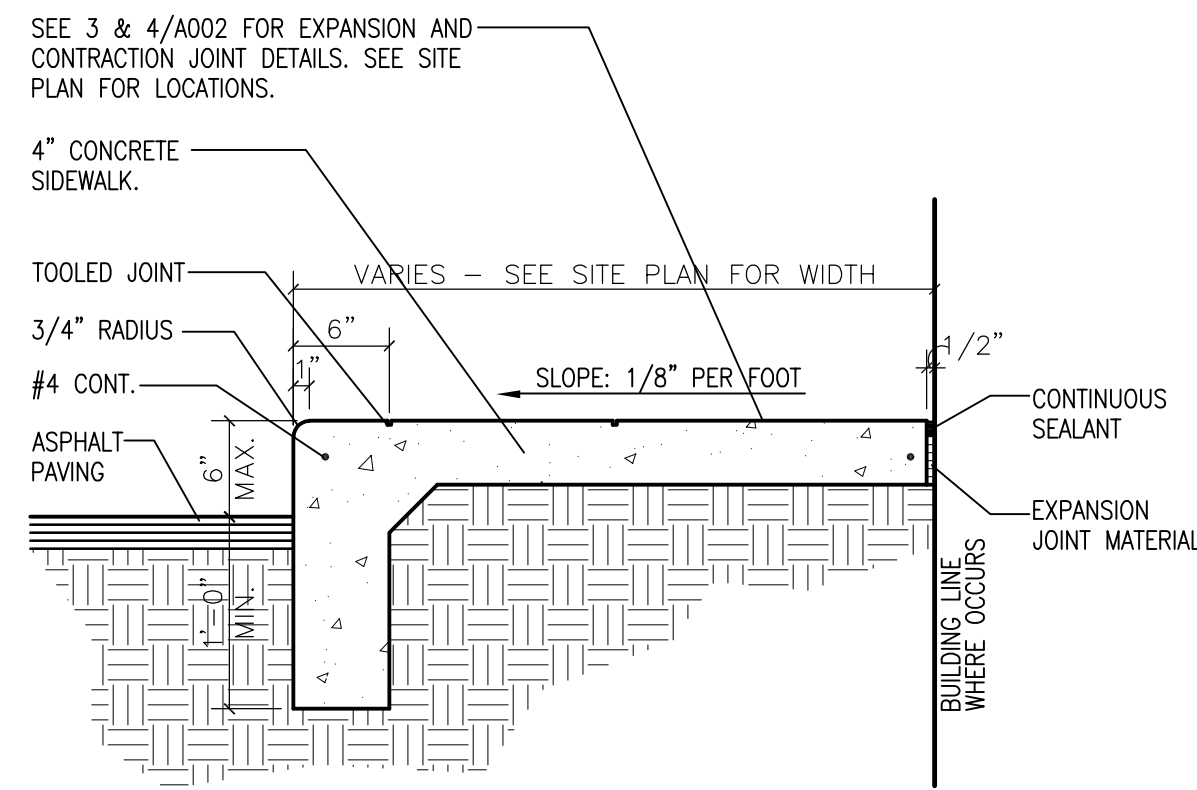
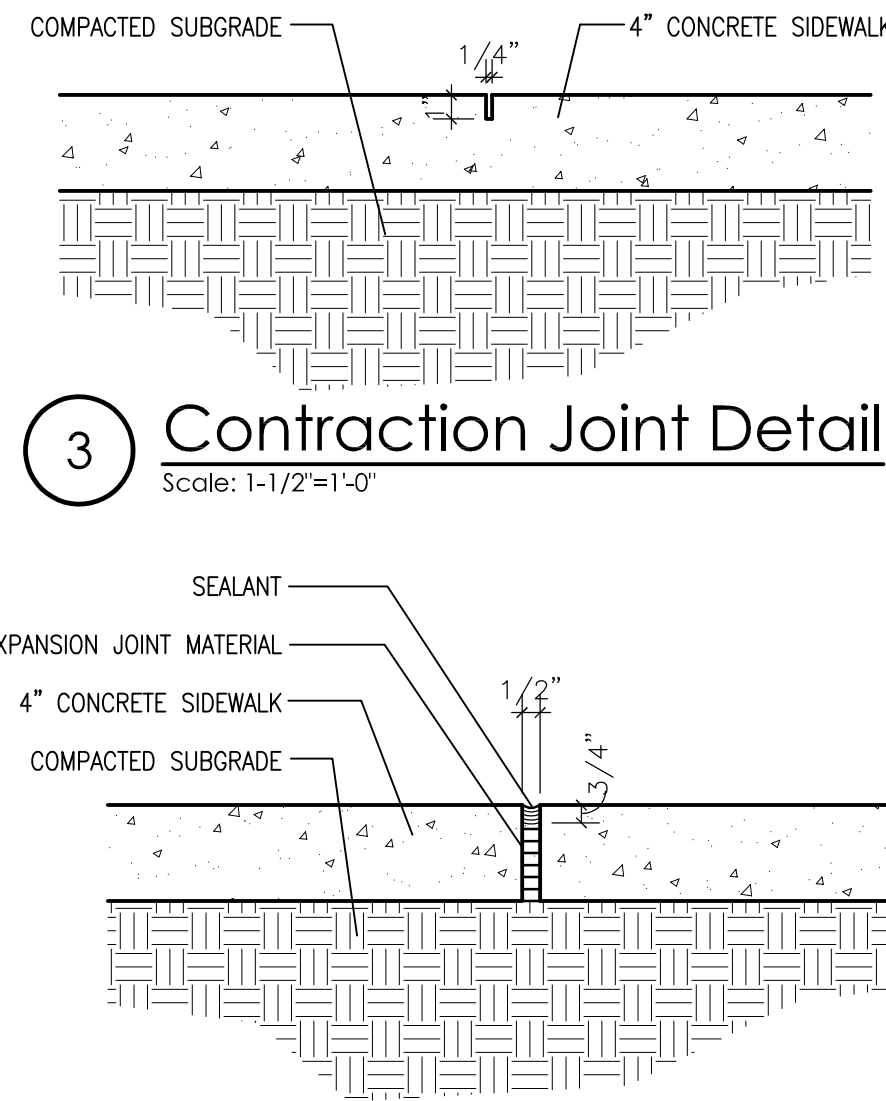


