

# CITY OF ALBUQUERQUE



March 23, 2018

James C. Lewis  
904 Princeton SE  
Albuquerque, NM 87106

**Re: The Carlisle  
3600 Central Ave SE  
30-Day Temporary Certificate of Occupancy- Transportation Development  
Transportation Development Final Inspection  
Architect's Stamp dated 11-23-15 (K17-D069)  
Certification dated 03-22-18**

Dear Mr. Lewis,

Based upon the information provided in your submittal received 03-22-18, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The City Work Order must be accepted and closed.
2. The sidewalk stone missing next to the power pole on Carlisle Ave must be installed and the connection to the side of the building must be addressed.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz  
Senior Engineer, Planning Department  
Development Review Services

LWP via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: **The Carlisle** Building Permit #: **T201592233** City Drainage #: **K17D069**  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: **Tract A Mankato Place**  
City Address: **3600 Central Ave. SE, Albuquerque, NM 87106**

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: **The Carlisle Condominium, LLC** Contact: **Kenny Hinkes**  
Address: **3600 Central Ave. SE**  
Phone#: **505-615-8613** Fax#: \_\_\_\_\_ E-mail: **kennycsp@gmail.com**

Architect: **James C Lewis** Contact: **James C Lewis**  
Address: **904 Princeton SE**  
Phone#: **505-247-1529** Fax#: \_\_\_\_\_ E-mail: **gdi@mac.com**

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: **03/22/18** By: **James C Lewis**



COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

# James C Lewis Architect

## TRAFFIC CERTIFICATION

I, James C Lewis, NMRA 979, OF THE FIRM General Design Inc., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11-24-15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY The Staff OF THE FIRM. GDi. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 03-22-18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A Certificate of Occupancy.

*See as-built drawing for changes made in field by the owner and refer to the notes for the sidewalk and the alley ramp.*

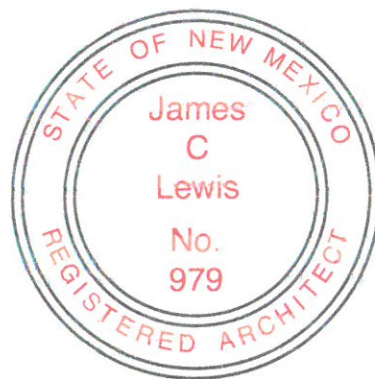
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



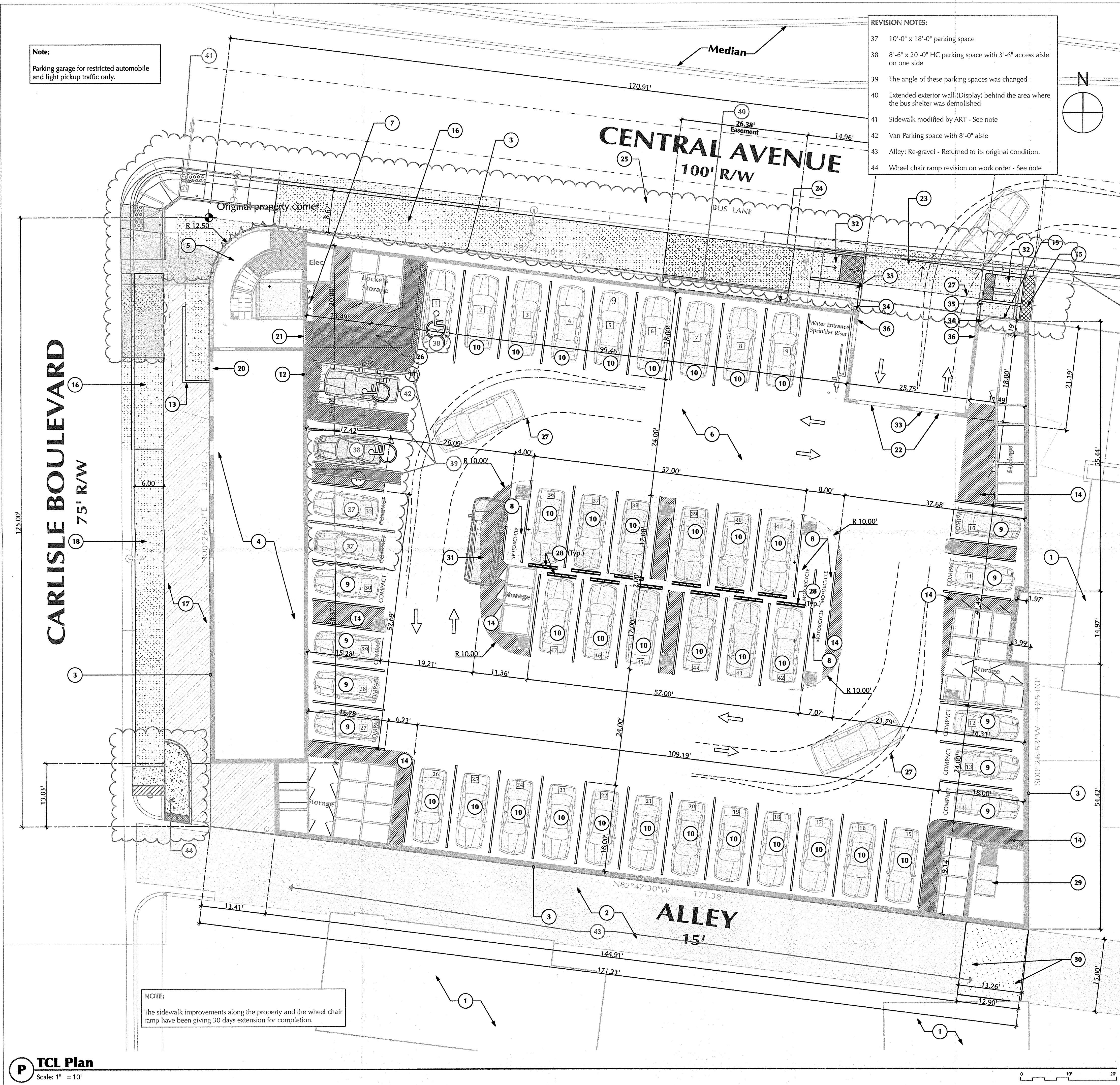
\_\_\_\_\_  
Signature of Engineer or Architect

