

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 24, 2015

James C. Lewis
904 Princeton
Albuquerque, NM

**Re: The Carlisle
3600 Central SE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 11-23-15 (K17-D069)

Dear Mr. Lewis,

The TCL submittal received 11-23-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: **The Carlisle** Building Permit #: **T201592233** City Drainage #: **K17D0069**
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: **Tract A Mankato Place**
City Address: **3600 Central Ave. SE, Albuquerque, NM 87106**

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: **The Carlisle Condominium, LLC** Contact: **Kenny Hinkes**
Address: **3600 Central Ave. SE**
Phone#: **505-615-8613** Fax#: _____ E-mail: **kennycsp@gmail.com**

Architect: **James C Lewis** Contact: **James C Lewis**
Address: **904 Princeton SE**
Phone#: **505-247-1529** Fax#: _____ E-mail: **gdi@mac.com**

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

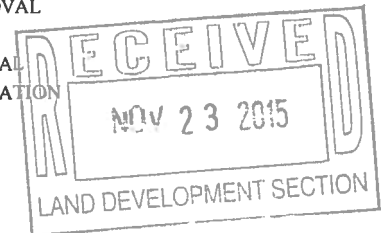
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

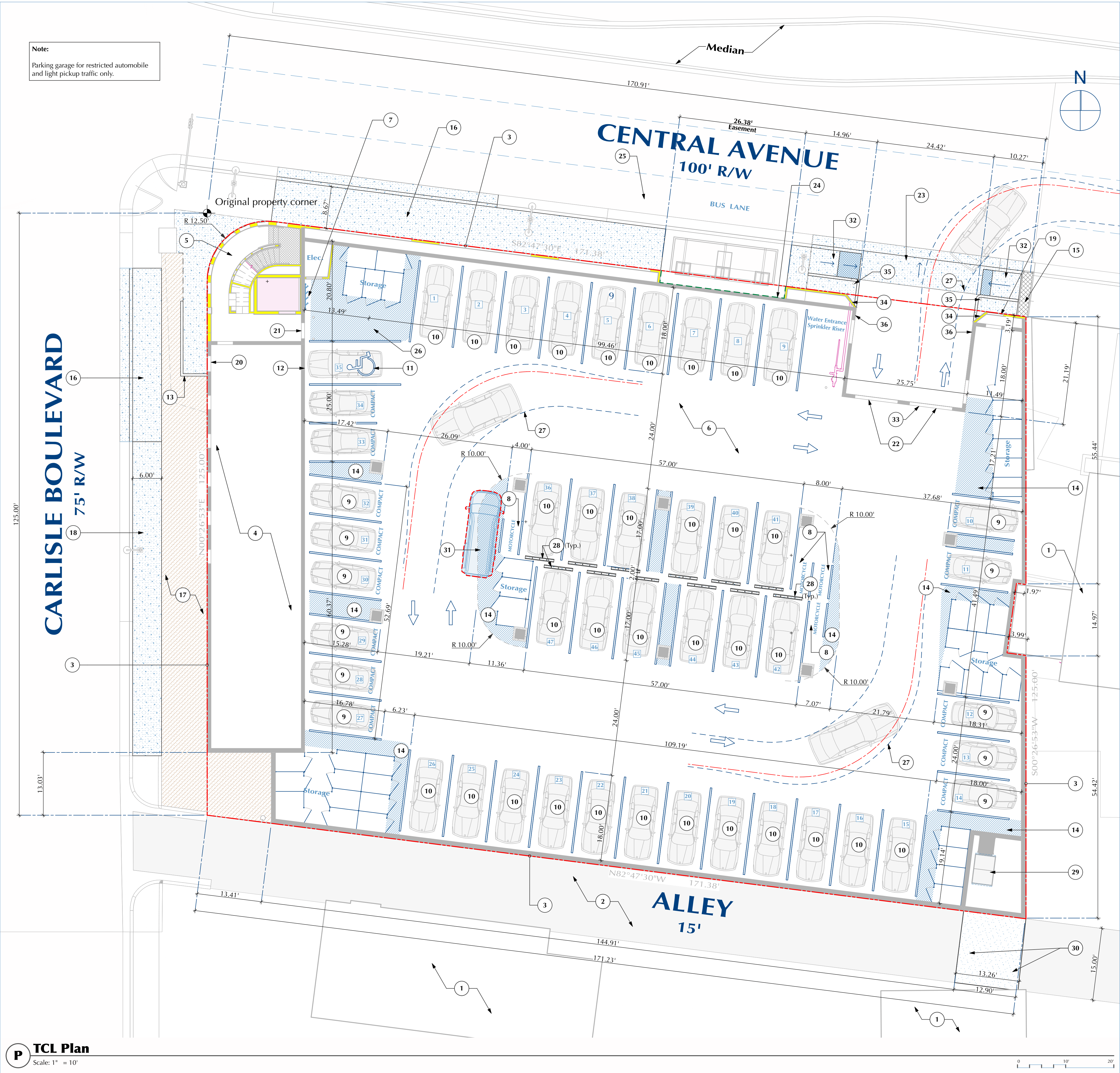
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☒ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: **11/22/15** By: **James C Lewis**

