



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Route 66 Veterinary E.R. and Critical Care Center **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR A1 AND LOTS 10, 11, and 12, BLOCK 1 COLLEGE VIEW.
City Address: 3601 CENTRAL AVE. N.E.

Applicant: MULLEN HELLER ARCHITECTURE, PC **Contact:** DOUG HELLER
Address: 1718 CENTRAL AVENUE SW, SUITE D, ALBUQUERQUE, NM 87104
Phone#: 505-268-4144 **Fax#:** 505-268-4244 **E-mail:** DOUG@MULLENHELLER.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 02-01-2021 **By:** DOUG HELLER *b. heller*

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

SITE DATA

PROJECT DESCRIPTION:

THIS PROJECT ENCOMPASSES THE INTERIOR RENOVATION OF AN EXISTING BLOCK BUILDING (FIRST FLOOR AND BASEMENT), AND THE CONSTRUCTION OF A 970sf NEW ONE-STORY ADDITION. THE EXISTING PARKING LOT SHALL BE REDESIGNED AND UPDATED FOLLOWING CURRENT IDO AND CITY OF ALBUQUERQUE STANDARDS. THE TWO EXISTING TWO-WAY DRIVEWAYS TO THE MAIN PARKING LOT ALONG CENTRAL AVENUE SHALL REMAIN, AND BE MODIFIED AS NOTED. A NEW PROPOSED DRIVEWAY IS LOCATED ON THE EAST PROPERTY LINE TO PROVIDE ONE-WAY ENTRY FROM HERMOSA DR. N.E. AND CONNECTS TO THE MAIN PARKING LOT. THE SAME ENTITY OWNS BOTH PROPERTIES (LOT A1 AND 10).

BUILDING ADDRESS:

3601 CENTRAL AVE. N.E.
ALBUQUERQUE, NEW MEXICO 87108

LEGAL DESCRIPTION:

TRACT A1 AND LPTS 10, 11 AND 12 BLOCK 1 COLLEGE VIEW
BUSINESS ADDITION
BERNALILLO COUNTY,
ALBUQUERQUE, NEW MEXICO

SITE ACREAGE:

LOT A1: 0.51 ACRE
LOT 10, 11, 12: 0.2 ACRE
TOTAL SITE ACREAGE: 0.71 ACRES

BUILDING GROSS SQUARE FOOTAGE:

EXISTING BUILDING (3601 CENTRAL AVE N.E.):
EXISTING: 6,510 GROSS SF
FIRST FLOOR ADDITION: 907 GROSS SF
TOTAL: 7,417 GROSS SF

OCCUPANCY GROUP:

VETERINARY OFFICE

IDO ZONING INFORMATION:

MX-M: MIXED USE - MODERATE INTENSITY
MAIN STREET CORRIDOR AREA - CENTRAL AVENUE
MAJOR TRANSIT AREA - CENTRAL AVENUE
PREMIUM TRANSIT STATION AREA - NOB HILL EAST STATION
COMPREHENSIVE PLAN CENTER - NOB HILL, ACTIVITY CENTER
CHARACTER PROTECTION OVERLAY ZONE - 3-4 NOB HILL/HIGHLAND

PROJECT PHASING:

THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

PARKING CALCULATIONS:

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION:
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

REQUIRED PARKING:

PER IDO TABLE 5-5-1 FOR OFFICE USE TYPE IN US-MS-PT: 2.5 SPACES/1,000 GSF

AREAS:
OFFICE (RENOVATION & ADDITION) = 7,417 GSF
OFFICE (EXISTING OFFICE BUILDING) = 1,270 GSF
TOTAL OFFICE USE = 8,687 GSF

TOTAL REQUIRED PARKING (OFFICE):
8,687 GSF @ 2.5 SPACES PER 1,000 GSF = 21.71 SPACES
ROUNDED DOWN = 21 SPACES REQUIRED

PARKING REDUCTIONS:

PER SECTION 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN BE REDUCED BY 30%:

21 * 0.70 (30% REDUCTION) = 14.7 SPACES
ROUNDED DOWN = 14 SPACES REQUIRED

PARKING PROVIDED:

SPACES PROVIDED: = 42 SPACES
REGULAR SPACES: 31
COMPACT SPACES: 9
ADA SPACES: 2

REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER IDO 5-5-5(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-5(C)(5) (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAA) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

REQUIRED:
PER ADAA:
IN PARKING FACILITIES WITH 26-50 TOTAL SPACES, PROVIDE 2 ACCESSIBLE SPACES MIN.