03-22-18

Date







## Parking Calculations

### PARKING

#### Required per Nob Hill Sector Plan

• Residential one bath	= (3) 1 space	@ 1 bedroom each	= 3
• Residential two baths	= (31) 1 1/2 spaces	@ 2 bedroom each	= 47
• Commercial space less than 3,000 SF			= 0
<b>Subtotal</b>			<b>= 50</b>
• Rapid Ride bus discount (20%)			= -10
• Bus shelter discount (5%)			= -2
<b>Total Required</b>			<b>= 38</b>

### SUMMARY

	Required	Furnish
Standard Cars	27	33
Compact Cars	10	13
HC	7	1
<b>Total Cars</b>	<b>38</b>	<b>47</b>
Motorcycle	2	4
Bicycle	3	3 (1 Rack)

## Keyed Notes

- Existing building outside property
  - Existing 15' alley
  - Property line
  - Commercial space
  - Main entrance/lobby
  - 6" thick concrete apron - See structural sheets
  - Bicycle spaces
  - 4'-0" x 8'-0" Motorcycle spaces
  - 8'-0" x 15'-0" compact car parking space.
  - 9'-0" x 18'-0" standard parking space
  - 9'-0" x 20'-0" handicapped parking space with 8'-0" handicapped (van) parking aisle (4" wide painted striping).
  - Handicapped sign mounted on wall - see detail on sheet C-103.
  - Proposed 18" retaining wall
  - 4" Painted Striping
  - Channel concrete sidewalk with steel plate per COA standard drawing
  - Remove existing drive pad and replace with new concrete sidewalk, curb & gutter per COA standard Drawing - (DWG 2415)
  - Proposed landscaping area
  - Replace for new public sidewalk.
  - Emergency exit
  - Commercial entry
  - Entry to parking garage from lobby
  - Main entry to parking garage
  - New drive pad
  - Existing bus shelter easement (26' x 2.5')
  - Bus stop lane
  - ADA accessible aisle - See accessible aisle detail on C-103 sheet
  - Turning radius for full size car: AASHTO Type 'P'
  - Concrete barrier curb
  - Trash Compactor - Alley level
  - Replace the existing concrete slab with new apron by Solid Waste use
  - A delivery truck can park in this location temporary. While it blocks a portion of the drive line, it leaves 16' to 18' clear, enough for a single traffic lane.
  - Ramp - See detail
  - Sign - See detail on TCL Detail sheet
  - Mirrors
  - Bollards
  - Sign on wall - See detail on TCL Detail sheet
- See Revision notes**
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.**

## TCL Notes

### TRAFFIC CIRCULATION LAYOUT NOTES

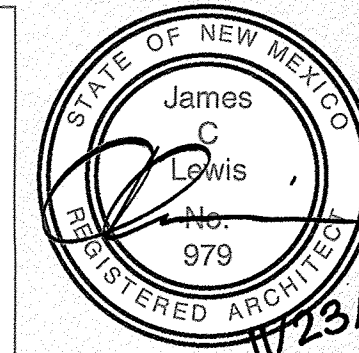
The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

**"THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN."**  
**"THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN:**

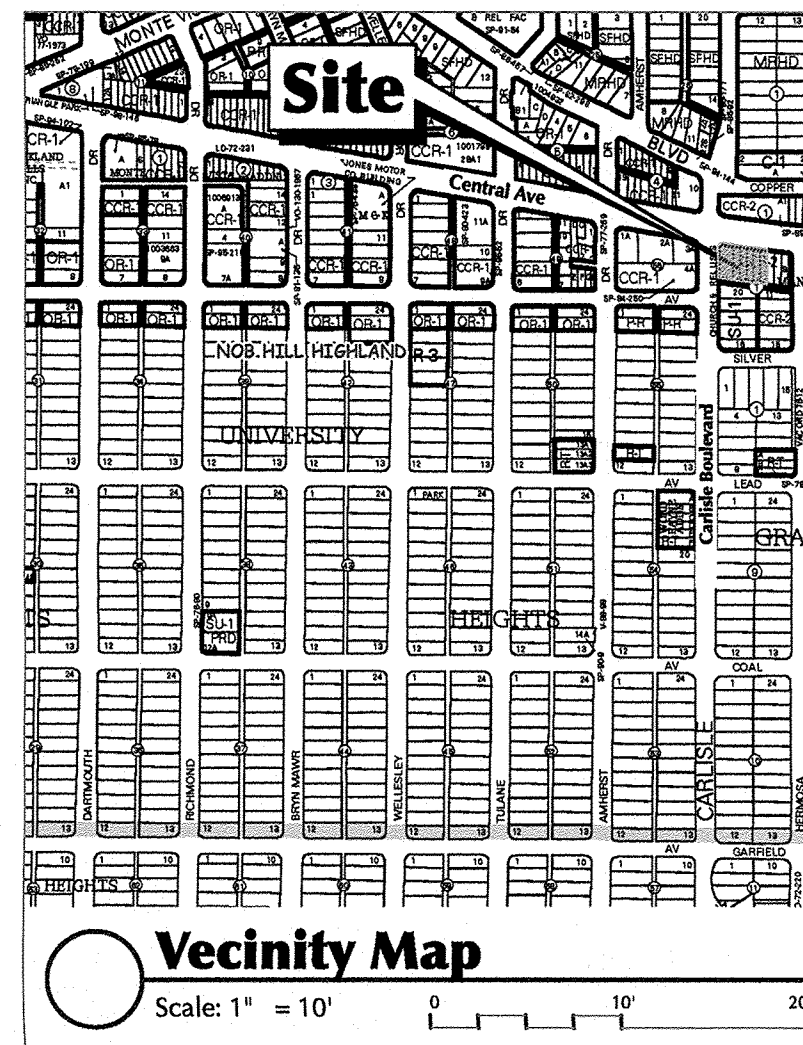
- UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
- INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL EXISTING STREET SIDEWALK AND C&G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL SHALL BE REMOVED AND REPLACED.

