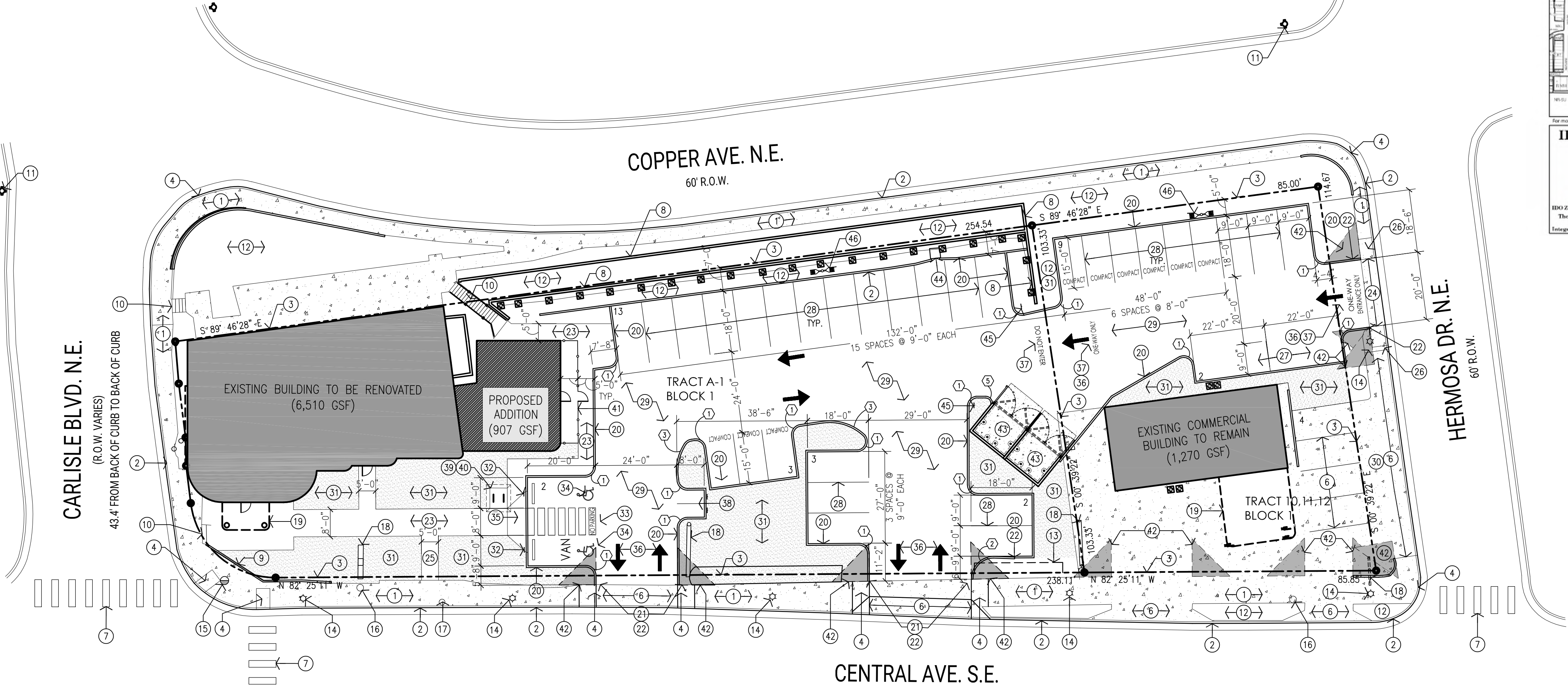
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



TRAFFIC CIRCULATION LAYOUT

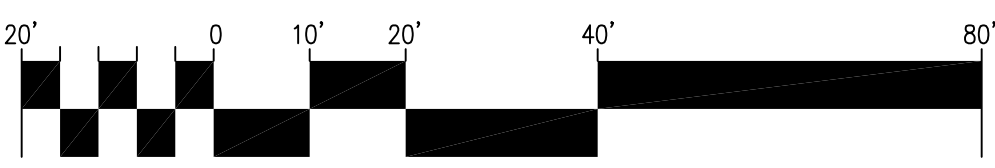
APPROVED

3/29/2021



Traffic Circulation Layout

Scale 1" = 20'



