PROJECT THIS PROJECT ENCOMPASSES THE INTERIOR RENOVATION OF AN EXISTING PARKING CALCULATIONS: BLOCK BUILDING (FIRST FLOOR AND BASEMENT), AND THE CONSTRUCTION DESCRIPTION: OF A 970sf NEW ONE-STORY ADDITION. THE EXISTING PARKING LOT SHALL BE REDESIGNED AND UPDATED FOLLOWING CURRENT IDO AND CITY OF ALBUQUERQUE STANDARDS. THE TWO EXISTING TWO-WAY DRIVEWAYS TO THE MAIN PARKING LOT ALONG CENTRAL AVENUE SHALL REMAIN, AND BE MODIFIED AS NOTED. A NEW PROPOSED DRIVEWAY IS LOCATED ON THE EAST PROPERTY LINE TO PROVIDE ONE-WAY ENTRY FROM HERMOSA DR. N.E. AND CONNECTS TO THE MAIN PARKING LOT. THE SAME ENTITY OWNS BOTH PROPERTIES (LOT A1 AND 10).

BUILDING ADDRESS: 3601 CENTRAL AVE N.E. ALBUQUERQUE, NEW MEXICO 87108

LEGAL DESCRIPTION: TRACT A1 AND LPTS 10, 11 AND 12 BLOCK 1 COLLEGE VIEW BUSINESS ADDITION

LOT A1: 0.51 ACRE

BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO

SITE ACREAGE:

LOT 10, 11, 12: 0.2 ACRE TOTAL SITE ACREAGE: 0.71 ACRES

BUILDING GROSS EXISTING BUILDING (3601 CENTRAL AVE N.E.): 6,510 GROSS SF SQUARE FOOTAGE: FXISTING:

> EXISTING OFFICE BUILDING (3625 CENTRAL AVE. N.E.): 1,270 GROSS SF

OCCUPANCY GROUP: VETERINARY OFFICE

IDO ZONING INFORMATION:

MX-M: MIXED USE - MODERATE INTENSITY MAIN STREET CORRIDOR AREA - CENTRAL AVENUE MAJOR TRANSIT AREA - CENTRAL AVENUE PREMIUM TRANSIT STATION AREA - NOB HILL EAST STATION COMPREHENSIVE PLAN CENTER - NOB HILL, ACTIVITY CENTER CHARACTER PROTECTION OVERLAY ZONE - 3-4 NOB HILL/HIGHLAND

Traffic Circulation Layout

PROJECT PHASING: THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION: WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

REQUIRED PARKING:

PER IDO TABLE 5-5-1 FOR OFFICE USE TYPE IN US-MS-PT: 2.5 SPACES/1,000 GSF

OFFICE (RENOVATION & ADDITION) = 7,417 GSF OFFICE (EXISTING OFFICE BUILDING) = <u>1,270 GSF</u> TOTAL OFFICE USE TOTAL REQUIRED PARKING (OFFICE):

8,687 GSF @ 2.5 SPACES PER 1,000 GSF = 21.71 SPACES 21 SPACES REQUIRED

**PARKING REDUCTIONS:** PER SECTION 5-5(C)(5)(C) REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN

21 \* 0.70 (30% REDUCTION) = 14.7 SPACES ROUNDED DOWN = <u>14 SPACES REQUIRED</u>

PARKING PROVIDED:

ROUNDED DOWN

SPACES PROVIDED = 38 SPACES REGULAR SPACES: 27 COMPACT SPACES: 9 ADA SPACES:

REQUIRED ADA ACCESSIBLE PARKING SPACES: PER IDO 5-5-(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-5(C)(5) (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW

REQUIRED:

IN PARKING FACILITIES WITH 26-50 TOTAL SPACES, PROVIDE 2 ACCESSIBLE SPACES MIN.

PROVIDED: 2 SPACES (1 STANDARD, 1 VAN)

MEXICO STATUTES ANNOTATED, AS AMENDED.