Code Review Process  
City Of Albuquerque



James C. Lewis, Architect  
General Design, Inc.  
Albuquerque, NM 87106  
505-247-1529 • jcl@jclmac.com



## Info

### ADDRESS

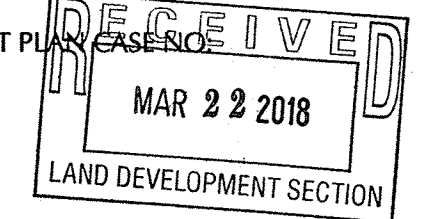
3600 Central Ave SE  
Albuquerque, New Mexico 87106

### LEGAL DESCRIPTION

Tract A Mankato Place  
LOT: 1  
TRACT:  
BLOCK: 1  
SUBDIVISION: Mankato Place  
ZONING: CCR-2  
ZONE ATLAS PAGE: K16

### PLANNING INFORMATION

LAND USE ZONING: Commercial Service  
UPC: 101705700823433410  
PROJECT NO:  
SITE DEVELOPMENT PLAN CASE NO:



PROJECT NUMBER  
**1505**

ISSUE DATE  
11/23/15  
REVISIONS Δ

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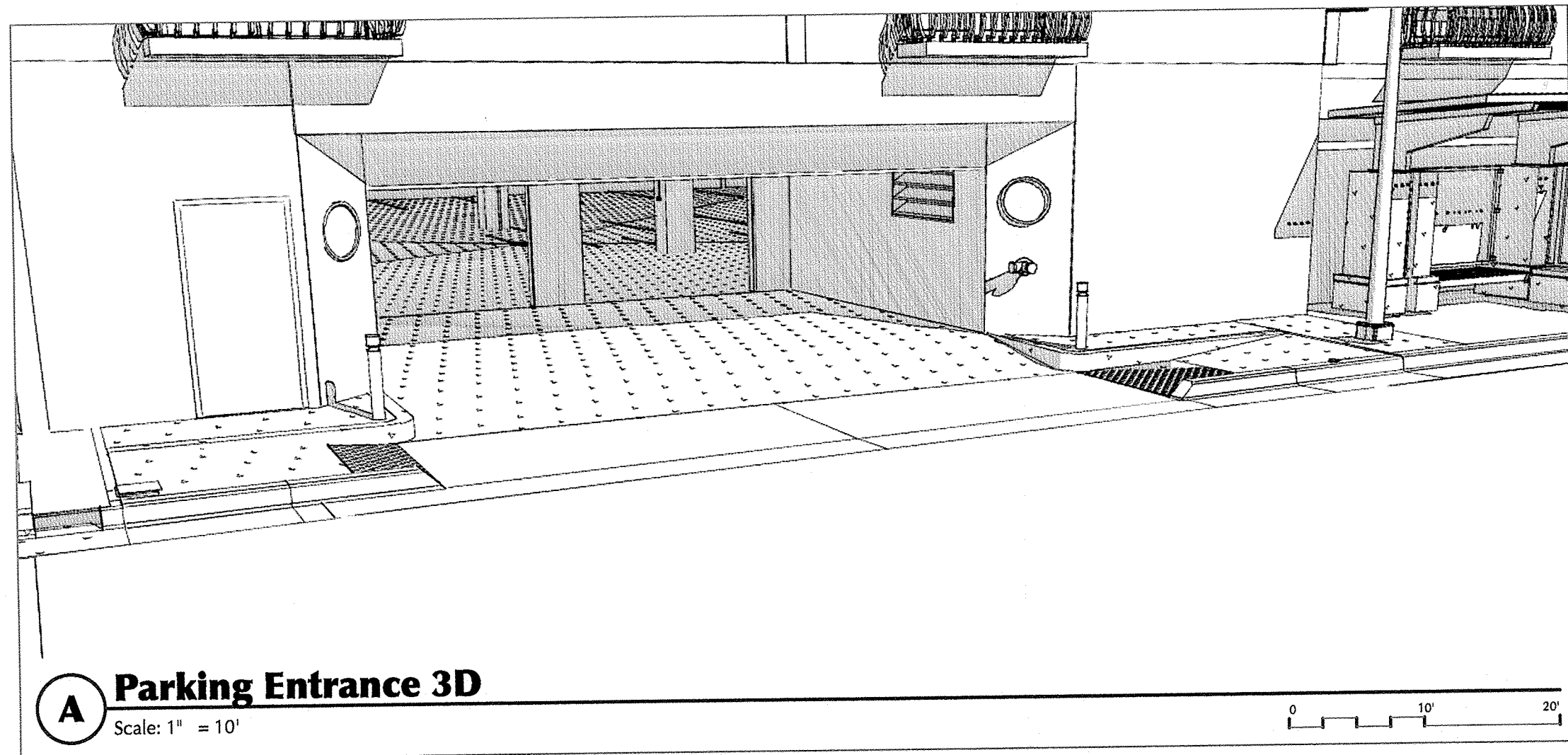
**TCL Plan**  
As Built