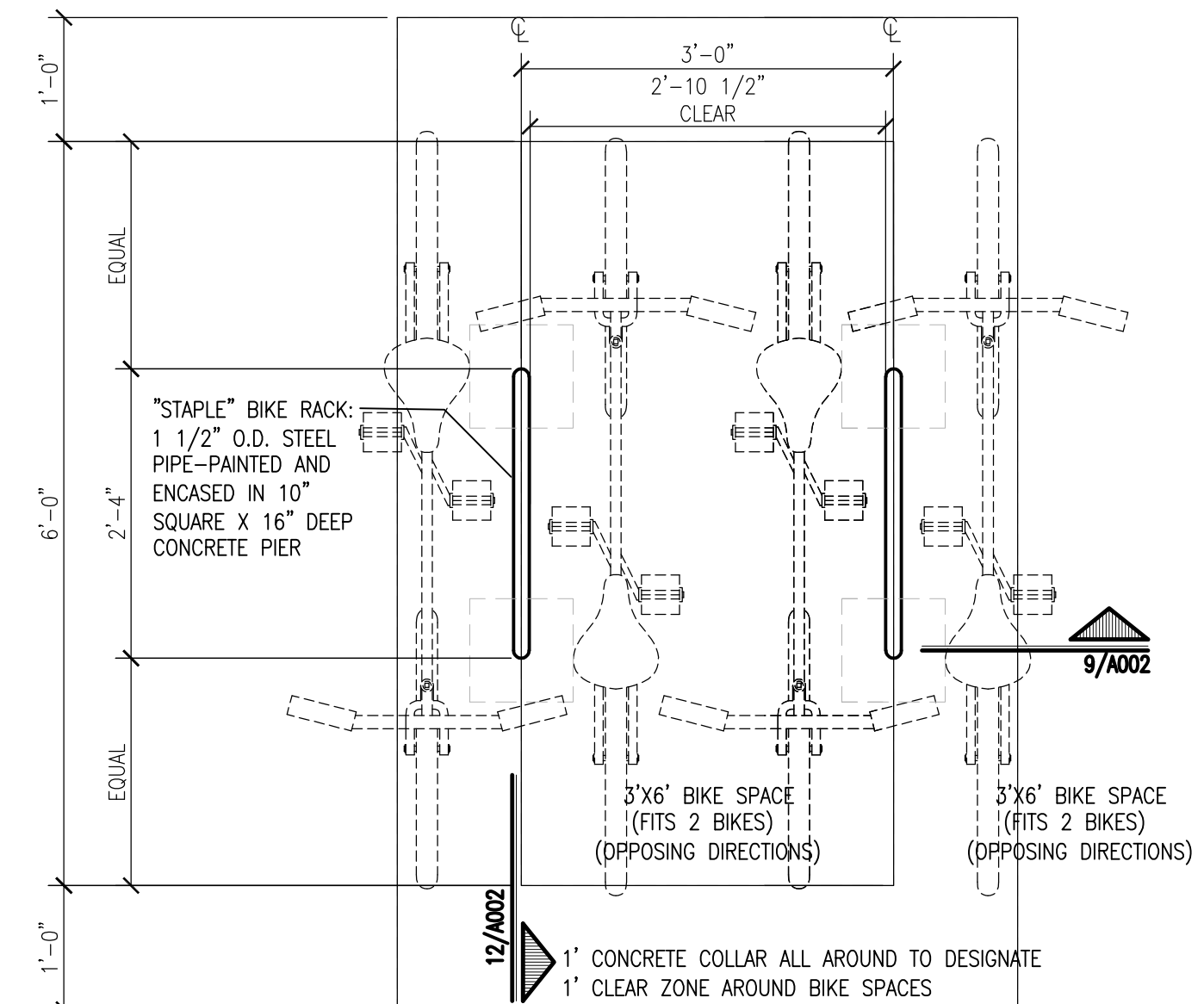
1 HC Parking Striping Detail  
Scale: 1/4"=1'-0"