100' R.O.W. NEW CONSTRUCTION ALONG THIS ROADWAY FOR THE ALBUQUERQUE RAPID TRANSIT PROJECT INCLUDING SIDEWALK, CURB, GUTTER, AND ASPHALT ROADWAY.  
82.4' FROM BACK OF CURB TO BACK OF CURB.

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BUILDING ADDRESS:

3601 CENTRAL AVE N.E.  
ALBUQUERQUE, NEW MEXICO 87108

LEGAL DESCRIPTION:

TRACT A1 AND LPTS 10, 11 AND 12 BLOCK 1 COLLEGE VIEW  
BERNALILLO COUNTY,  
ALBUQUERQUE, NEW MEXICO

SITE ACREAGE:

LOT A1: 0.51 ACRE  
LOT 10, 11, 12: 0.2 ACRE  
TOTAL SITE ACREAGE: 0.71 ACRES

BUILDING GROSS SQUARE FOOTAGE:

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EXISTING: 6,510 GROSS SF  
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TOTAL: 7,417 GROSS SF

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TOTAL: 1,270 GROSS SF

OCCUPANCY GROUP:

VETERINARY OFFICE

IDO ZONING INFORMATION:

MX-M: MIXED USE - MODERATE INTENSITY  
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MAJOR TRANSIT AREA - CENTRAL AVENUE  
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CHARACTER PROTECTION OVERLAY ZONE - 3-4 NOB HILL/HIGHLAND

PROJECT PHASING:

THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

PARKING CALCULATIONS:

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION:  
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

REQUIRED PARKING:

PER IDO TABLE 5-5-1 FOR OFFICE USE TYPE IN US-MS-PT: 2.5 SPACES/1,000 GSF

AREAS:  
OFFICE (RENOVATION & ADDITION) = 7,417 GSF  
OFFICE (EXISTING OFFICE BUILDING) = 1,270 GSF  
TOTAL OFFICE USE = 8,687 GSF

TOTAL REQUIRED PARKING (OFFICE):  
8,687 GSF @ 2.5 SPACES PER 1,000 GSF = 21.71 SPACES  
ROUNDED DOWN = 21 SPACES REQUIRED

PARKING REDUCTIONS:

PER SECTION 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN BE REDUCED BY 30%:

21 \* 0.70 (30% REDUCTION) = 14.7 SPACES  
ROUNDED DOWN = 14 SPACES REQUIRED

PARKING PROVIDED:

SPACES PROVIDED:  
REGULAR SPACES: 27-32 = 30 SPACES  
COMPACT SPACES: 3-3 = 3 SPACES  
ADA SPACES: 2 = 2 SPACES  
TOTAL: 35 SPACES

REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER IDO 5-5-5(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-5(C)(5) (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAA) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

REQUIRED:  
PER ADAA:  
IN PARKING FACILITIES WITH 26-50 TOTAL SPACES, PROVIDE 2 ACCESSIBLE SPACES MIN.

PROVIDED: 2 SPACES (1 STANDARD, 1 VAN)

REQUIRED MOTORCYCLE SPACES:

PER 5-5(5) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE 5-5-4,

FOR REQUIRED OFF-STREET PARKING BETWEEN 26-50 SPACES, 2 MOTORCYCLE SPACES SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 2 SPACES

REQUIRED BICYCLE SPACES:

PER TABLE 5-5-5, FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, PROVIDE BICYCLE PARKING FOR 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

REQUIRED: 3 BICYCLE SPACES  
PROVIDED: 3 SPACES

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
[B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
[C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
[D] ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).  
[E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.  
[F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.  
[G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.  
[H] ALL UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. REFER TO DETAIL.  
[I] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.  
[J] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.  
[K] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.  
[L] MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND FULLY SHIELDED FROM VIEW BY THE PARAPET CONSTRUCTION. SHOULD A MECHANICAL UNIT BE LOCATED AT THE GROUND LEVEL, IT SHALL BE FULLY SCREENED FROM VIEW PER THE IDO.