REQUIRED MOTORCYCLE SPACES: PER 5-5(D) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE 5-5-4,

FOR REQUIRED OFF-STREET PARKING BETWEEN 26-50 SPACES, 2 MOTORCYCLE SPACES SHALL

MOTORCYCLE SPACES PROVIDED: 2 SPACES

PER TABLE 5-5-5, FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, PROVIDE BICYCLE PARKING FOR 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

COPPER AVE. N.E.

REQUIRED: 3 BICYCLE SPACES PROVIDED: 3 SPACES

GENERAL NOTES

[A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB. [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS. WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER

PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.

[D] ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).

[E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT. F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.

[G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.

[H] ALL UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER. REFER TO DETAIL. [I] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415

FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY. [J] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DTAILS 2430 AND 2415, RESPECTIVELY.

[K] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

[L] MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND FULLY SHIELDED FROM VIEW BY THE PARAPET CONSTRUCTION. SHOULD A MECHANICAL UNIT BE LOCATED AT THE GROUND LEVEL. IT SHALL BE FULLY SCREENED FROM VIEW PER THE IDO.

## RADIUS INFORMATION:

 $\langle 1 \rangle = 3'-0"$  $\langle 2 \rangle = 6'-0"$ 

 $\langle 3 \rangle = 15'-0"$ 

 $\langle 4 \rangle = 10'-0"$ 

 $\langle 5 \rangle = 2'-0"$ 

**KEYED NOTES:** 

EXISTING CITY STANDARD SIDEWALK TO REMAIN. EXISTING CONCRETE CURB TO REMAIN. EXISTING PROPERTY LINE.

EXISTING CURB CUT TO REMAIN. EXISTING DRIVEWAY TO REMAIN.

EXISTING CURB RAMP TO REMAIN.

EXISTING STRIPED CROSSWALK TO REMAIN. EXISTING RETAINING WALL TO REMAIN. EXISTING RAILING TO REMAIN. EXISTING STAIRS TO REMAIN.

11. EXISTING FIRE HYDRANT TO REMAIN. 12. EXISTING LANDSCAPING TO REMAIN. 13. EXISTING PERMANENT BUS SHELTER EASEMENT.

14. EXISTING LIGHT POLE TO REMAIN. 15. EXISTING TRAFFIC SIGNAL MAST TO REMAIN. 16. EXISTING CITY TRASH CAN TO REMAIN. 17. EXISTING CITY BIKE RACK TO REMAIN.

18. EXISTING SIGN TO REMAIN. 19. EXISTING COVERED PATIO/PORCH TO REMAIN. 20. PROPOSED CONCRETE CURB.

21. ALIGN DRIVE AISLE WITH EXISTING CURB CUT. 22. TIE NEW CURB INTO EXISTING CURB. 23. PROPOSED CONCRETE SIDEWALK. SEE 2/A002. 24. PROPOSED ACCESS DRIVEWAY PER COA CITY STANDARD 2426.

REFER TO DETAIL 5/A003. 25. PROPOSED SIDEWALK CONNECTION TO PUBLIC SIDEWALK. 26. PROPOSED CITY STANDARD HC RAMP. INSTALL TRUNCATED DOMES

PER COA STANDARDS. PROPOSED PARALLEL PARKING SPACES.

PROPOSED PAINTED PARKING STRIPING. 29. PROPOSED ASPHALT PAVING. 30. EXISTING ROLLED CURB TO REMAIN.

PROPOSED LANDSCAPING AREA. PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE

SUBJECT TO A FINE AND/OR TOWING". SEE 6/A002. 33. PROPOSED STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978. SEE 1/A002

34. PROPOSED ADA PAVEMENT SIGN. 35. PROPOSED ADA RAMP. SEE 8/A002.

36. PROPOSED PAINTED DIRECTIONAL ARROW/SIGNAGE ON PAVEMENT.

37. "ONE-WAY ONLY/ONE-WAY ENTRANCE ONLY/DO NOT ENTER" SIGNAGE ON PAVEMENT WHERE NOTED. 38. PROPOSED MOTORCYCLE PARKING WITH PAVEMENT SIGN AND WITH

SIGNAGE, SEE 6/A002 SIMILAR. 39. PROPOSED BIKE RACKS WITH 4 BIKE SPACES. SEE 5/A002.