**C-102**  
4 1 OF 2

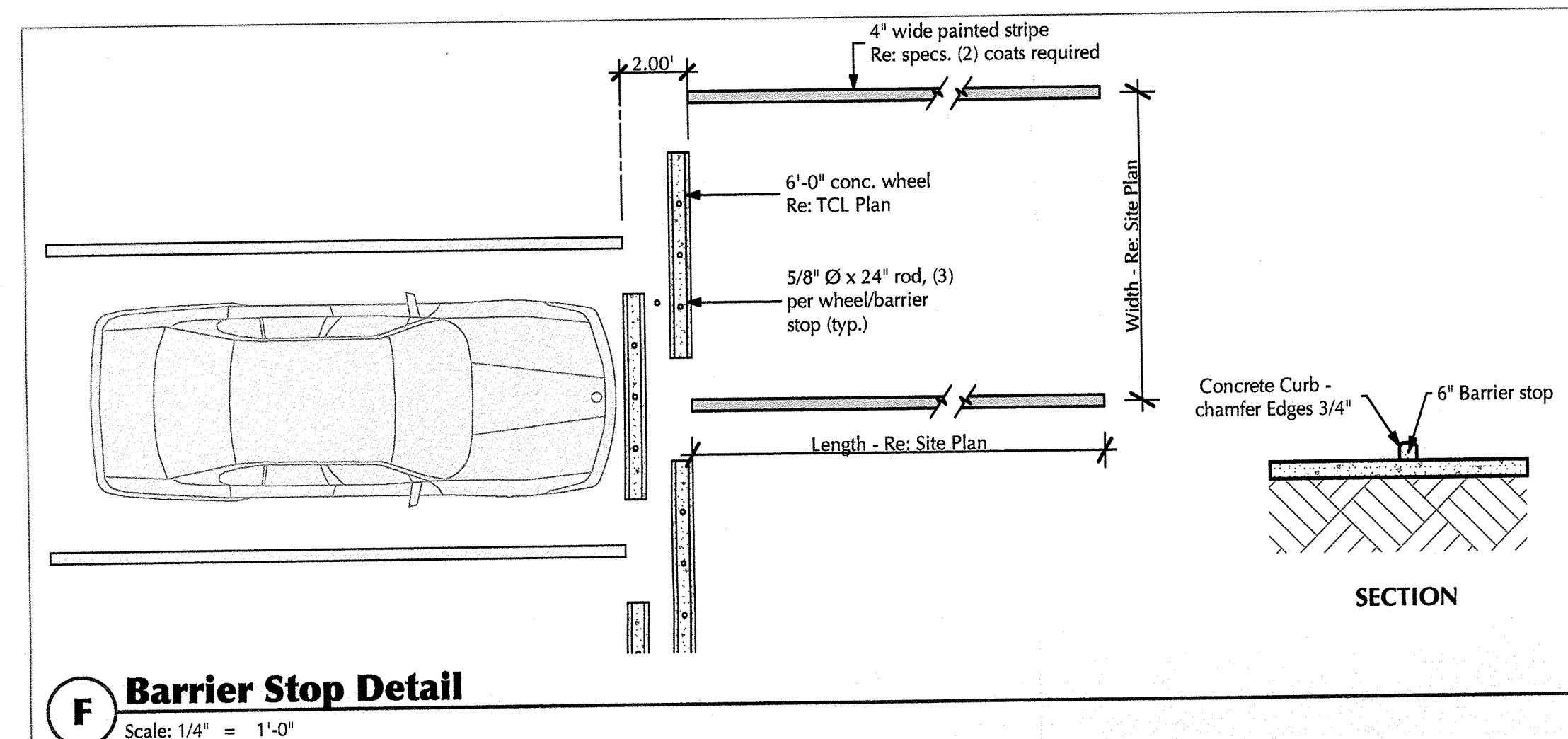
Building Permit

**The Carlisle**  
3600 Central Ave SE  
Albuquerque • New Mexico • 87106