RADIUS INFORMATION:

- ① = 3'-0"  
② = 6'-0"  
③ = 15'-0"  
④ = 10'-0"  
⑤ = 2'-0"

KEYED NOTES:

1. EXISTING CITY STANDARD SIDEWALK TO REMAIN.  
2. EXISTING CONCRETE CURB TO REMAIN.  
3. EXISTING PROPERTY LINE.  
4. EXISTING CURB RAMP TO REMAIN.  
5. EXISTING CURB CUT TO REMAIN.  
6. EXISTING DRIVEWAY TO REMAIN.  
7. EXISTING STRIPED CROSSWALK TO REMAIN.  
8. EXISTING RETAINING WALL TO REMAIN.  
9. EXISTING RAILING TO REMAIN.  
10. EXISTING STAIRS TO REMAIN.  
11. EXISTING FIRE HYDRANT TO REMAIN.  
12. EXISTING LANDSCAPING TO REMAIN.  
13. EXISTING PERMANENT BUS SHELTER EASEMENT.  
14. EXISTING LIGHT POLE TO REMAIN.  
15. EXISTING TRAFFIC SIGNAL MAST TO REMAIN.  
16. EXISTING CITY TRASH CAN TO REMAIN.  
17. EXISTING CITY BIKE RACK TO REMAIN.  
18. EXISTING SIGN TO REMAIN.  
19. EXISTING COVERED PATIO/PORCH TO REMAIN.  
20. PROPOSED CONCRETE CURB.  
21. ALIGN DRIVE AISLE WITH EXISTING CURB CUT.  
22. TIE NEW CURB INTO EXISTING CURB.  
23. PROPOSED CONCRETE SIDEWALK. SEE 2/A002.  
24. PROPOSED ACCESS DRIVEWAY PER COA CITY STANDARD 2426. REFER TO DETAIL 5/A003.  
25. PROPOSED SIDEWALK CONNECTION TO PUBLIC SIDEWALK.  
26. PROPOSED CITY STANDARD HC RAMP. INSTALL TRUNCATED DOMES PER COA STANDARDS.  
27. PROPOSED PARALLEL PARKING SPACES.  
28. PROPOSED PAINTED PARKING STRIPING.  
29. PROPOSED ASPHALT PAVING.  
30. EXISTING ROLLED CURB TO REMAIN.  
31. PROPOSED LANDSCAPING AREA.  
32. PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". SEE 6/A002.  
33. PROPOSED STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978. SEE 1/A002.  
34. PROPOSED ADA PAVEMENT SIGN.  
35. PROPOSED ADA RAMP. SEE 8/A002.  
36. PROPOSED PAINTED DIRECTIONAL ARROW/SIGNAGE ON PAVEMENT.  
37. "ONE-WAY ONLY/ONE-WAY ENTRANCE ONLY/DO NOT ENTER" SIGNAGE ON PAVEMENT WHERE NOTED.  
38. PROPOSED MOTORCYCLE PARKING WITH PAVEMENT SIGN AND WITH SIGNAGE. SEE 6/A002. SIMILAR.  
39. PROPOSED BIKE RACKS WITH 4 BIKE SPACES. SEE 5/A002.  
40. PROPOSED 12" CLEAR ZONE AT BIKE RACKS.  
41. PROPOSED 6" CEDAR PLANK.  
42. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.  
43. PROPOSED REFUSE AND RECYCLING ENCLOSURE. SEE 1/A003.  
44. EXISTING DROP INLET TO REMAIN.  
45. "DO NOT ENTER" SIGN MOUNTED TO POLE.  
46. SITE LIGHTING, REFER TO ELECTRICAL.