PROVIDED: 2 SPACES (1 STANDARD, 1 VAN)

REQUIRED MOTORCYCLE SPACES:

PER 5-5(D) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE 5-5-4,

FOR REQUIRED OFF-STREET PARKING BETWEEN 26-50 SPACES, 2 MOTORCYCLE SPACES SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 2 SPACES

REQUIRED BICYCLE SPACES:

PER TABLE 5-5-5, FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, PROVIDE BICYCLE PARKING FOR 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

REQUIRED: 3 BICYCLE SPACES
PROVIDED: 3 SPACES

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.
- [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
- [H] ALL UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. REFER TO DETAIL.
- [I] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
- [J] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DTIALS 2430 AND 2415, RESPECTIVELY.
- [K] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- [L] MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND FULLY SHIELDED FROM VIEW BY THE PARAPET CONSTRUCTION. SHOULD A MECHANICAL UNIT BE LOCATED AT THE GROUND LEVEL, IT SHALL BE FULLY SCREENED FROM VIEW PER THE IDO.

RADIUS INFORMATION:

- ① = 3'-0"
② = 6'-0"
③ = 15'-0"
④ = 10'-0"

KEY NOTES:

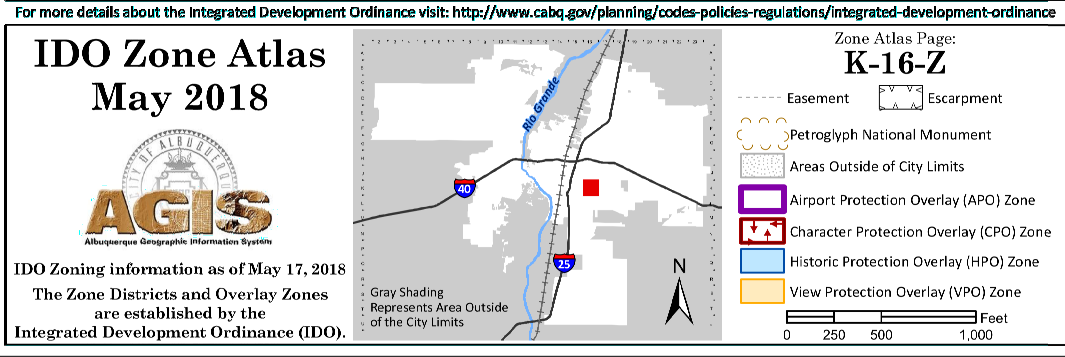
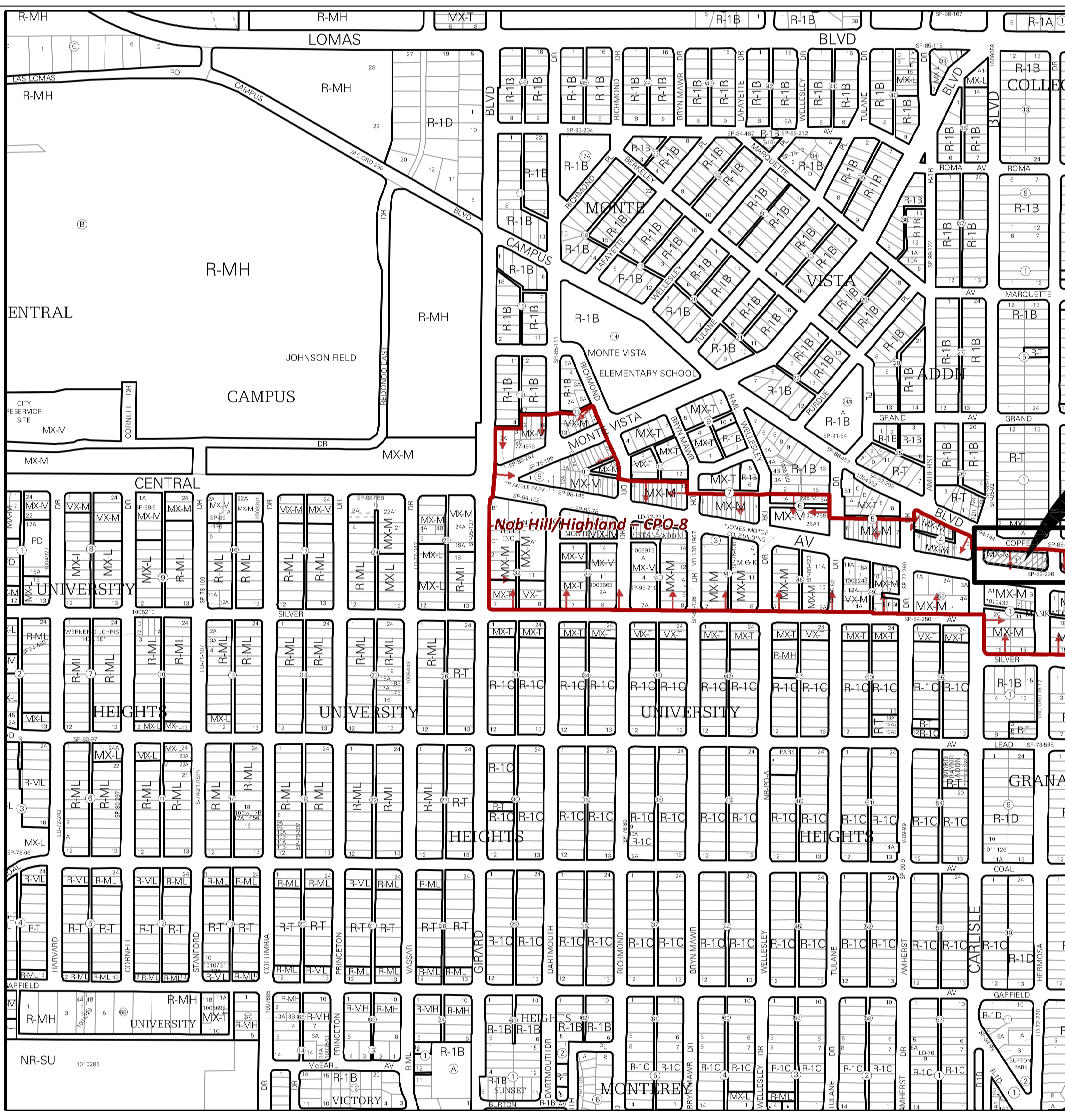
- EXISTING CITY STANDARD SIDEWALK TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING PROPERTY LINE.
- EXISTING CURB RAMP TO REMAIN.
- EXISTING CURB CUT TO REMAIN.
- EXISTING DRIVEWAY TO REMAIN, U.N.O.
- EXISTING STRIPED CROSSWALK TO REMAIN.
