

# CITY OF ALBUQUERQUE

Planning Department  
David S. Campbell, Director



Timothy M. Keller, Mayor

June 21, 2018

Diane Hoelzer, PE  
Mark Goodwin & Associates, PA.  
PO Box 90606  
Albuquerque, NM 87199

**Re: The Carlisle Condominiums**  
**3600 Central Ave SE**  
**Engineer's Stamp dated: 9-16-15 (K17D069)**  
**Certification dated: 3-19-18**

Dear Ms. Hoelzer,

Based on the submittal received 6/21/2018, the site is acceptable for release of Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, please contact me at 924-3986 or e-mail at [jhughes@cabq.gov](mailto:jhughes@cabq.gov).

Albuquerque

Sincerely,

NM 87103

James D. Hughes, P.E.  
Principal Engineer, Hydrology  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

C: Email      Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Zamora, Renee; Sandoval,  
Darlene M.



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: The Carlisle Building Permit #: T201592233 Hydrology File #: K17-0069  
DRB#: — EPC#: — Work Order#: —  
Legal Description: TRACT A Mankato Place  
City Address: 3600 CENTRAL AVE. SE ALBUQUERQUE, NM 87106  
Applicant: The Carlisle Condominium LLC. Contact: Kenny Hinkes  
Address: 4708 Royene Ave  
Phone#: 505-798-1000 Fax#: — E-mail: Ken Hinkes@gmail.com  
Other Contact: HB Construction - Jeffrey Harrison Contact: —  
Address: 3010 Monte Vista Blvd  
Phone#: 505-379-4255 Fax#: — E-mail: Jeffreyh@HBconstruction.com

Check all that Apply:

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 6-21-2018

By: Jeffrey Harrison

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

# CARLISLE CONDOMINIUM PROJECT

**PROJECT DESCRIPTION:** This 0.48 acre site is proposed to be developed into a 36 unit multi-level condominium complex with an underground parking garage.

**EXISTING CONDITIONS:** The project site is bounded by Carlisle Blvd. and Central Avenue on the west and north side of the property. Runoff from Carlisle is conveyed northerly as street flow then eastward at the intersection with Central Avenue. The east property boundary has a block wall that serves as a divide line between the existing restaurant outdoor patio and this project site. The south boundary consists of a gravel road that serves as access for the adjacent residences and church to the south. This project will have only one access location off of Central Avenue. No offsite flows enter this site under existing conditions.

**PROPOSED CONDITIONS:** Runoff from the roof will be directed to the "first flush" runoff storage tank located in the underground parking garage southeast corner. The tank will detain the required "first flush" runoff volume of 601 cu.ft. for 24 hours. After this detention time, the first flush volume will be pumped at a rate not to exceed 2.35 cfs through the 8" outfall discharge pipe to Central Avenue.

During any storm event when the first flush runoff volume is exceeded, the excess runoff will spill through a 10" diameter PVC pipe that serves as a spillway weir, into an 8" PVC pipe that conveys the runoff as gravity flow to a 24" sidewalk culvert and into Central Avenue.

## SUMMARY OF HYDROLOGY

PROJECT AREA = 0.4877 ACRES = .000762 SQ. MI.  
LAND TREATMENT = 100% D (FROM ROOF ONLY)  
P (60") = 2.00"  
P (8HR) = 2.30"  
P (24HR) = 2.65"  
Q<sub>100</sub> = 2.35cfs (ROOF)  
V<sub>100</sub> = 0.0835 AC. FT. = 3637 CU. FT. (ROOF)

## FIRST FLUSH CALCULATION

(0.34"/12") x (21,244 SF) = 601 CU.FT.  
LAND TREATMENT = 100% D (FROM ROOF ONLY)  
SINCE ROOF TAKES UP 99.9% OF ENTIRE PROJECT SITE,  
AND EXISTING SITE IS 100% IMPERVIOUS,  
EXISTING RUNOFF=ROOF RUNOFF=2.35 cfs

## KEYED NOTES

- EXISTING PROPERTY LINE
- EXISTING ALLEY
- EXISTING PUBLIC SIDEWALK
- EXISTING CURB
- EXISTING DRIVEWAY SHALL BE REMOVED AND REPLACED WITH NEW 6" SIDEWALK & CURB & GUTTER
- EXISTING RAMP
- EXISTING OUTSIDE BUILDINGS
- PROPOSED ENTRANCE FOR ENCLOSED GARAGE
- PROPOSED TRANSFORMER
- PROPOSED ELECTRIC BANK METERS
- PROPOSED TRASH COMPACTOR

## T B M (TEMPORARY BENCHMARK)

PK NAIL WITH ALUMINUM DISK  
STAMPED "SURVITEK"  
ELEVATION = 5209.87 (NAVD88)

## GRADING AND DRAINAGE CERTIFICATION

I, DIANE HOELZER, NMPE 11967, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 3, 2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILLIAM NEISH, NMPS 21081, THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL, AND CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Diane Hoelzer NMPE 11967  
DATE 3-19-18