VICINITY MAP



ZONE ATLAS MAP

K-16-Z

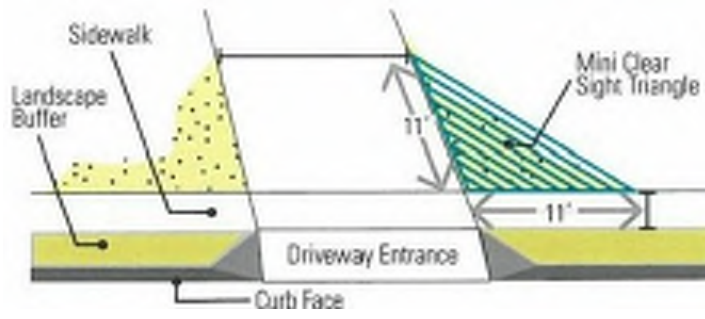


SITE SLOPES:

- PARKING LOT SLOPE SHALL BE BETWEEN 1% MIN. AND 8% MAX.
- PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% MIN. AND 5% MAX.
- ADA PARKING SHALL BE BETWEEN 1% MIN. AND 2% MAX.

CLEAR SIGHT TRIANGLE:

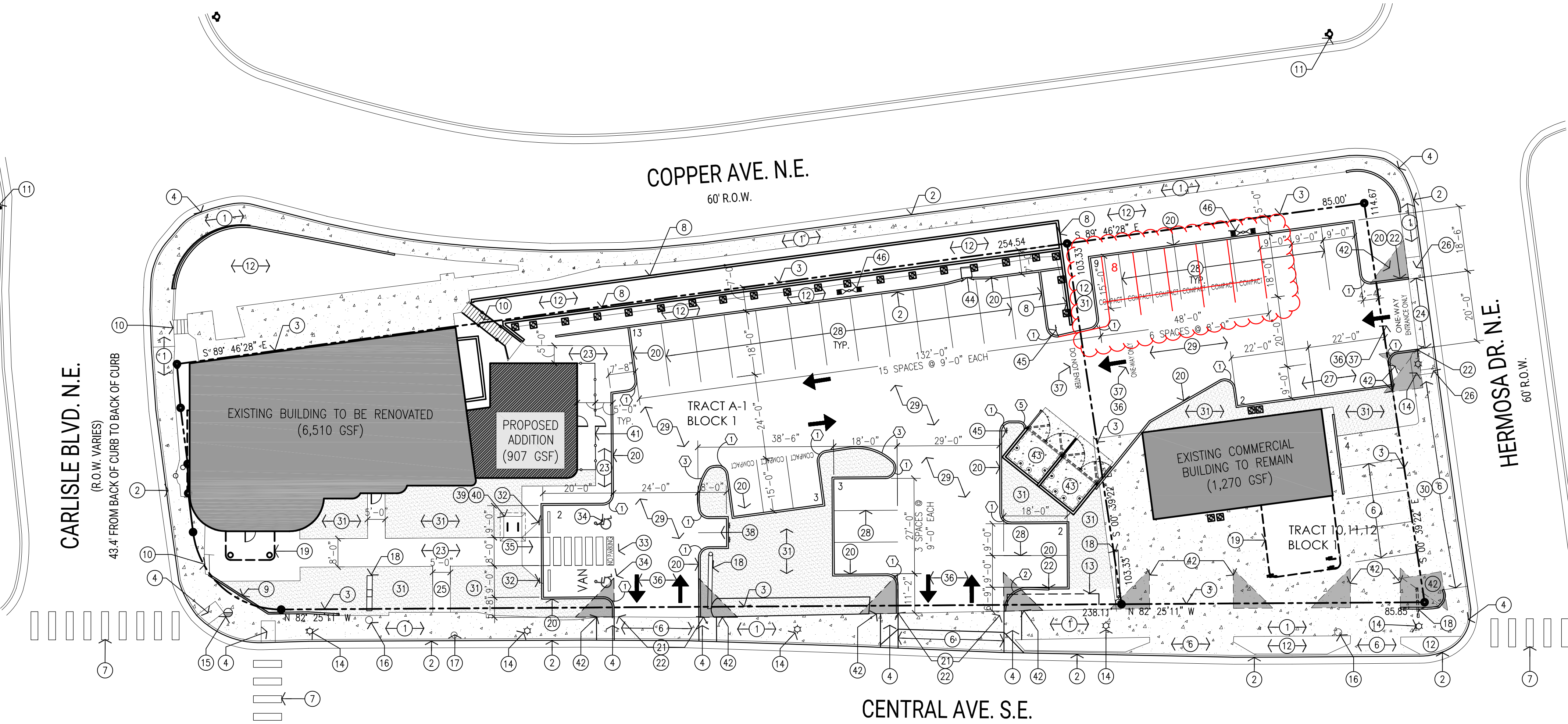
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