40. PROPOSED 12" CLEAR ZONE AT BIKES RACKS.

41. PROPOSED 6' CEDAR PLANK.

42. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. 43. PROPOSED REFUSE AND RECYCLING ENCLOSURE. SEE 1/A003.

44. EXISTING DROP INLET TO REMAIN. 45. "DO NOT ENTER" SIGN MOUNTED TO POLE.

46. SITE LIGHTING, REFER TO ELECTRICAL.

COPPER AVE. N.E. Copper Ave NE

**ZONE ATLAS MAP** 

K-16-Z

DOUGLAS

HELLER

NO. 2827

MULLEN HELLER ARCHITECTURE 1718 CENTRAL AVE SW | STE. D ALBUQUERQUE, NM | 87109 P | 505.268.4144 F | 505.268.4244

20-19

DCdeV/

KBP/MW

03-19-2021

Circulation Layout

Traffic

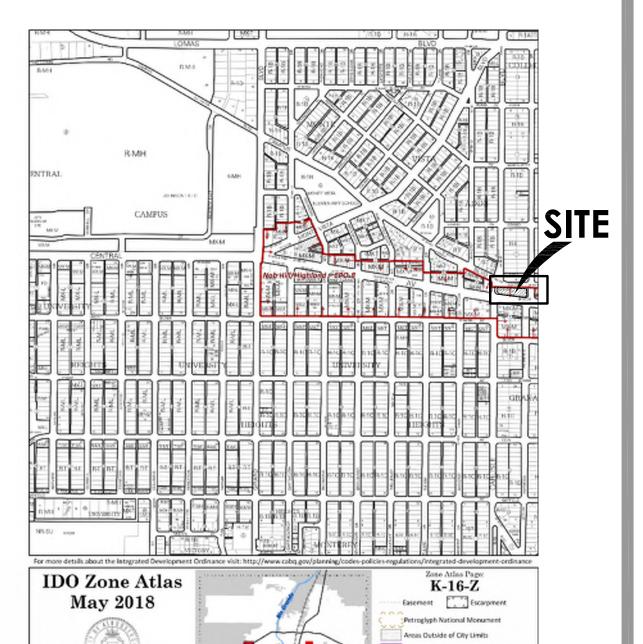
**JOB NUMBER** 

DRAWN BY

DATE

PHASE

PROJECT MGR



SITE SLOPES:

O Zoning information as of May 17, 2018 The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance

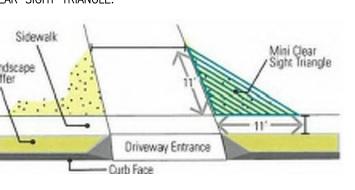
> PARKING LOT SLOPE SHALL BE BETWEEN 1% MIN. AND 8% MAX.

> PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% MIN. AND 5% MAX.