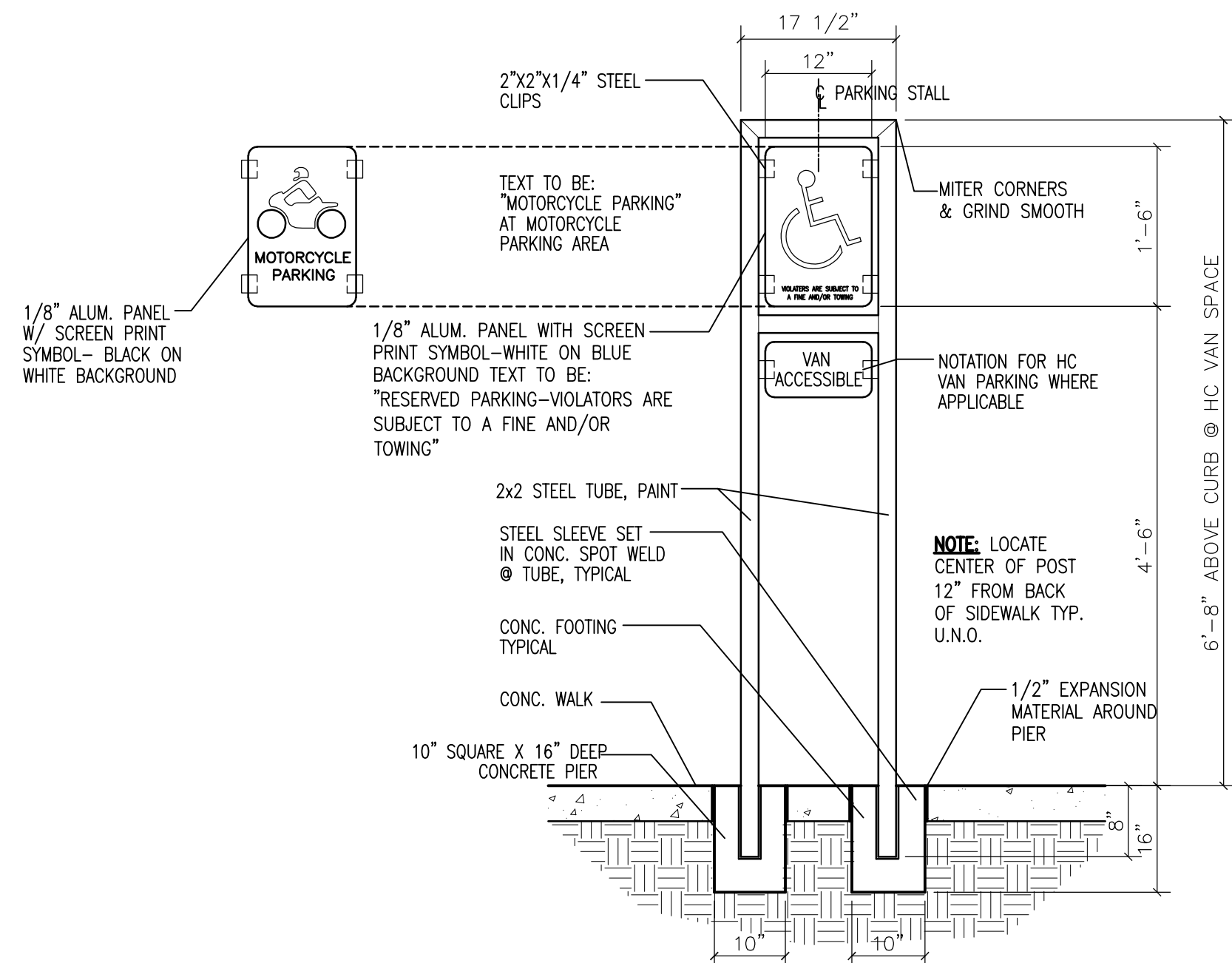
2 Concrete Sidewalk Detail  
Scale: 1"=1'-0"