- EXISTING RETAINING WALL TO REMAIN.
- EXISTING RAILING TO REMAIN.
- EXISTING STAIRS TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING LANDSCAPING TO REMAIN.
- EXISTING PERMANENT BUS SHELTER EASEMENT.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING TRAFFIC SIGNAL MAST TO REMAIN.
- EXISTING CITY TRASH CAN TO REMAIN.
- EXISTING CITY BIKE RACK TO REMAIN.
- EXISTING SIGN TO REMAIN.
- EXISTING COVERED PATIO/PORCH TO REMAIN.
- PROPOSED CONCRETE CURB.
- ALIGN DRIVE AISLE WITH EXISTING CURB CUT.
- TIE NEW CURB INTO EXISTING CURB.
- PROPOSED CONCRETE SIDEWALK.
- PROPOSED ACCESS DRIVEWAY PER COA CITY STANDARD 2426. REFER TO DETAIL.
- PROPOSED SIDEWALK CONNECTION TO PUBLIC SIDEWALK.
- PROPOSED CITY STANDARD HC RAMP. INSTALL TRUNCATED DOMES PER COA STANDARDS.
- PROPOSED PARALLEL PARKING SPACES.
- PROPOSED PAINTED PARKING STRIPING.
- PROPOSED ASPHALT PAVING.
- EXISTING ROLLED CURB TO REMAIN.
- PROPOSED LANDSCAPING AREA.
- PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- PROPOSED STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- PROPOSED ADA PAVEMENT SIGN.
- PROPOSED ADA RAMP. REFER TO DETAIL.
- PROPOSED PAINTED DIRECTIONAL ARROW/SIGNAGE ON PAVEMENT.
- *ONE-WAY ONLY/ONE-WAY ENTRANCE ONLY/DO NOT ENTER* SIGNAGE ON PAVEMENT WHERE NOTED.
- PROPOSED MOTORCYCLE PARKING WITH SIGNAGE.
- PROPOSED BIKE RACKS WITH 4 BIKE SPACES. REFER TO DETAIL.
- PROPOSED 12" CLEAR ZONE AT BIKES RACKS.
- PROPOSED 6' OPAQUE FENCE.
- CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- PROPOSED REFUSE ENCLOSURE.