TRAFFIC CIRCULATION LAYOUT

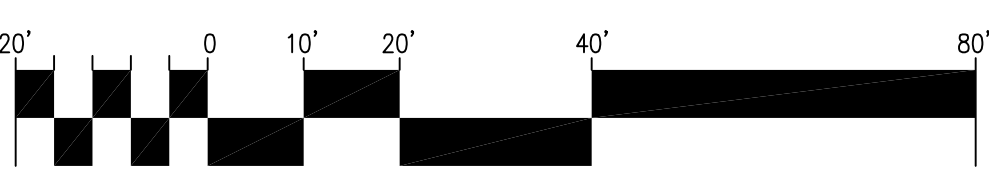
APPROVED

3/29/2021



Traffic Circulation Layout

Scale 1" = 20'



100' R.O.W. NEW CONSTRUCTION ALONG THIS ROADWAY FOR THE ALBUQUERQUE RAPID TRANSIT PROJECT INCLUDING SIDEWALK, CURB, GUTTER, AND ASPHALT ROADWAY.  
82.4' FROM BACK OF CURB TO BACK OF CURB.

As-Built Traffic Circulation layout  
11/8/21

DESCRIPTION

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# MULLEN+HELLER

ARCHITECTURE. P.C.

November 24, 2021

Jeanne Wolfenbarger, P.E., Transportation Development  
Planning Department  
Development and Building Services Division  
City of Albuquerque  
600 2<sup>nd</sup> Street NW.  
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for  
Route 66 Veterinary Emergency & Critical Care Center  
3601 Central Ave NE  
Albuquerque, NM 87108**

Dear Ms. Wolfenbarger:

I, Doug Heller, NMRA with Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout (Permit #BP-2021-12043). The attached As-Built Traffic Circulation Layout shows "redlined" revisions made to the site plan per construction coordination.

I further certify that I have personally visited the project site on November 8, 2021, and have determined by visual inspection that the information provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The construction of the sitework matches the approved permit drawings with one exceptions, which include:

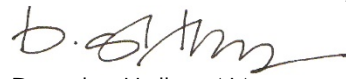
- One space in the northeast row of 9 parking spaces was omitted to accommodate an existing mature tree. This row of 8 parking spaces are all now standard-size in lieu of the 'compact' spaces as approved. The reduction in parking spaces does not affect the required parking as the site plan has an excess of parking. The 'Parking Provided' calculations have been adjusted accordingly.
- Landscaping is complete throughout the site and barricades have been removed.
- Sidewalk repairs are complete along Copper Ave.
- All parking and directional signage which was missing as part of the previous submittal has been installed.

This certification is submitted in support for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,  
**Mullen Heller Architecture, PC**



Douglas Heller, AIA

Attachments: Approved TCL dated 3/29/21  
Approved TCL with as-built redlines dated 11/8/21