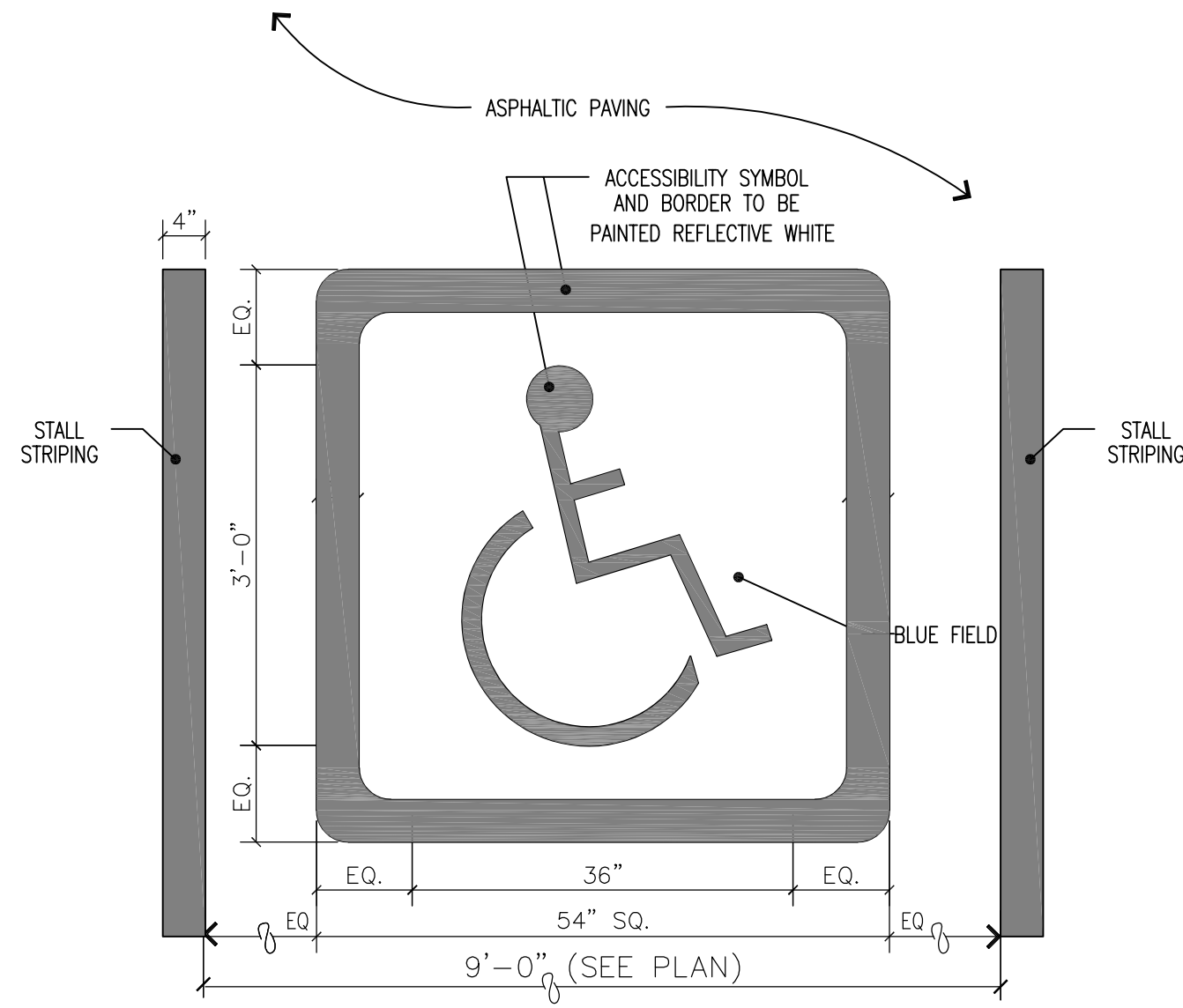
4 Expansion Joint Detail  
Scale: 1-1/2"=1'-0"



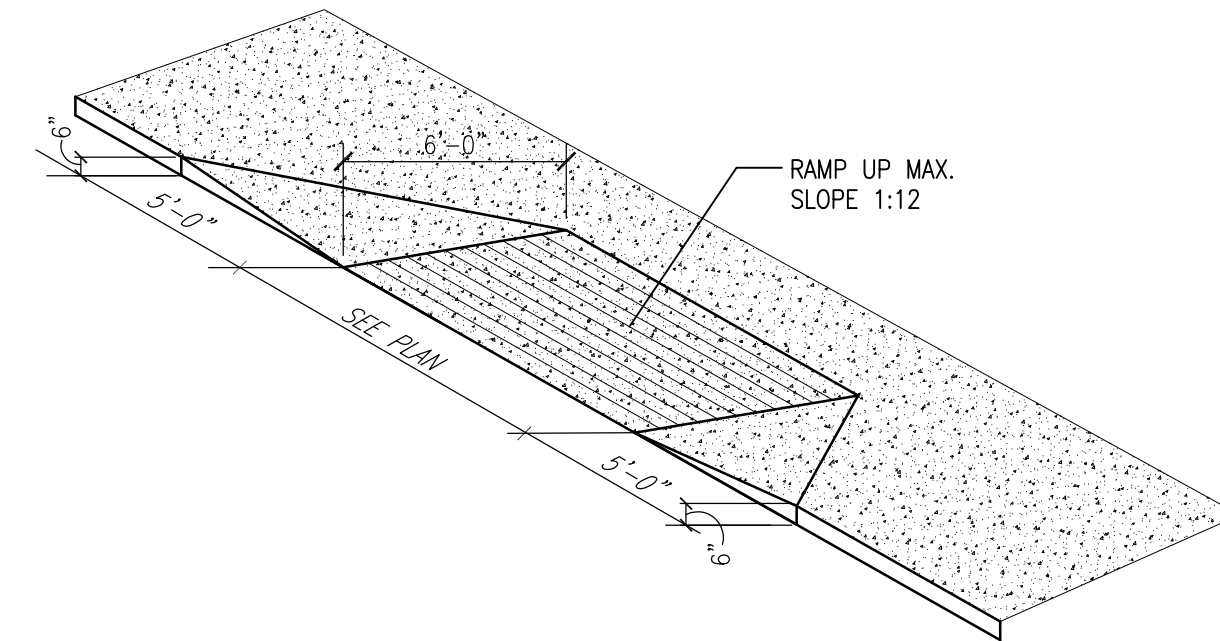
5 Bicycle Rack Partial Plan Detail  
Scale: 3/4"=1'-0"