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



Parking Calculations

PARKING

| | | | |
|--|------------------|---|-----|
| Required per Nob Hill Sector Plan | | | |
| • Residential one bath = (3) 1 space | @ 1 bedroom each | = | 3 |
| • Residential two baths = (31) 1 1/2 spaces @ 2 bedroom each | | = | 47 |
| • Commercial space less than 3,000 SF | | = | 0 |
| Subtotal | | = | 50 |
| • Rapid Ride bus discount (20%) | | = | -10 |
| • Bus shelter discount (5%) | | = | -2 |
| Total Required | | = | 38 |

SUMMARY

| | Required | Furnish |
|-------------------|-----------|------------|
| Standard Cars | 27 | 33 |
| Compact Cars | 10 | 13 |
| HC | 7 | 1 |
| Total Cars | 38 | 47 |
| Motorcycle | 2 | 4 |
| Bicycle | 3 | 3 (1 Rack) |

Keyed Notes

- Existing building outside property
- Existing 15' alley
- Property line
- Commercial space
- Main entrance/lobby
- 6" thick concrete apron - See structural sheets
- Bicycle spaces
- 4'-0" x 8'-0" Motorcycle spaces
- 8'-0" x 15'-0" compact car parking space.
- 9'-0" x 18'-0" standard parking space
- 9'-0" x 20'-0" handicapped parking space with 8'-0" handicapped (van) parking aisle (4" wide painted striping)
- Handicapped sign mounted on wall - see detail on sheet C-103.
- Proposed 18" retaining wall
- 4" Painted Striping
- Channel concrete sidewalk with steel plate per COA standard drawing
- Remove existing drive pad and replace with new concrete sidewalk, curb & gutter per COA standard Drawing - (DWG 2415)
- Proposed landscaping area
- Replace for new public sidewalk.
- Emergency exit
- Commercial entry
- Entry to parking garage from lobby
- Main entry to parking garage
- New drive pad
- Existing bus shelter easement (26' x 2.5)
- Bus stop lane
- ADA accessible aisle - See accessible aisle detail on C-103 sheet
- Turning radius for full size car: AASHTO Type 'P'
- Concrete barrier curb
- Trash Compactor - Alley level
- Replace the existing concrete slab with new apron by Solid Waste use
- A delivery truck can park in this location temporary. While it blocks a portion of the drive line, it leaves 16' to 18' clear, enough for a single traffic lane.
- Ramp - See detail
- Sign - See detail on TCL Detail sheet
- Mirrors
- Bollards
- Sign on wall - See detail on TCL Detail sheet

TCL Notes

TRAFFIC CIRCULATION LAYOUT NOTES

The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

"THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN."
"THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN:
(1) UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
(2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL EXISTING STREET SIDEWALK AND C&G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL SHALL BE REMOVED AND REPLACED.