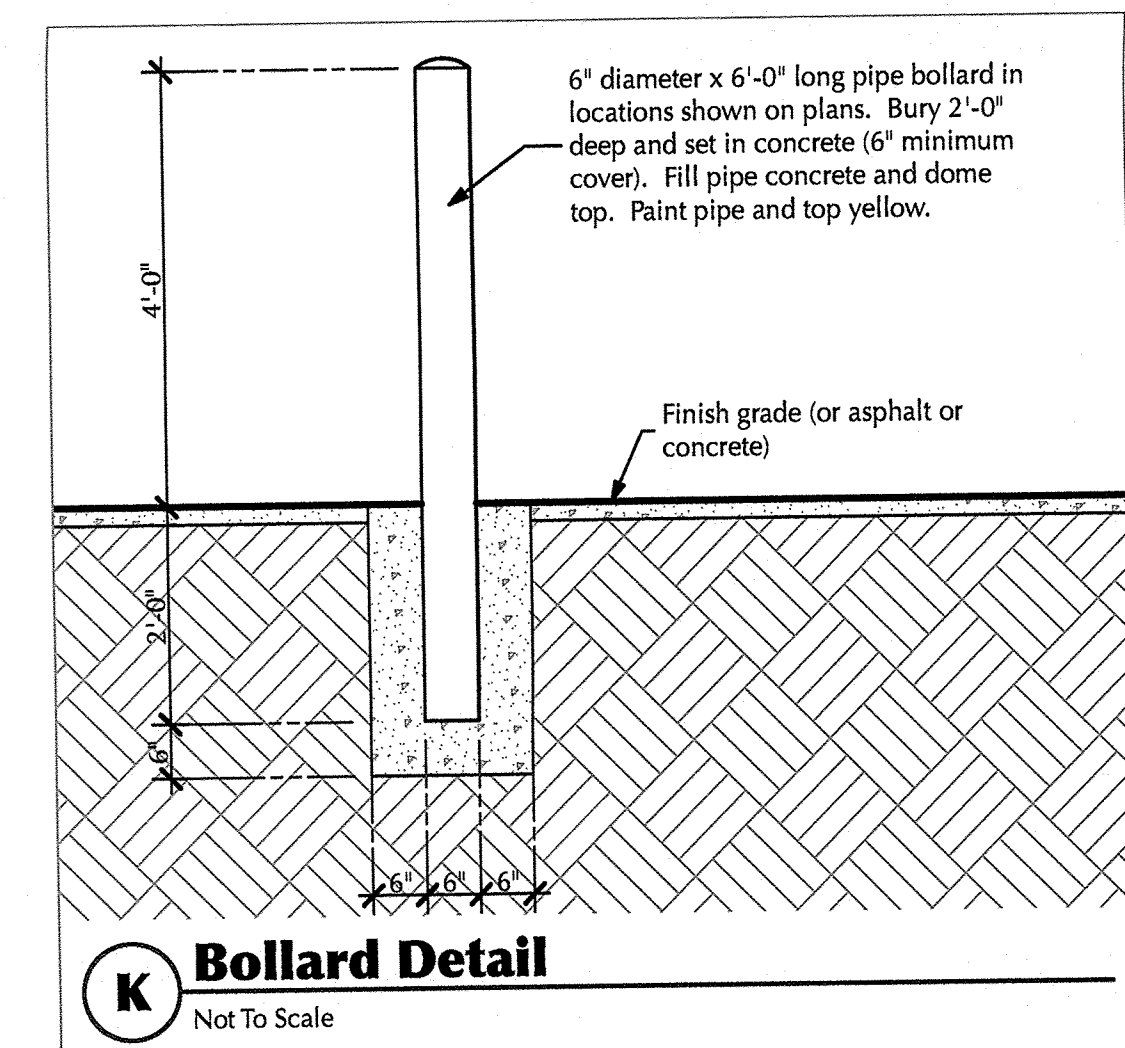




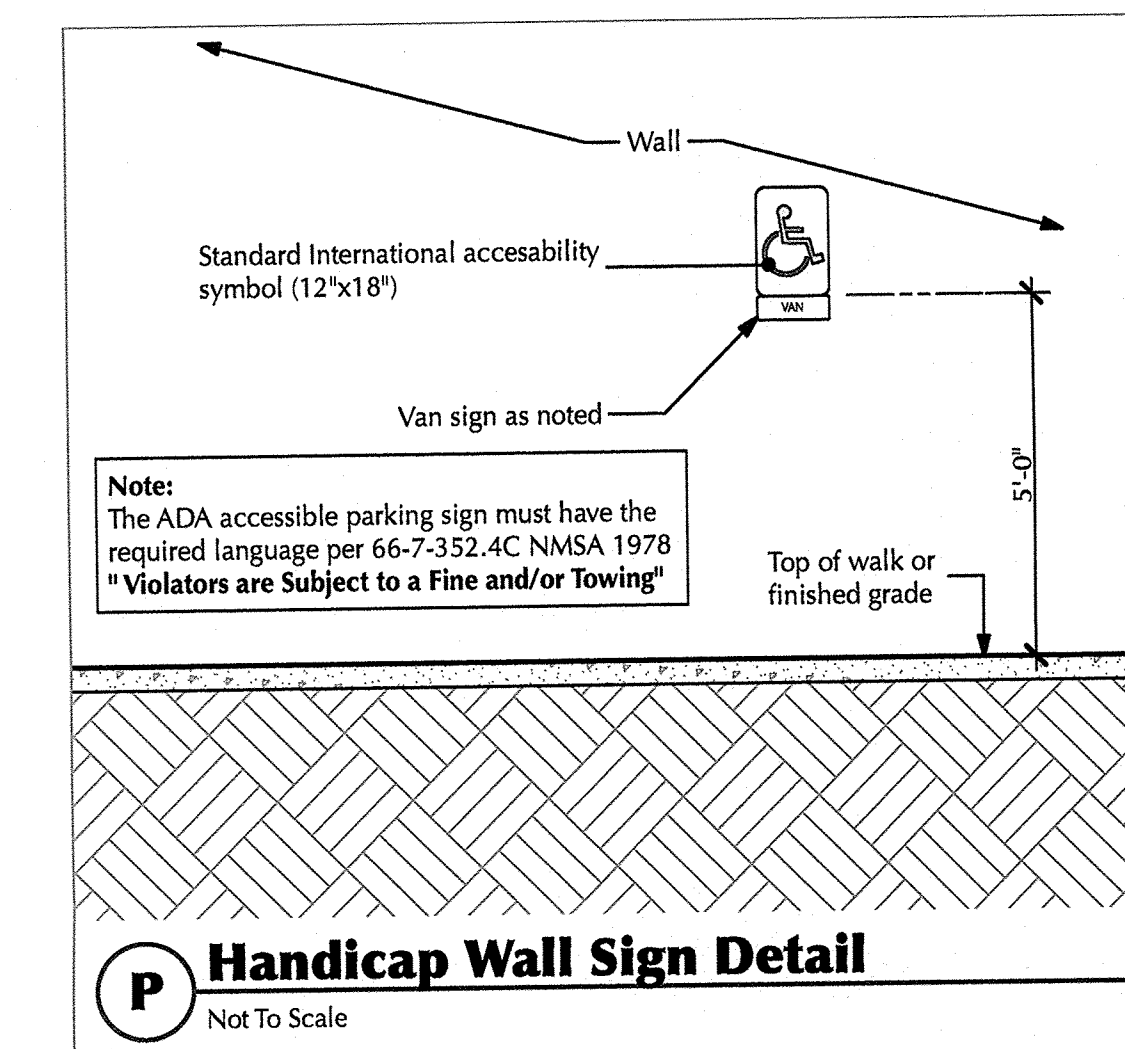
**A Parking Entrance 3D**  
Scale: 1" = 10'