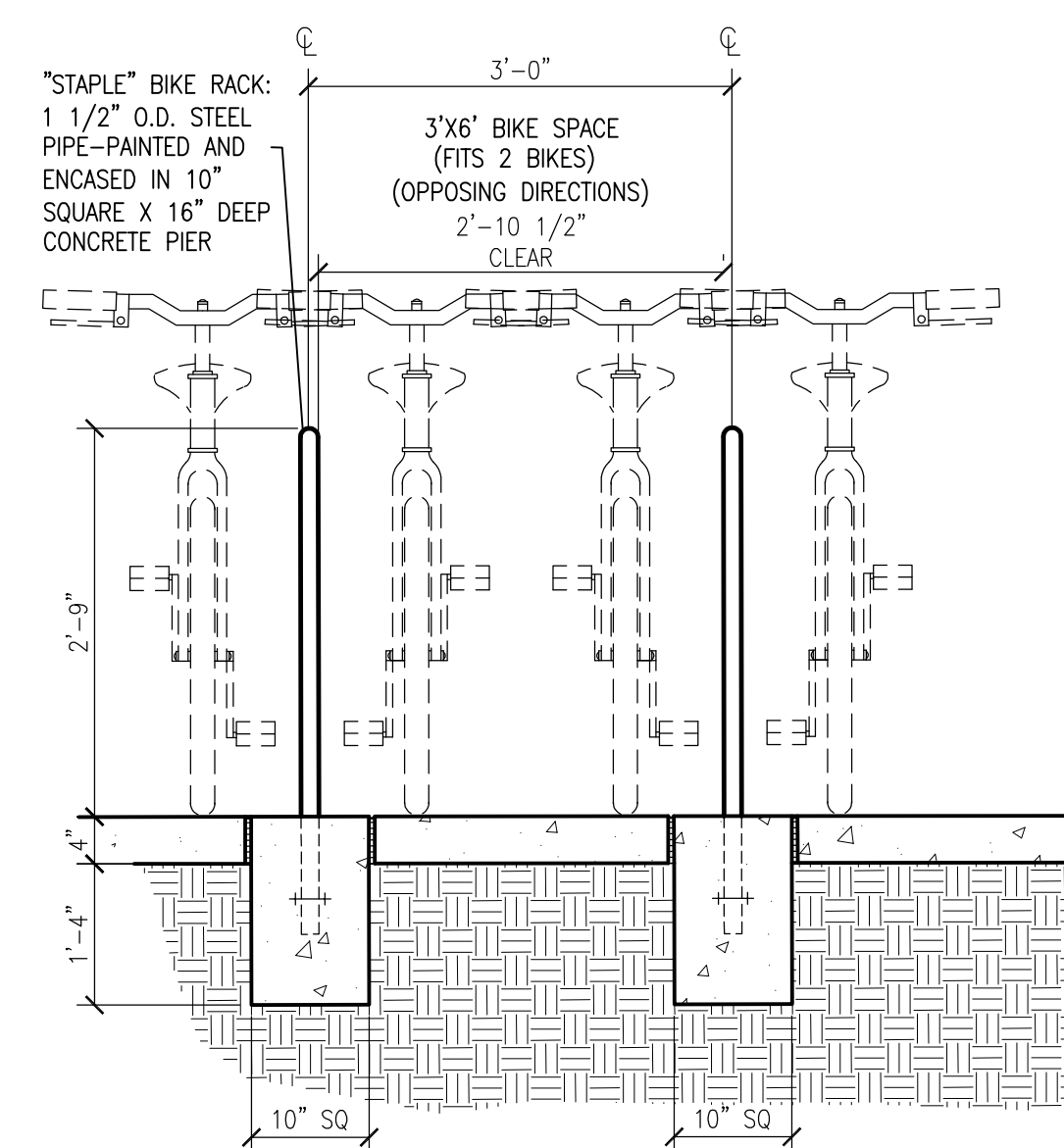
6 HC / Motorcycle Parking Sign Detail  
Scale: 3/4"=1'-0"



