

CITY OF ALBUQUERQUE



June 19, 2018

James C Lewis
904 Princeton SE
Albuquerque, NM 87106

**Re: The Carlisle, 3600 Central Ave.
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Architect's Stamp dated 12-23-15 (K17-D069)
Certification dated 06-18-18

Dear Mr. Lewis,

Based upon the information provided in your submittal received 06-18-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505)924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: **The Carlisle** Building Permit #: **T201592233** City Drainage #: **K17-D069**

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: **Tract A Mankato Place**

City Address: **3600 Central Ave. SE, Albuquerque, NM 87106**

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: **The Carlisle Condominium, LLC** Contact: **Kenny Hinkes**

Address: **3600 Central Ave. SE**

Phone#: **505-615-8613** Fax#: _____ E-mail: **kennycsp@gmail.com**

Architect: **James C Lewis** Contact: **James C Lewis**

Address: **904 Princeton SE**

Phone#: **505-247-1529** Fax#: _____ E-mail: **gdi@mac.com**

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: **06/18/18** By: **James C Lewis**



- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

James C Lewis Architect

TRAFFIC CERTIFICATION

I, **James C Lewis**, NMRA **979**, OF THE FIRM **General Design Inc.**, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **11-24-15**. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **The Staff** OF THE FIRM. **GDi**. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON **04-26-18** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **A Certificate of Occupancy**.

See as-built drawing. The City Work Order has been approved and all sidewalk connections has been addressed.

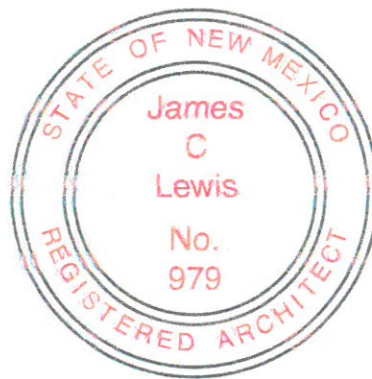
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

06-18-18

Date



James C Lewis Architect

June 18, 2018

Racquel Michel, P.E.
Traffic Engineer, Planning Dept City of Albuquerque
600 2nd Street NW
Albuquerque, New Mexico 87102

re: **The Carlisle** - Building Permit # T201690169

Dear Ms. Michel:

Please find attached our final submittal of the TCL as-built plan. We have addressed the following items from your latest reject notice on March 23, 2018:

1. City Work Order has been approved
2. All sidewalk improvements along the property are done.

To the best of my knowledge, the project was built in substantial compliance with the TCL plan.