VICINITY MAP



ZONE ATLAS MAP

K-16-Z

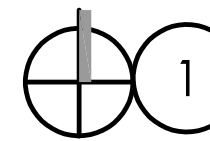
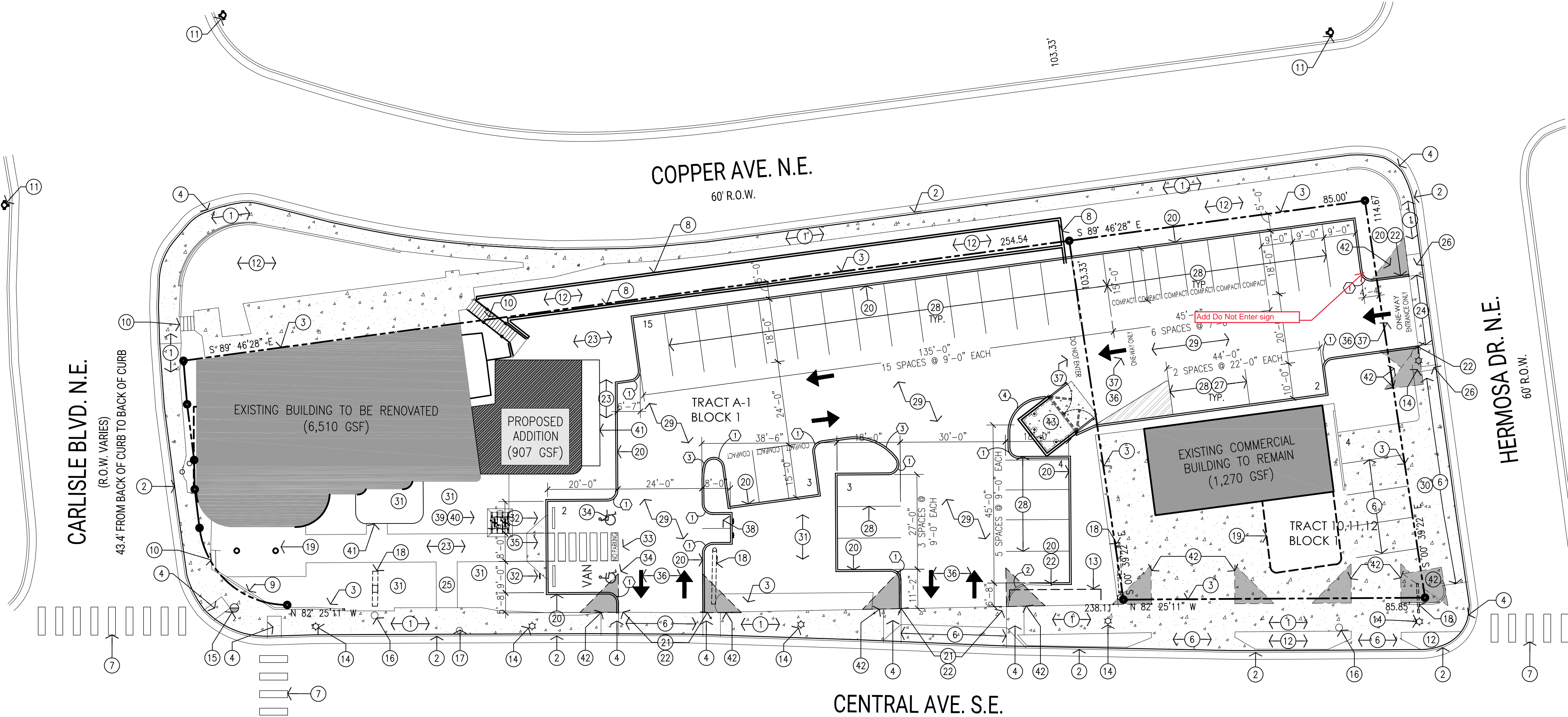
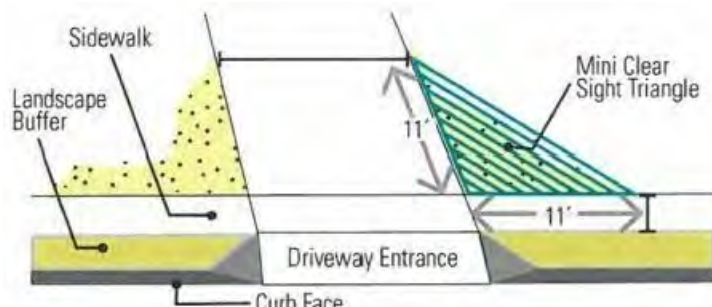