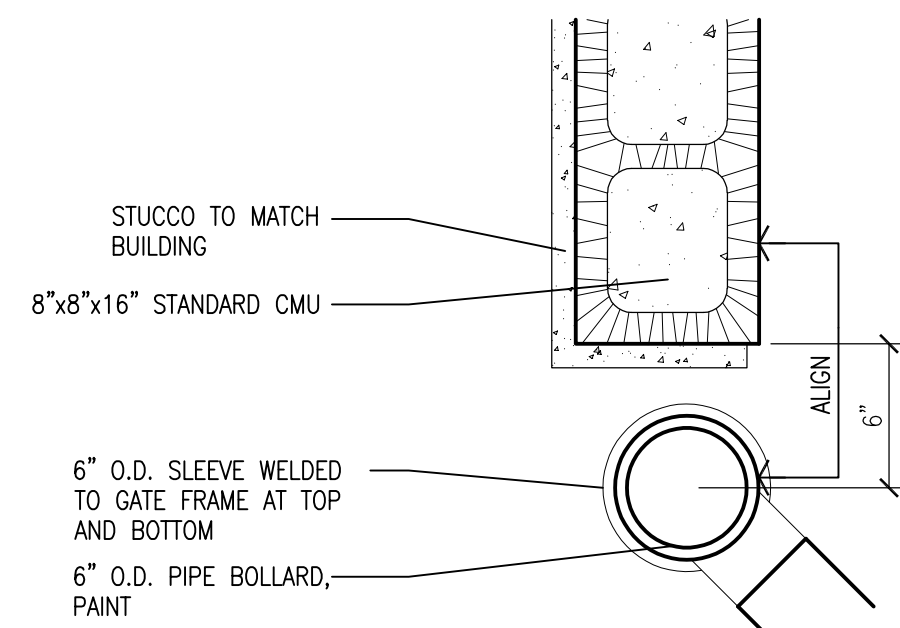
7 HC Pavement Sign Detail  
Scale: 3/4"=1'-0"



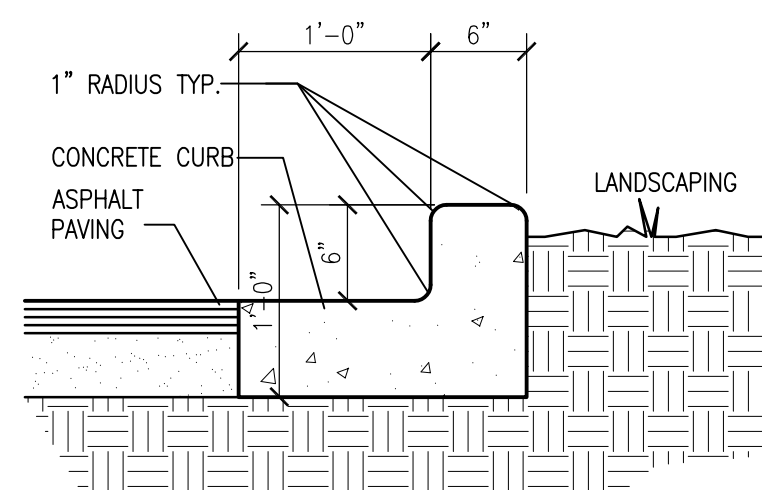
8 H.C. Ramp Detail  
Scale: Not To Scale (Isometric)



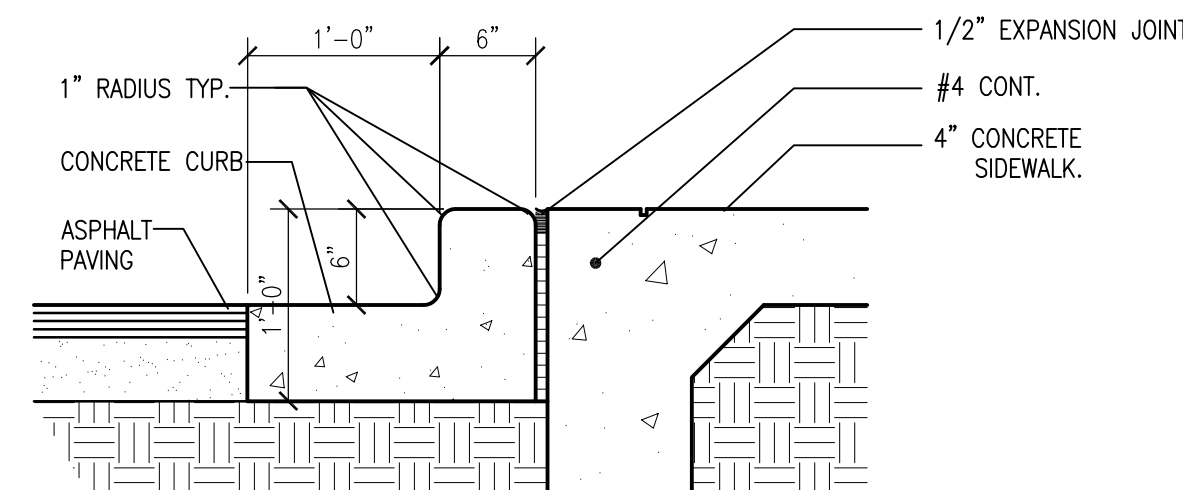
9 Bicycle Rack Front Detail  
Scale: 3/4"=1'-0"