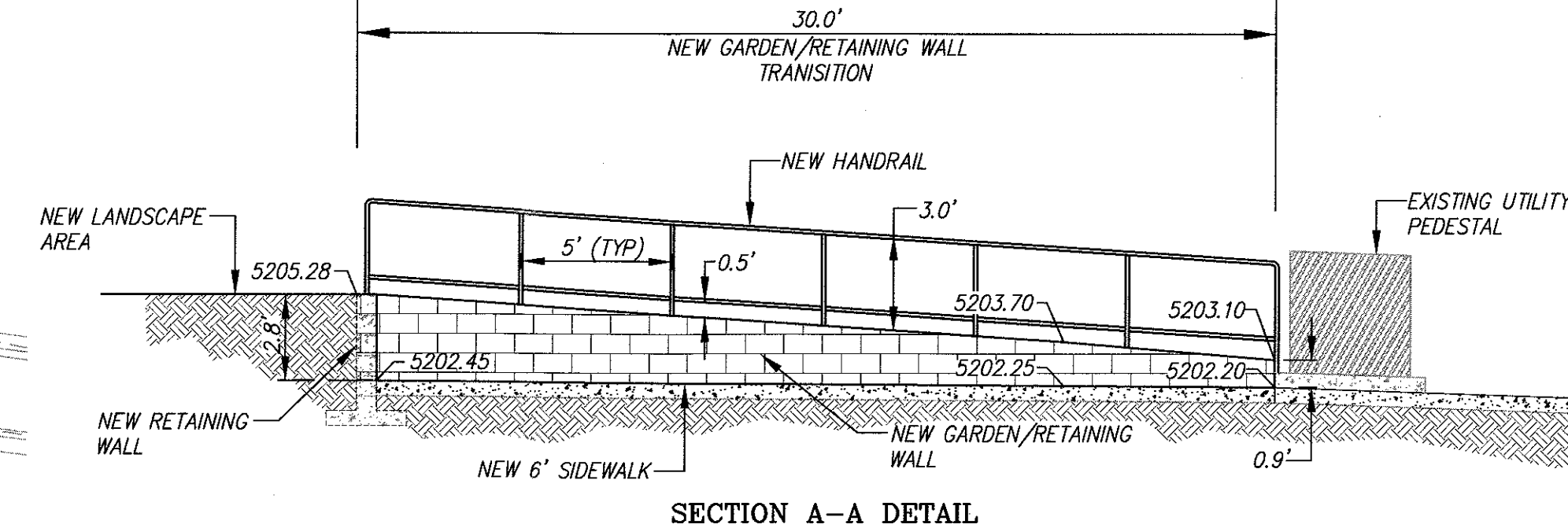
WORK ON CENTRAL WAS COMPLETED BY ART CONSTRUCTION. THIS CERT. IS FOR GARAGE AREA ONLY.

Albuquerque City Survey Monument "9-K17"  
New Mexico State Plane Coordinates:  
Central Zone (NAD 83) as follows:  
Y = 1,484,489.50  
X = 1,534,461.72  
Delta Alpha = -00°12'13"  
Ground to grid factor = 0.999667932  
Elevation = 5205.27 feet (NAVD88)

Sanitary Sewer Manhole  
Rim Elev. = 5201.28  
Inv. Elev. = 5194.53 NW  
Inv. Elev. = 5195.08 E

3600 CENTRAL AVE. S.E.

FIRST FLOOR - GARAGE LEVEL  
(PARKING)



24" SIDEWALK CULVERT  
PER COA STD DWG 2236  
Q<sub>100</sub> = 2.35cfs (max)  
5201.28