SITE SLOPES:

- PARKING LOT SLOPE SHALL BE BETWEEN 1% MIN. AND 8% MAX.
- PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% MIN. AND 5% MAX.
- ADA PARKING SHALL BE BETWEEN 1% MIN. AND 2% MAX.

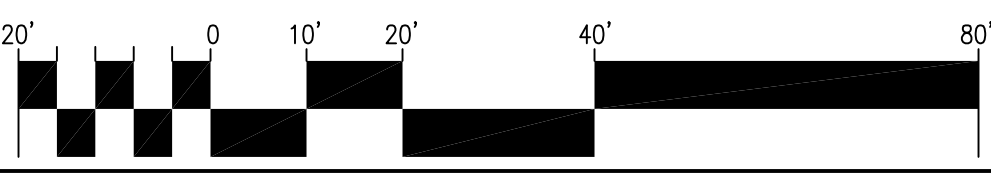
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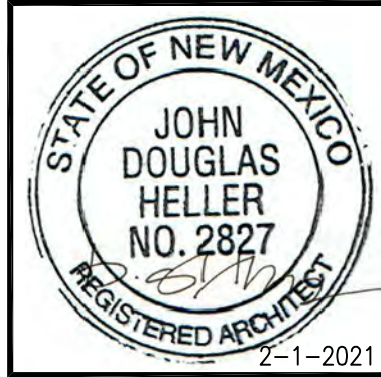
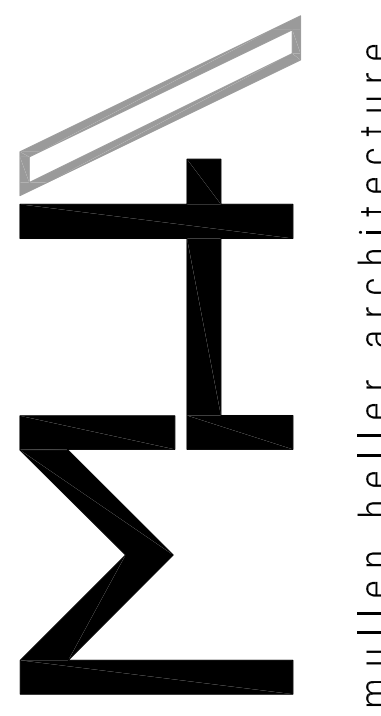
Architectural Site Plan

Scale 1" = 20'



100' R.O.W. NEW CONSTRUCTION ALONG THIS ROADWAY FOR THE ALBUQUERQUE RAPID TRANSIT PROJECT INCLUDING SIDEWALK, CURB, GUTTER, AND ASPHALT ROADWAY.
82.4' FROM BACK OF CURB TO BACK OF CURB.

REV	DESCRIPTION	BY	DATE
6			
4			
2			
1			



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JOB NUMBER 20-19

DRAWN BY DCdev & KBP

PROJECT MGR JDH

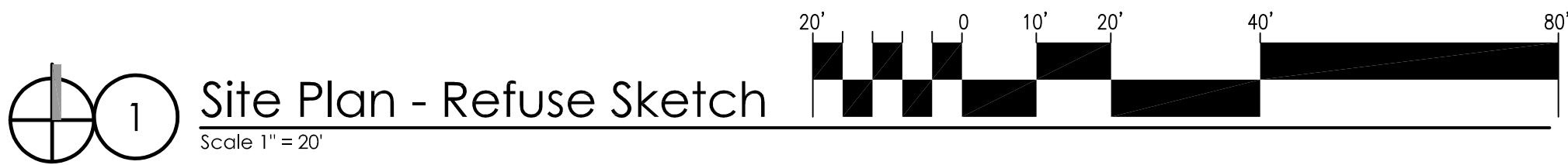
DATE 02-01-2021

PHASE SD

PROJECT
ROUTE 66 VETERINARY EMERGENCY & CRITICAL CARE CENTER
3601 CENTRAL AVE. N.E.
ALBUQUERQUE NM 87108
TITLE
Traffic Circulation Layout