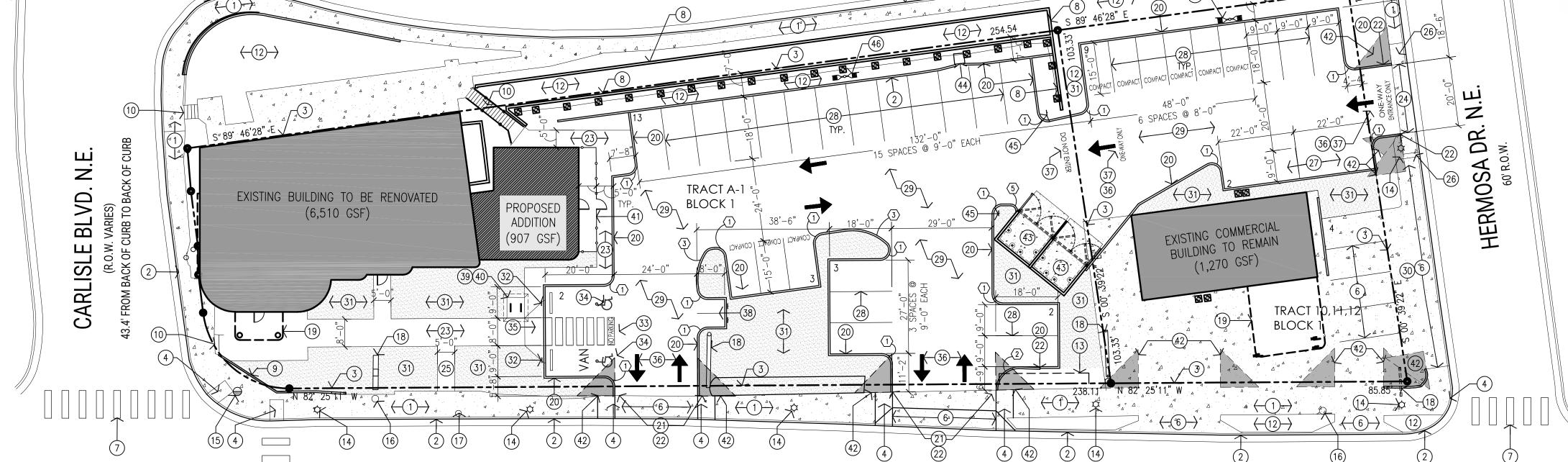
ADA PARKING SHALL BE BETWEEN 1% MIN. AND 2% MAX.

CLEAR SIGHT TRIANGLE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



TRAFFIC CIRCULATION LAYOUT APPROVED MP----P.E. 3/29/2021