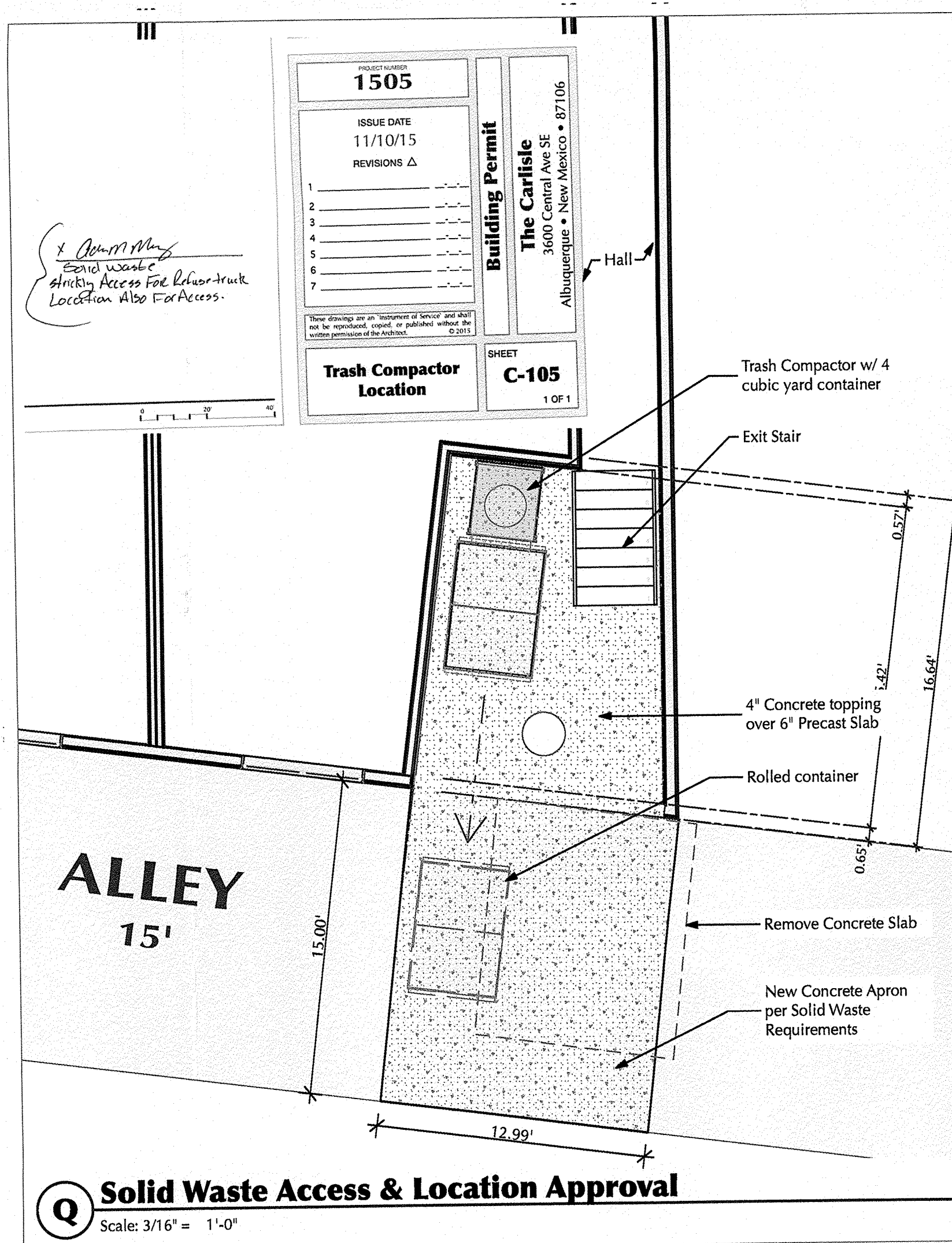
**F Barrier Stop Detail**  
Scale: 1/4" = 1'-0"