SHEET

TCL-001

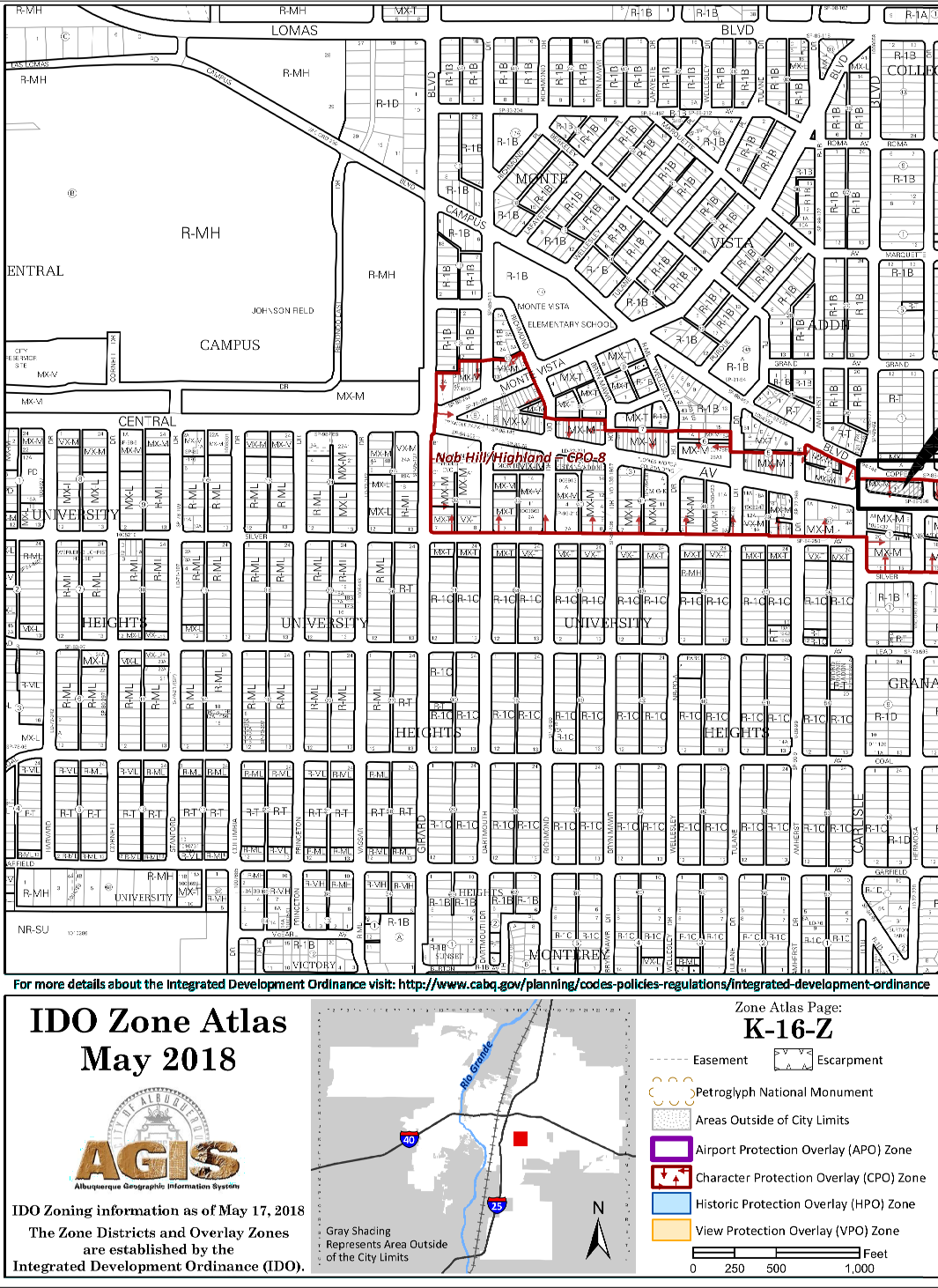


Approved for Access Solid Waste Department
02-01-21 Herman Gallegos *Herman Gallegos*

VICINITY MAP



ZONE ATLAS MAP K-16-Z



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CLEAR SIGHT TRIANGLE:

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