CENTRAL AVE. S.E.

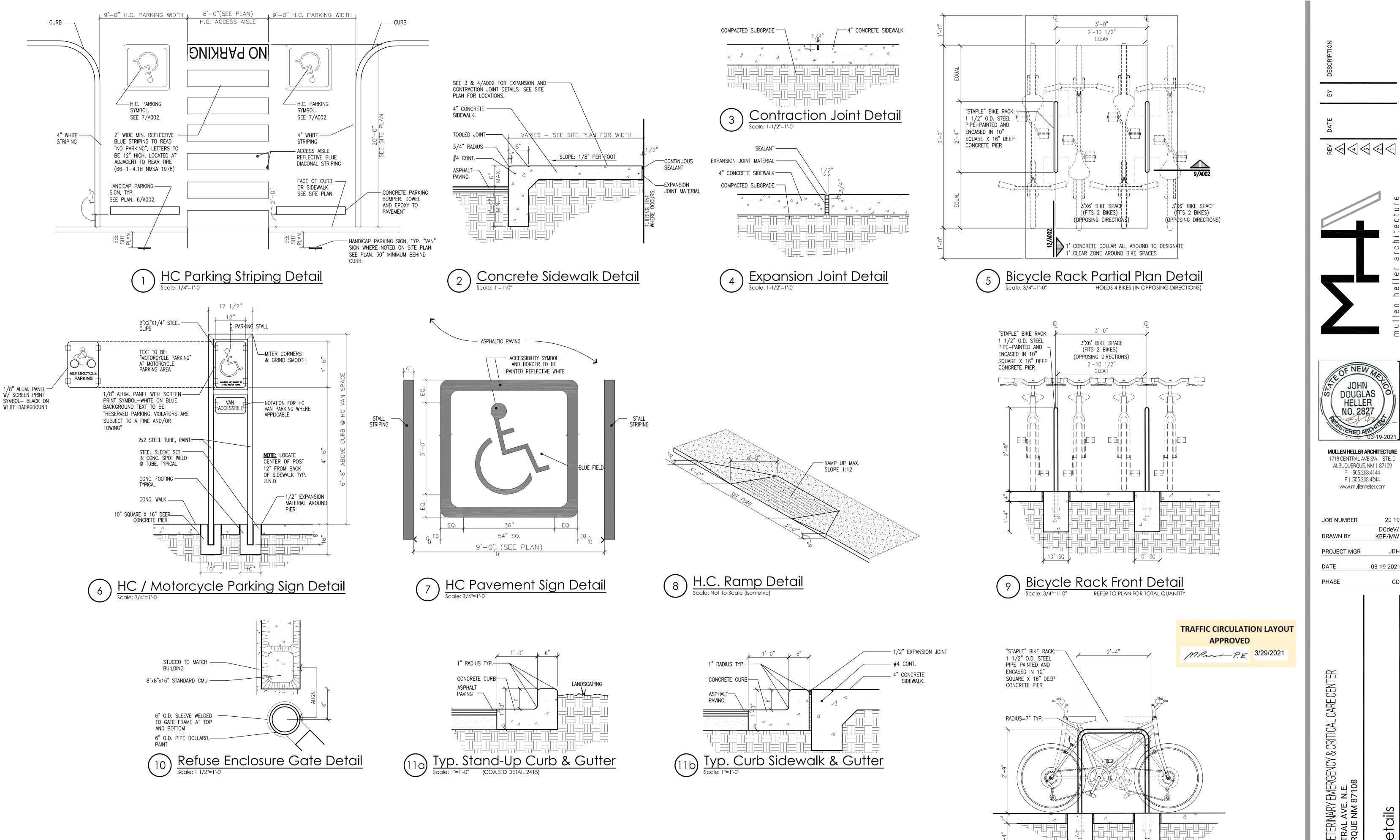
100' R.O.W. NEW CONSTRUCTION ALONG THIS ROADWAY FOR THE ALBUQUERQUE RAPID TRANSIT PROJECT INCLUDING SIDEWALK, CURB, GUTTER, AND ASPHALT ROADWAY 82.4' FROM BACK OF CURB TO BACK OF CURB