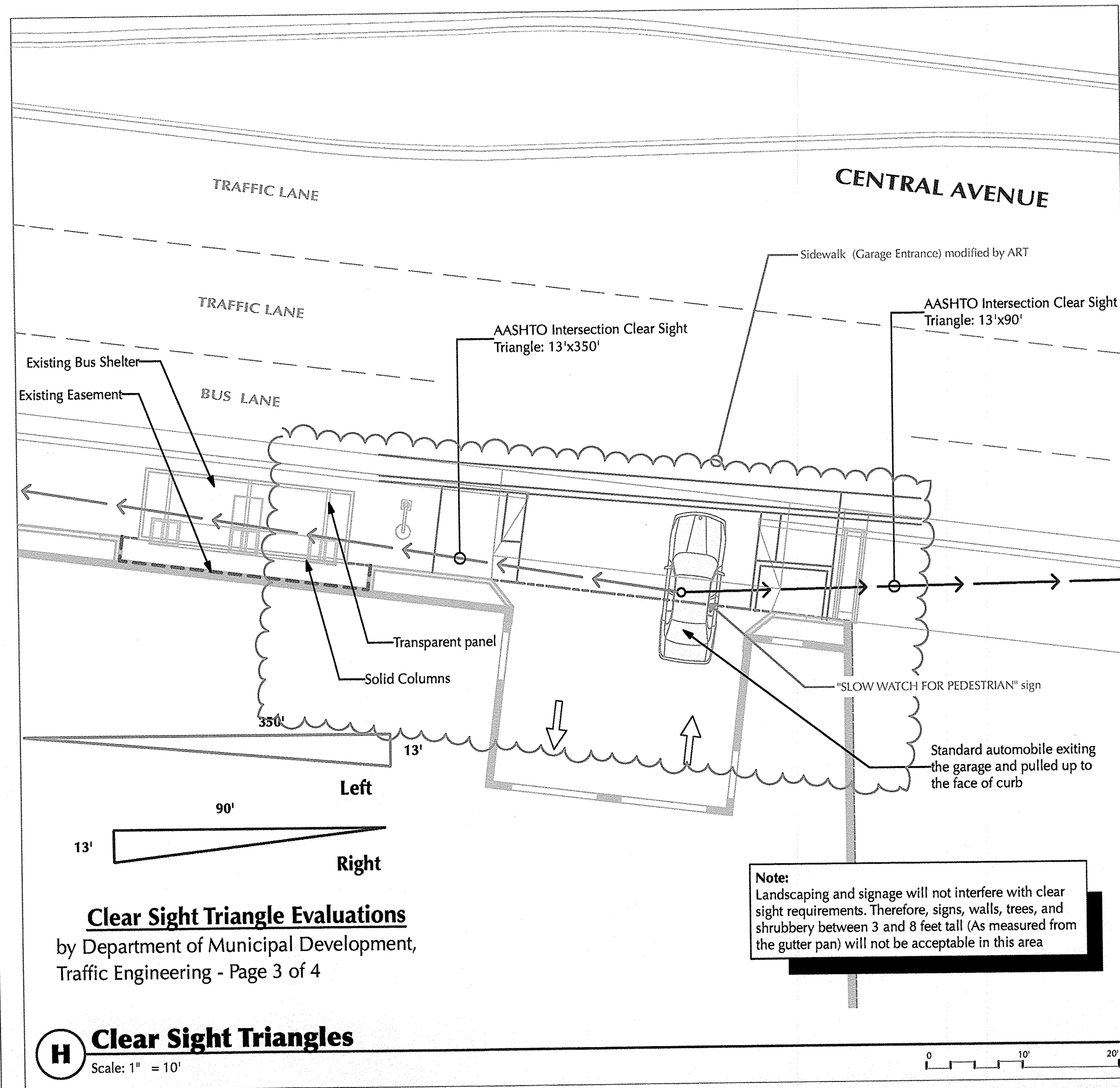
**K Bollard Detail**  
Not To Scale



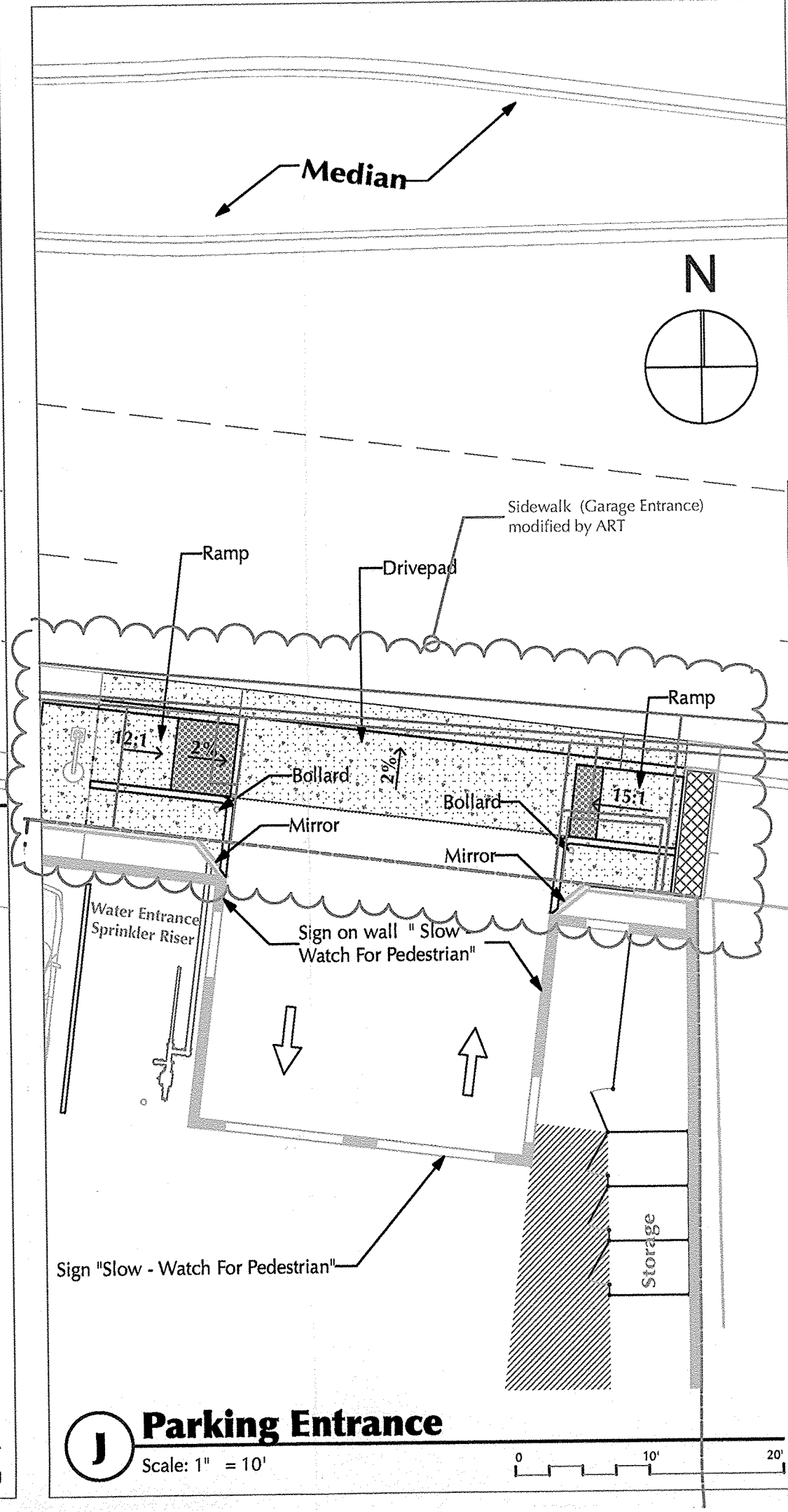
**P Handicap Wall Sign Detail**  
Not To Scale