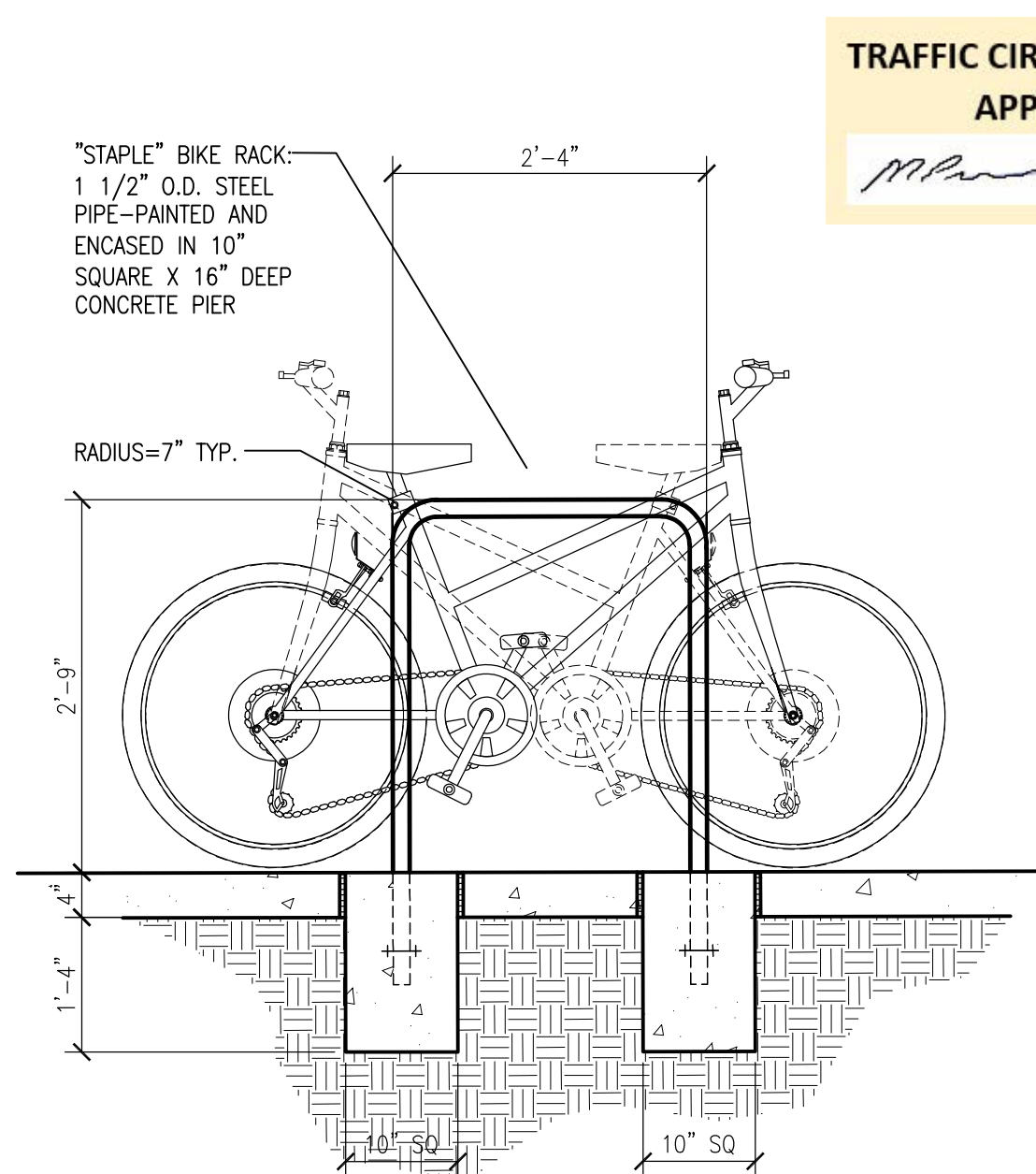
10 Refuse Enclosure Gate Detail  
Scale: 1 1/2"=1'-0"



11a Typ. Stand-Up Curb & Gutter  
Scale: 1"=1'-0"



11b Typ. Curb Sidewalk & Gutter  
Scale: 1"=1'-0"



12 Bicycle Rack Side Detail  
Scale: 3/4"=1'-0"

REV	DATE	DESCRIPTION
1	3/29/2021	1
2	3/29/2021	2
3	3/29/2021	3
4	3/29/2021	4
5	3/29/2021	5
6	3/29/2021	6
7	3/29/2021	7
8	3/29/2021	8
9	3/29/2021	9
10	3/29/2021	10
11	3/29/2021	11
12	3/29/2021	12



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JOB NUMBER	20-19
DRAWN BY	DCdeV/ KBP/MW
PROJECT MGR	JDH
DATE	03-19-2021
PHASE	CD

PROJECT  
ROUTE 66 VETERINARY EMERGENCY & CRITICAL CARE CENTER  
3601 CENTRAL AVE. N.E.  
ALBUQUERQUE NM 87108

TITLE  
Site Details

SHEET  
A002



A technical cross-section drawing of a concrete foundation and floor assembly. The drawing shows a concrete footing at the base, supporting an enclosure slab. Key components include:

- Concrete Footing:** A thick base layer with a width dimensioned as 4'-0" TP.
- Enclosure Slab:** A top layer made of 4,000 PSI 3/4" aggregate concrete with 6"x6" - 10 WWM. It has a slope of 1/8" per foot to drain.
- Traffic-Rated Cover Plate:** A 6" SS drain with traffic-rated cover plate, referred to plumbing.
- Expansion Joint Material:** Located between sections of the slab.
- Flush Bolt Drop Pin Hole:** A hole in the paving at open & closed gate positions, coordinated with gate hardware.
- Dimensions:** Various dimensions are provided, including 12"-0" TYP., 12'-0" CLEAR WITH GATES OPEN, 13'-4" WITH GATES OPEN, 10'-8", 9'-0", and 1'-0".
- Notes:** Several notes provide additional specifications, such as "CONCRETE FILLING IN 18" DIA. X 2'-6" DEEP CONCRETE FOOTING, PAINTED PER COA STANDARDS." and "ENCLOSURE SLAB: 4,000 PSI 3/4\"

**PRIVATE ENTRANCE**

**SECTION A-A**

**CONSTRUCTION NOTES:**

- THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES TO COMMERCIAL SITES AND THE LIKE, IN LIEU OF STANDARD DRIVEPADS.
- INCLUDE QUARTER POINT ELEVATIONS. SEE STD. DETAIL DWG. 2420.
- WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED, CONSTRUCT CURB ACCESS RAMPS AS PER STD. DETAIL DWG. 2418 & 2441.
- INITIAL GRADE TO BE 4% OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS. 6% OR LESS WHEN CONNECTING TO LOCAL STREETS.
- INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DETAIL DWG. 2420.
- AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD. DETAIL DWG. 2415.
- IF SIDEWALK IS AGAINST CURB, THE SIDEWALK SHOULD BE TRANSITIONED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN.
- 1/2" EXPANSION JOINT MATERIAL.
- THEORETICAL FACE OF CURB OR FLOWLINE.

**REVISIONS**

1/91	
1/14/91	
4/4/94	

**CITY OF ALBUQUERQUE**

**PAVING**

**PRIVATE ENTRANCE DETAILS - ILLUSTRATING TWO SEPARATE R/W CONDITIONS.**

**DWG. 2420**

**AUG. 1988**

[illegible]

GENERAL NOTE:

[A] BASIC CODE-REQUIRED AND STANDARD ENGINEERED STEEL REINFORCING FOR ALL SITE CONCRETE AND CMU WALLS, FOUNDATIONS AND STAIRS IS REQUIRED REGARDLESS OF WHETHER IT IS CALLED OUT SPECIFICALLY ON DETAILS.

Labels in drawing:

- SLOPE STUCCO TO DRAIN.
- STUCCO STOP
- STUCCO FINISH TO MATCH BUILDING COLOR.
- K.O.B.B.- WITH #4 CONT.
- 6"x8"x16" STANDARD CMU.
- #4 @ 48" O.C. VERT.
- 6" CONCRETE SLAB WITH 6"x6"-10/10 WWM.
- FINISHED GRADE. SEE CIVIL.
- 3-#4 BARS CONT. AND #4 DOWELS @ 32" O.C.
- 6'-0"
- 8"
- 1'-2"

EXISTING 1-1/2" ROUND PIPE HAND RAIL TO REMAIN.

EXISTING RAIL ROAD TIE RETAINING WALL TO REMAIN.

EXISTING LANDSCAPING TO REMAIN.

EXISTING CONCRETE STAIRS TO REMAIN.

EXISTING RAIL ROAD TIE RETAINING WALL TO REMAIN.

NEW LANDSCAPING THIS AREA.

NEW 6' CEDAR PLANK FENCE ON TOP OF EXISTING RAIL ROAD TIE RETAINING WALL.

SLOPE

CONTINUE 6' CEDAR PLANK FENCE AT SAME ELEVATION THIS AREA.

EXISTING RAIL ROAD TIE RETAINING WALL TO REMAIN.

EXISTING RAIL ROAD TIE RETAINING WALL TO BE REMOVED.

NEW GRADE TO MATCH SLOPE OF STAIR.

EXISTING 1-1/2" ROUND PIPE GUARD RAIL TO REMAIN.

NEW 6' CEDAR PLANK FENCE.

NEW DOWNSPOUT AND SPLASH BLOCK.

EXISTING RAIL ROAD TIE GUARD RAIL TO REMAIN.

NEW CONCRETE SIDEWALK.

5'-0"

EXISTING BUILDING

ADDITION

NEW OXYGEN GENERATOR EQUIPMENT PROVIDED AND INSTALLED BY OWNER. REFER TO MECHANICAL AND ELECTRICAL FOR OTHER CONNECTIONS. SYSTEM INCLUDES OXYGEN GENERATOR, TANK, CONCENTRATORS, AND CONTROL PANEL.

EXISTING RAIL ROAD TIE RETAINING WALL TO BE REMOVED.

TRAFFIC CIRCULATION LAYOUT

**TRAFFIC CIRCULATION LAYOUT**  
**APPROVED**  
*M. P. P.E.* 3/29/2021