IERGENCY & CRITICAL CARE CENTER

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RINARY

SHEET





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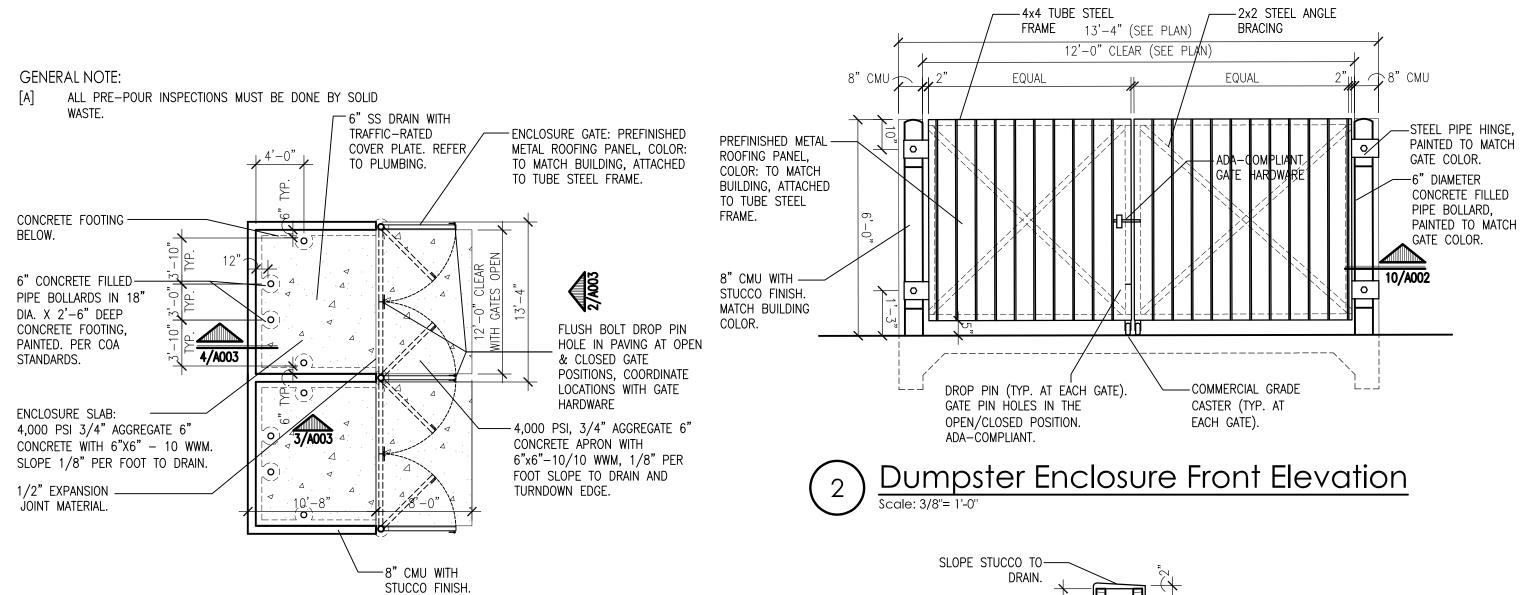
JOB NUMBER 20-19 DCdeV/ KBP/MW DRAWN BY PROJECT MGR 03-19-2021