Info

ADDRESS
3600 Central Ave SE
Albuquerque, New Mexico 87106

LEGAL DESCRIPTION
Tract A Mankato Place
LOT: 1
TRACT:
BLOCK: 1
SUBDIVISION: Mankato Place
ZONING: CCR-2
ZONE ATLAS PAGE: K16

PLANNING INFORMATION
LAND USE ZONING: Commercial Service
UPC: 101705700823433410
PROJECT NO:
SITE DEVELOPMENT PLAN CASE NO:

PROJECT NUMBER
1505

ISSUE DATE
11/23/15

REVISIONS Δ

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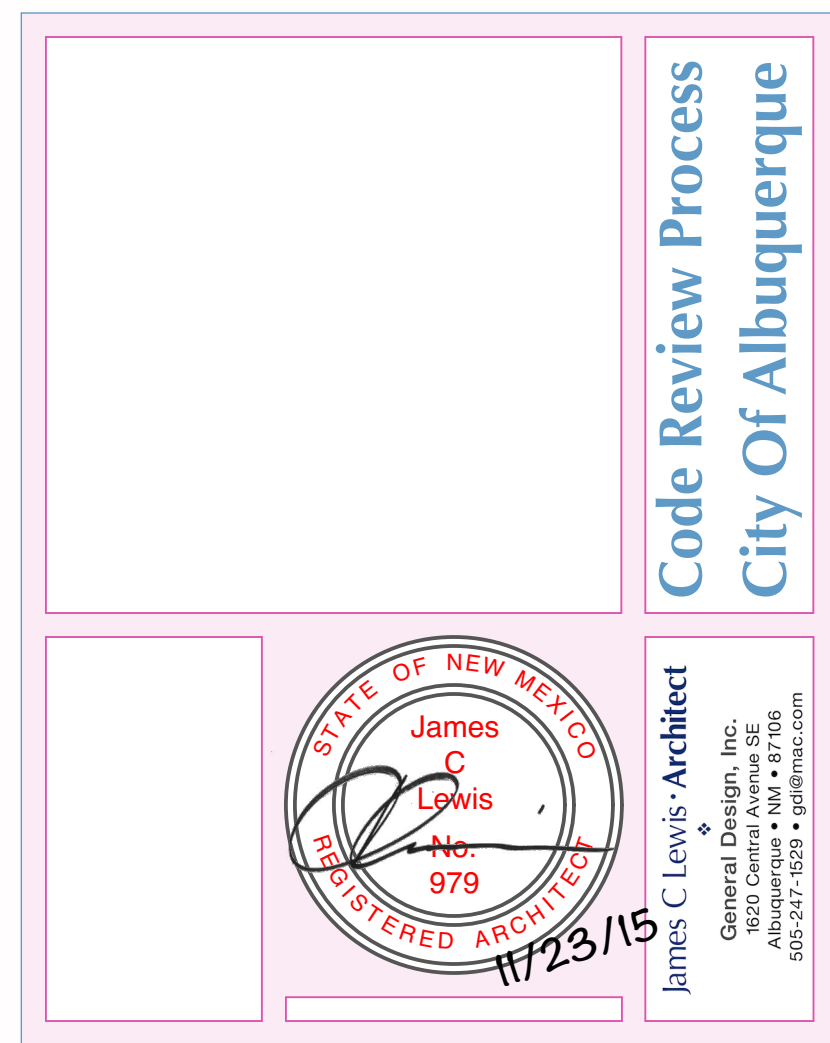
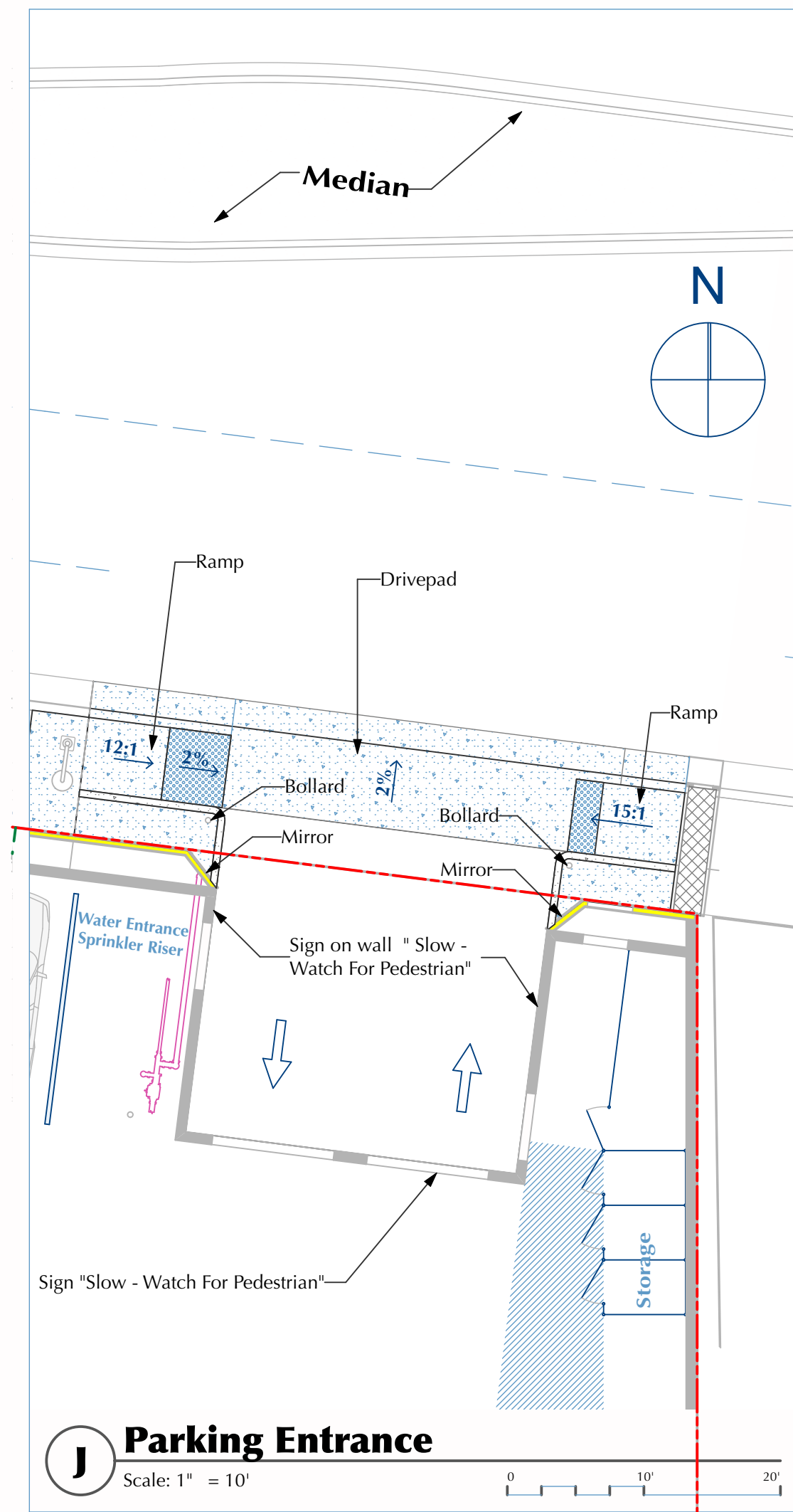
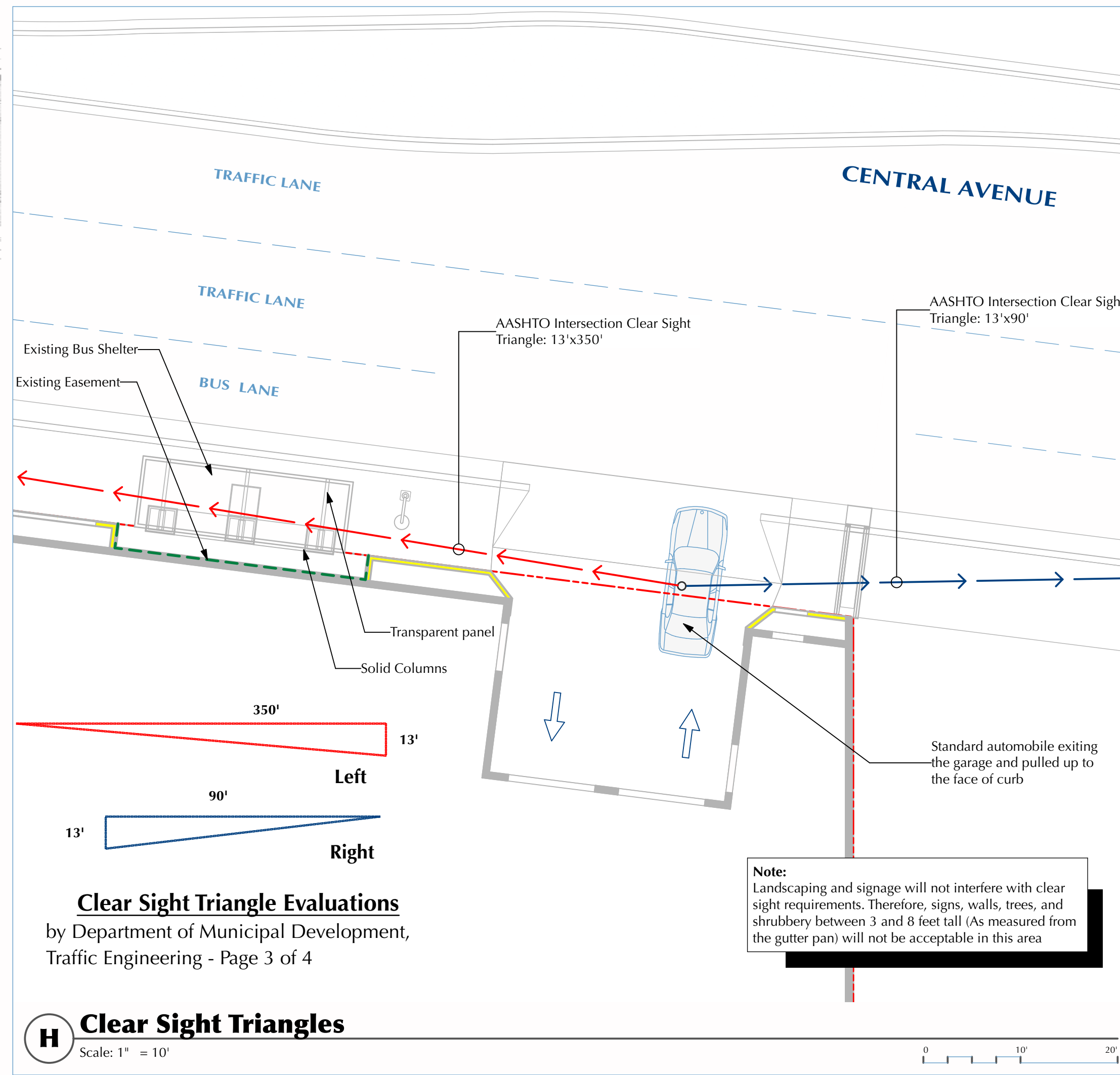
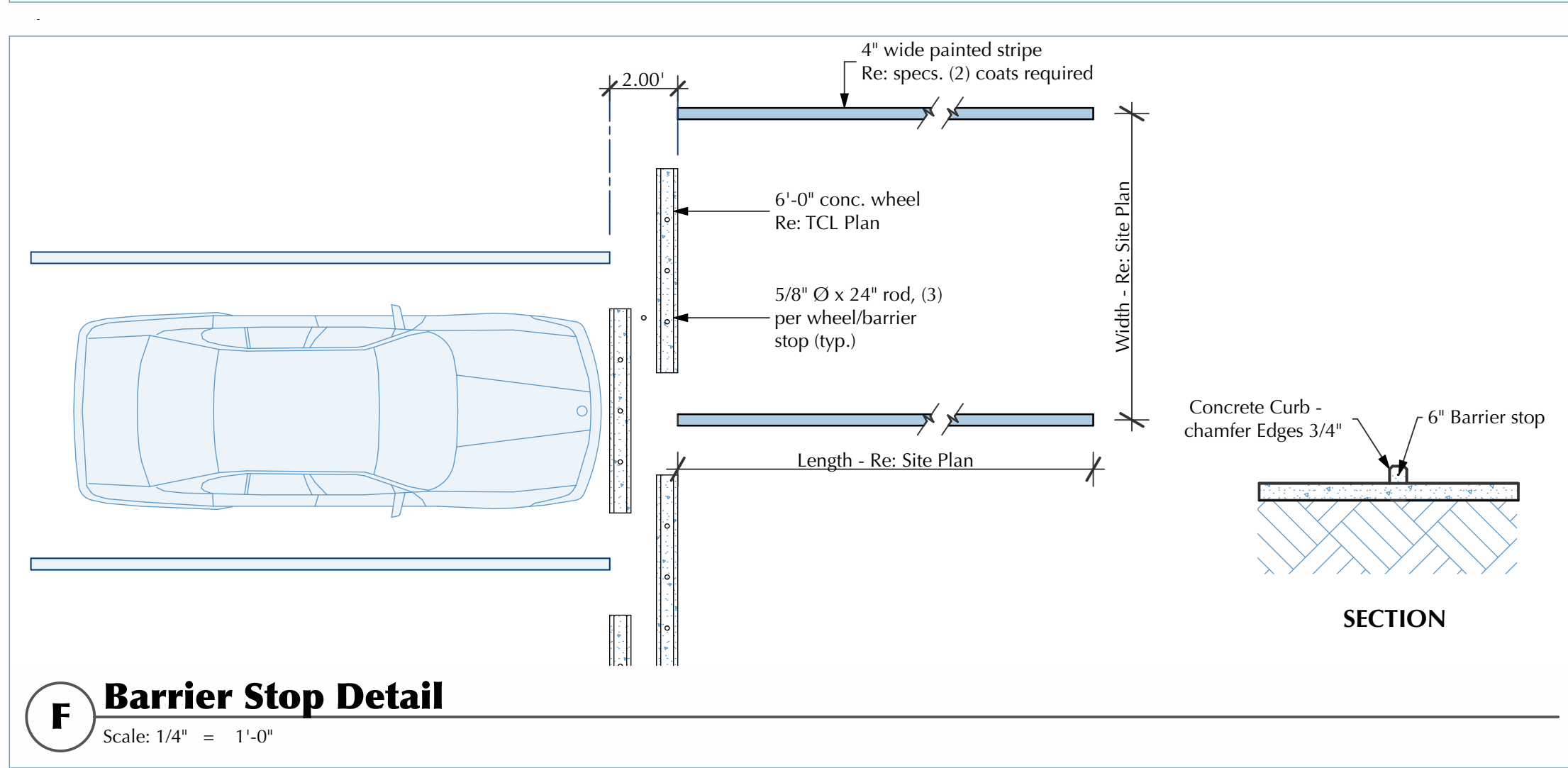
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TCL Plan

Building Permit

The Carlisle
3600 Central Ave SE
Albuquerque • New Mexico • 87106

SHEET
C-102
4 1 OF 2



Engineer Stamp

Clear Sight Triangle Analysis