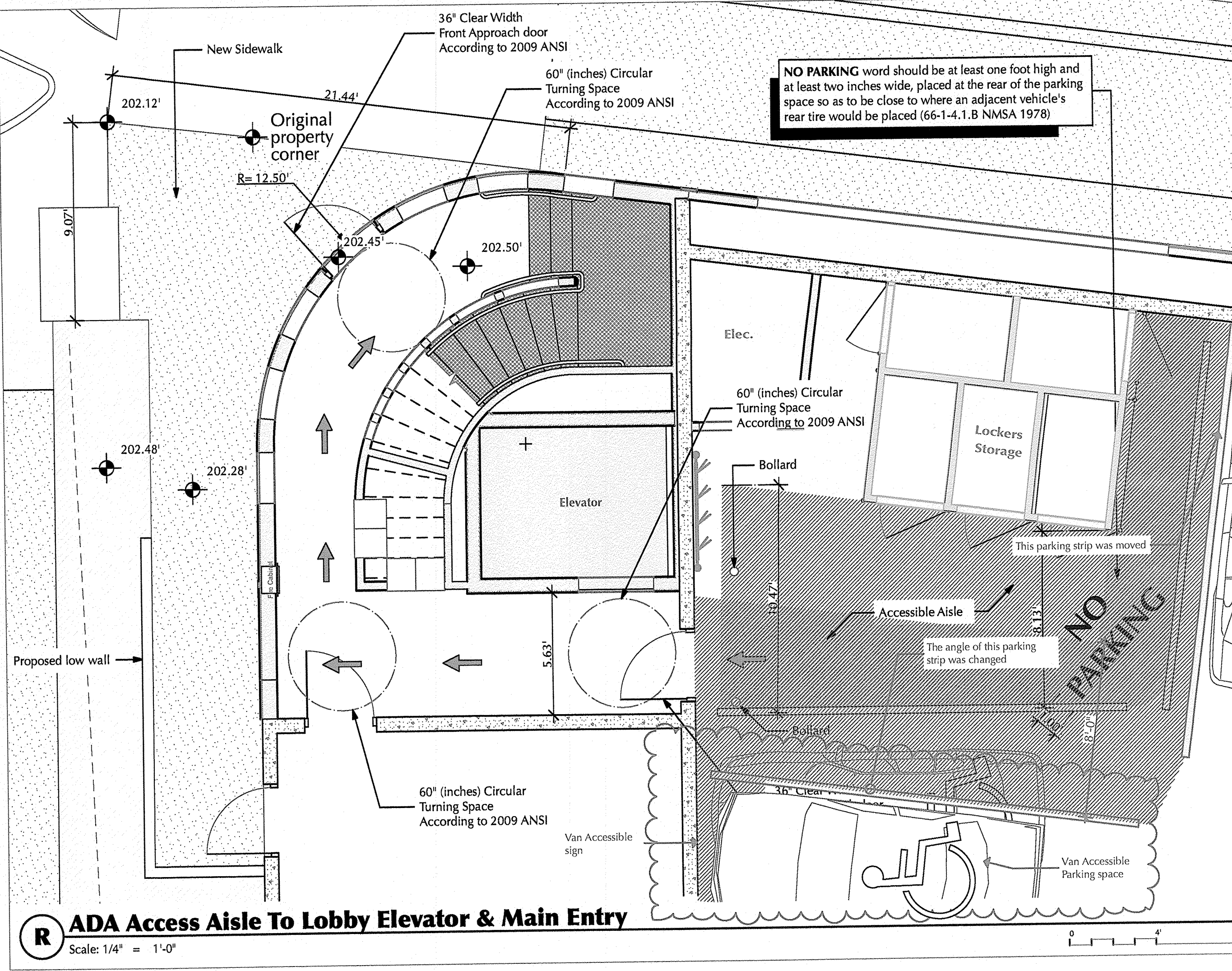
**Q Solid Waste Access & Location Approval**  
Scale: 3/16" = 1'-0"



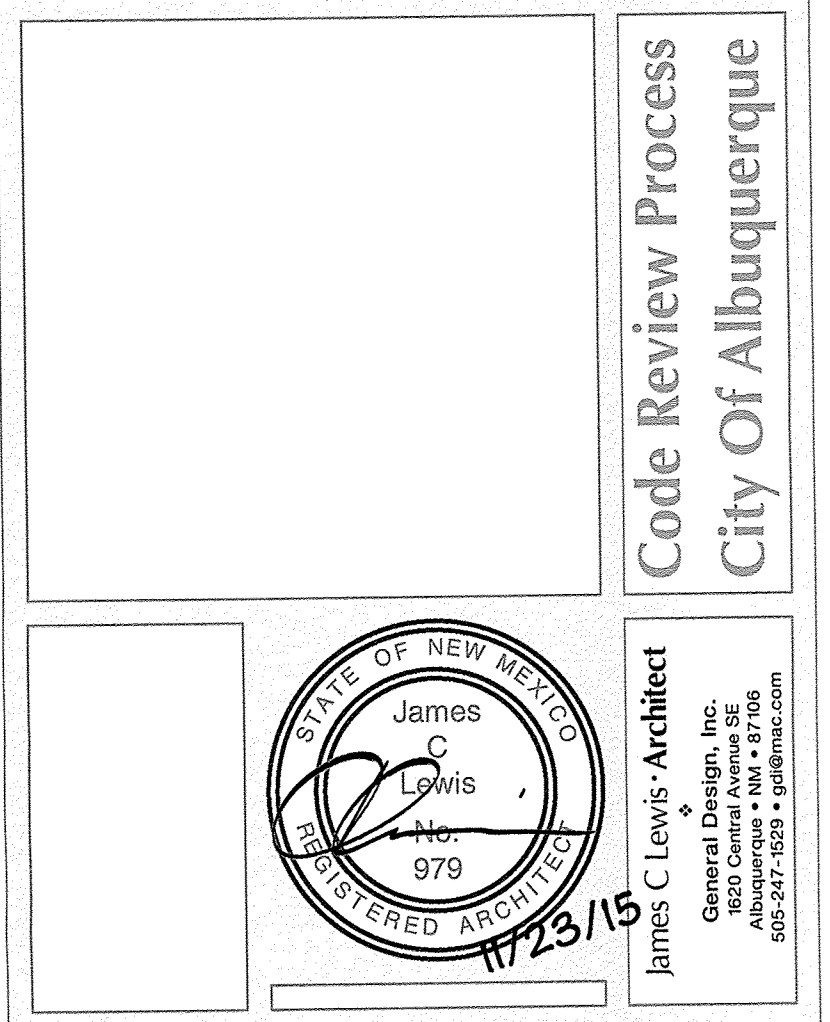
**H Clear Sight Triangles**  
Scale: 1" = 10'



**J Parking Entrance**  
Scale: 1" = 10'



**R ADA Access Aisle To Lobby Elevator & Main Entry**  
Scale: 1/4" = 1'-0"



**Engineer Stamp**  
Clear Sight Triangle Analysis