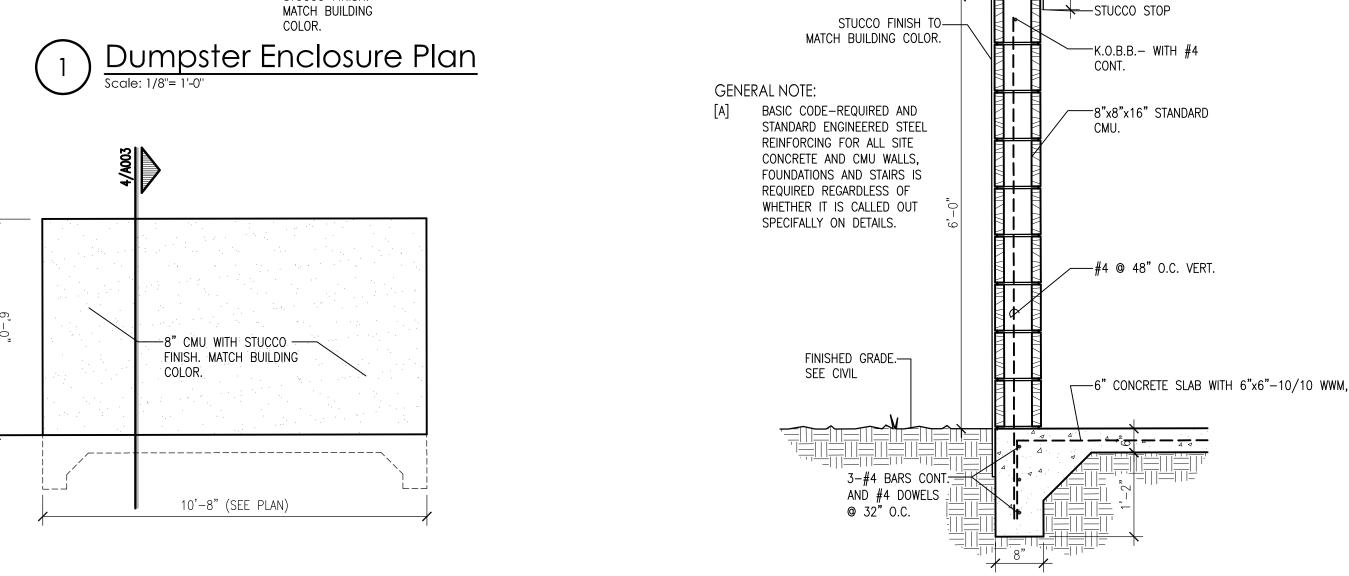
DATE PHASE

ROUTE 66 VETERINARY EMERGENCY & CRITICAL CARE CENTER 3601 CENTRAL AVE. N.E. ALBUQUERQUE NM 87108

SHEET A002

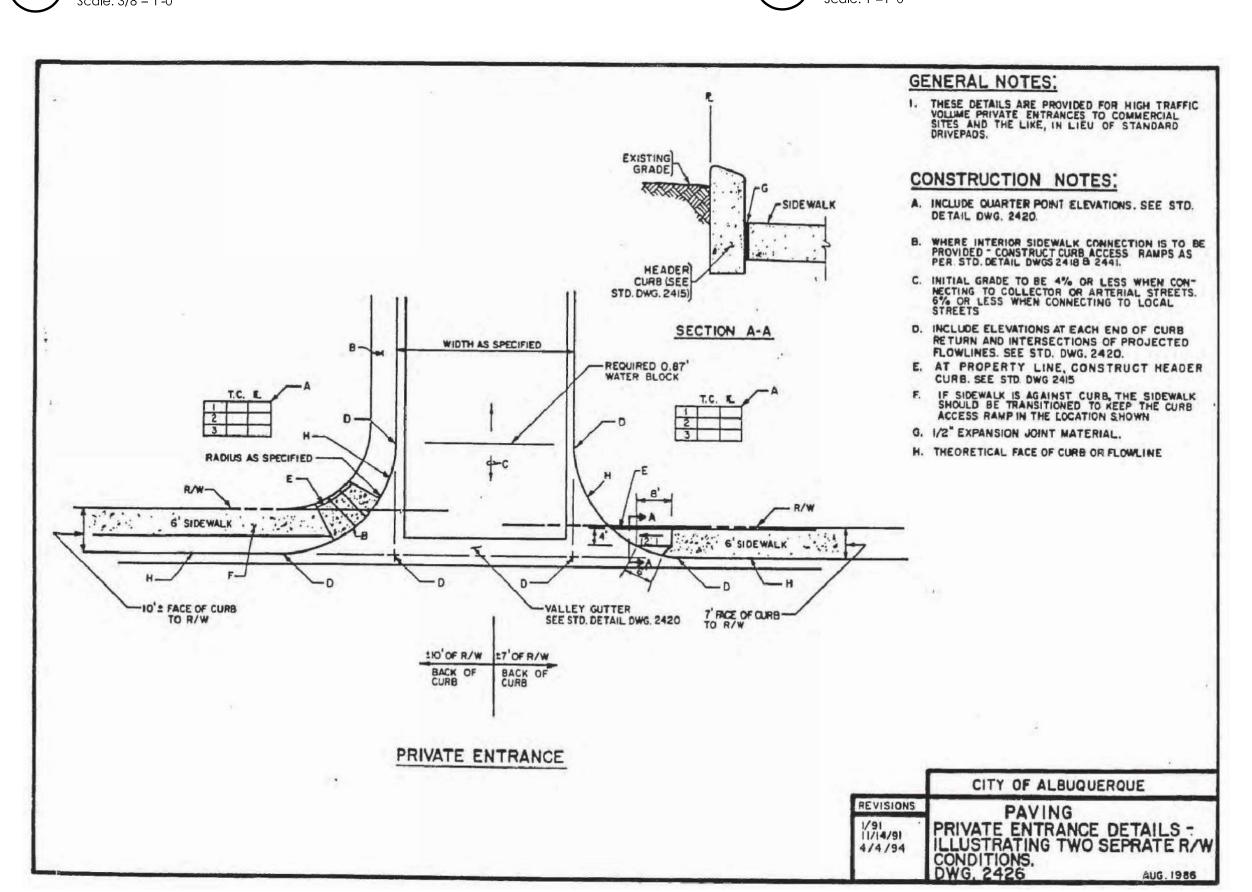
12) Bicycle Rack Side Detail
Scale: 3/4"=1'-0"