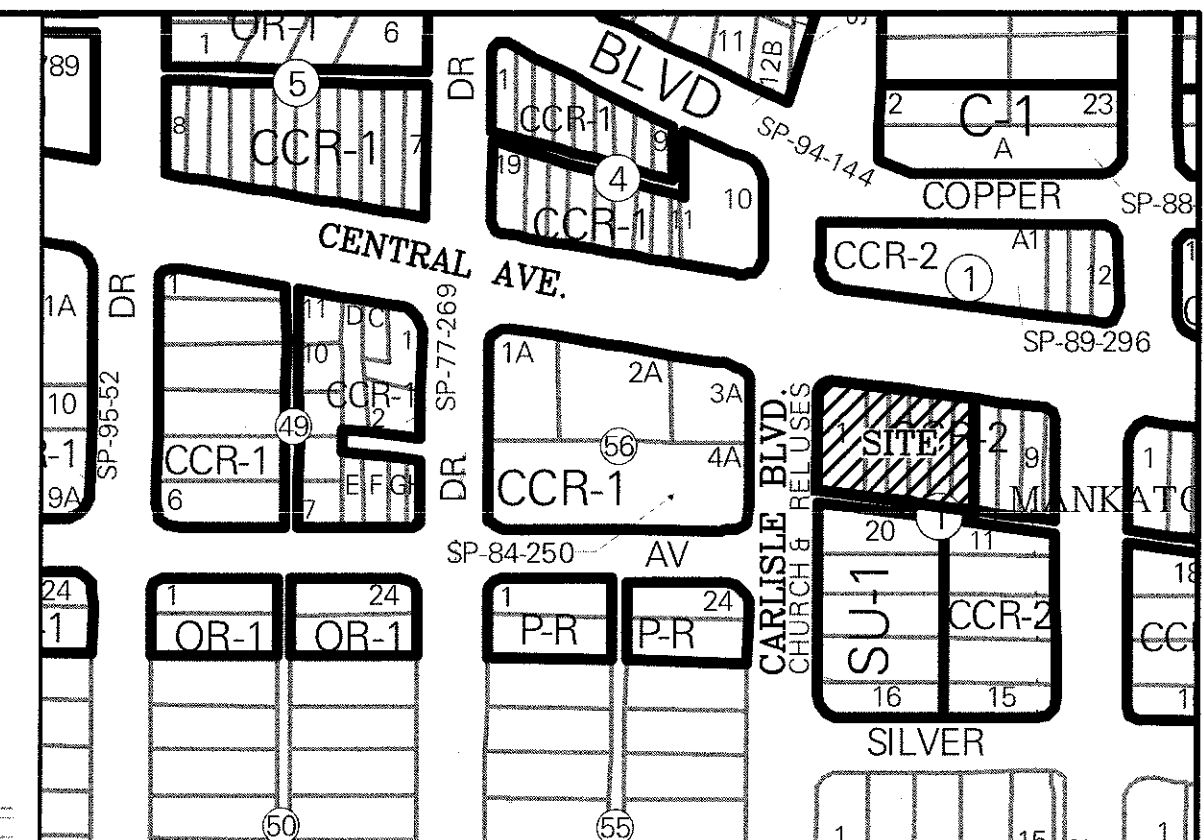
NEW 24 FT WIDE DRIVEPAD  
PER COA STD DWG 2425

Project Bench Mark  
PK Nail with aluminum disk  
stamped "SURVITEK"  
Elevation = 5201.62 (NAVD88)

NEW 3" WIDE SIDEWALK  
WITH 2% CROSSWALK

SUMP INLET  
ELEVATION = 5201.26  
(SEE MASTER UTILITY PLAN  
FOR SUMP D INLET CONNECTION  
TO SANITARY SEWER IN CENTRAL)

**PUMP SPECIFICATIONS:**  
USE A HYDROMATIC W/25 SUBMERSIBLE SUMP PUMP, 1/4 HP, DISCHARGE 1-1/2" NPT OR EQUIVALENT. FIRST FLUSH VOLUME IS 601 OF. THIS WILL BE RETAINED FOR 24 HOURS, THEN SLOWLY PUMPED AND RELEASED TO CENTRAL AVENUE AT A RATE OF APPROXIMATELY 0.1 CFS. A MANHOLE TYPE LID ON THE STORAGE TANK WILL ALLOW FOR PERIODICAL CLEANING AS NECESSARY.



VICINITY MAP ZONE ATLAS: K-16-Z

## LEGAL DESCRIPTION

LOTS NUMBERED ONE (1), TWO (2), THREE (3), FOUR (4), FIVE (5), AND SIX (6), IN BLOCK NUMBERED ONE (1) REPLAT OF MANKATO PLACE, AS THE SAME ARE SHOWN AND DESIGNATED ON THE REPLAT OF SAID BLOCK ONE (1), FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 4, 1929, IN PLAT BOOK B, FOLIO 45.

## LEGEND

- EXISTING TELEPHONE PEDESTAL
- EXISTING CABLE PEDESTAL
- EXISTING WALL
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC PEDESTAL
- EXISTING WATER METER
- EXISTING CONCRETE AREA
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING POWER POLE WITH FEED
- EXISTING GUY-WIRE ANCHOR
- EXISTING HYDRANT
- EXISTING SEWER CLEANOUT
- EXIST. SANITARY SEWER MANHOLE
- EXISTING WROUGHT IRON FENCE
- EXISTING ELECTRIC TRANSFORMER
- EXISTING BOLLARD
- EXISTING WATER VALVE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING CONCRETE CURB & GUTTER
- EXISTING ELECTRIC MANHOLE
- EXISTING TRAFFIC SIGNAL
- EXISTING HANDICAP PARKING SPACE
- EXISTING ELECTRIC BOX
- EXISTING GAS METER
- NEW WATERBLOCK
- NEW FLOW
- NEW SUMP INLET
- NEW SIDEWALK
- NEW LANDSCAPE AREA
- NEW DRIVE PAD
- NEW RETAINING WALL
- REMOVE EXISTING CONCRETE

CARLISLE CONDOMINIUMS

GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: ACH Checked: DMG Sheet C-2  
Scale: 1" = 10' Date: 06-03-15 Job: A15013

## NOTICE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within City right of way.
- All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
- Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to Traffic / street use.
- Maintenance of these facilities shall be the responsibility of the Owner of the property served.
- Work on Arterial Street shall be Performed on a 24-hour Basis.

|           |      |      |
|-----------|------|------|
| Approval  | Name | Date |
| Inspector |      |      |