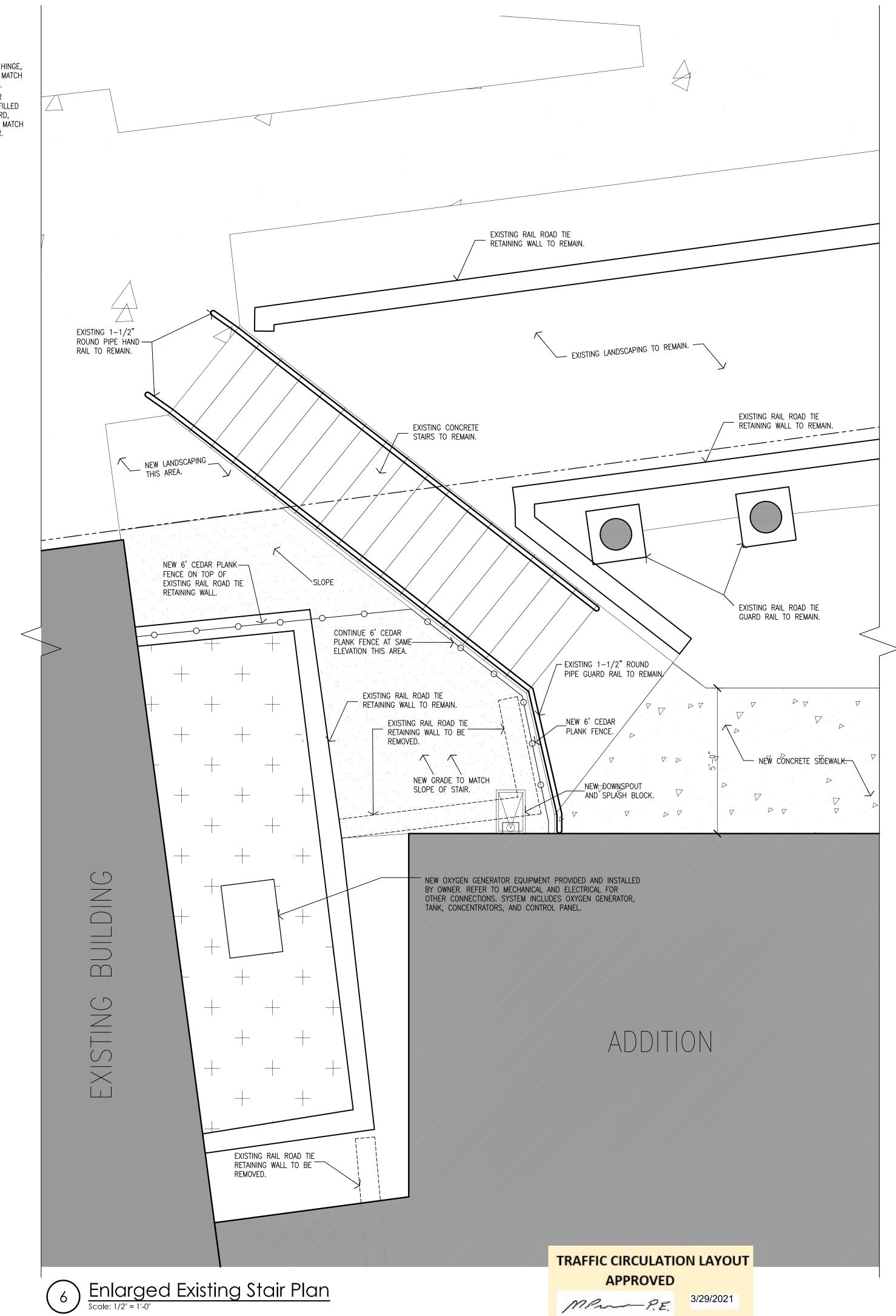


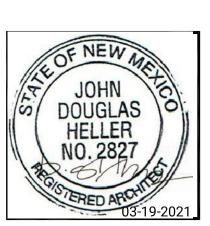
Dumpster Enclosure Wall Section

Dumpster Enclosure Side Elevation
Scale: 3/8"= 1'-0"



5) Typical Driveway Detail
Scale: NTS (COA STD DETAIL 2426)





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JOB NUMBER 20-19 DCdeV/ KBP/MW DRAWN BY PROJECT MGR DATE 03-19-2021

PHASE

PROJECT
ROUTE 66 VETERINARY EMERGENCY & CRITICAL CA
3601 CENTRAL AVE. N.E.
ALBUQUERQUE NM 87108

SHEET A003