If you have any questions, please call me at 247-1529

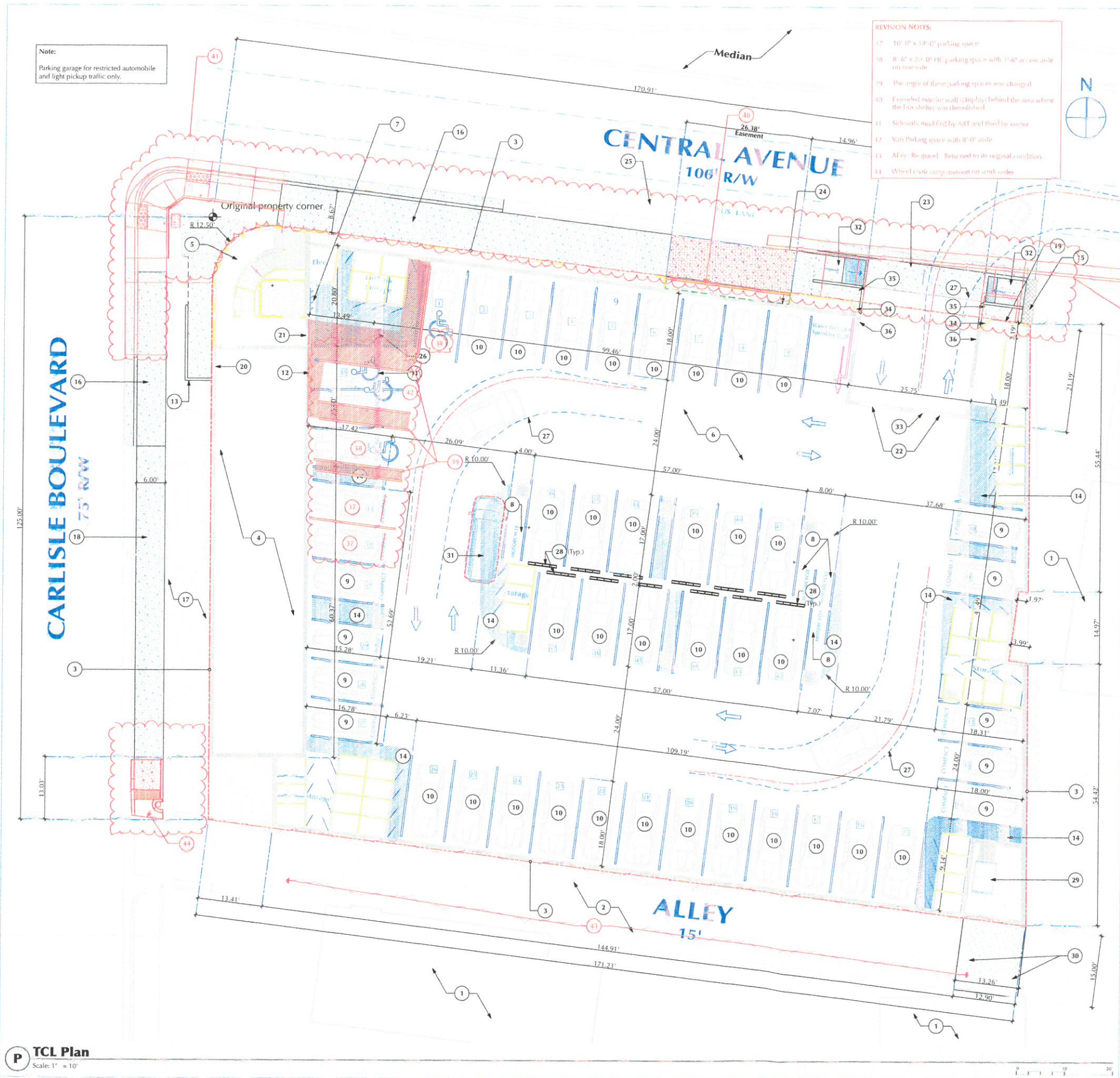
Sincerely,



James C Lewis

jcl/mac





Parking Calculations

PARKING

Required per Nob Hill Sector Plan
• Residential one bath = (3) 1 space @ 1 bedroom each
• Residential two baths = (31) 1 1/2 spaces @ 2 bedroom each
• Commercial space less than 3,000 SF
Subtotal
• Rapid Ride bus discount (20%)
• Bus shelter discount (5%)
Total Required

SUMMARY

	Required	Furnish
Standard Cars	27	33
Compact Cars	10	13
HC	7	1
Total Cars	38	47
Motorcycle	2	4
Bicycle	3	3 (1 Rack)

Keyed Notes

- Existing building outside property
- Existing 15' alley
- Property line
- Commercial space
- Main entrance/lobby
- 6" thick concrete apron - See structural sheets
- Bicycle spaces
- 4'-0" x 8'-0" Motorcycle spaces
- 8'-0" x 15'-0" compact car parking space.
- 9'-0" x 18'-0" standard parking space
- 9'-0" x 20'-0" handicapped parking space with 8'-0" handicapped (van) parking aisle (4' wide painted striping)
- Handicapped sign mounted on wall - see detail on sheet C-103.
- Proposed 18" retaining wall
- 4" Painted Striping
- Channel concrete sidewalk with steel plate per COA standard drawing
- Remove existing drive pad and replace with new concrete sidewalk, curb & gutter per COA standard Drawing - (DWG 2415)
- Proposed landscaping area
- Replace for new public sidewalk.
- Emergency exit
- Commercial entry
- Entry to parking garage from lobby
- Main entry to parking garage
- New drive pad
- Existing bus shelter easement (26' x 2.5')
- Bus stop lane
- ADA accessible aisle - See accessible aisle detail on C-103 sheet
- Turning radius for full size car: AASHTO Type 'P'
- Concrete barrier curb
- Trash Compactor - Alley level
- Replace the existing concrete slab with new apron by Solid Waste use
- A delivery truck can park in this location temporary. While it blocks a portion of the drive line, it leaves 16' to 18' clear, enough for a single traffic lane.
- Ramp - See detail
- Sign - See detail on TCL Detail sheet
- Mirrors
- Bollards
- Sign on wall - See detail on TCL Detail sheet

TCL Notes

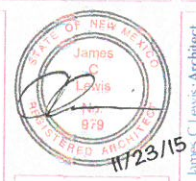
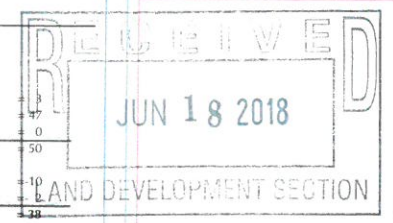
TRAFFIC CIRCULATION LAYOUT NOTES

The engineer's certification required by the hydrology section needs to include certification that this site was constructed in accordance with the traffic circulation layout (TCL) before the certificate of occupancy is released.

"THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN."
"THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER, AFTER APPROVAL FOR BUILDING PERMIT, WILL RESULT IN:"

- UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
- INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL EXISTING STREET SIDEWALK AND C&G IN DISREPAIR AFFECTING SAFE PEDESTRIAN AND/OR VEHICLE TRAVEL SHALL BE REMOVED AND REPLACED.



Info

ADDRESS

3600 Central Ave SE
Albuquerque, New Mexico 87106

LEGAL DESCRIPTION

Tract A Mankato Place
LOT: 1
TRACT:
BLOCK: 1
SUBDIVISION: Mankato Place
ZONING: CCR-2
ZONE ATLAS PAGE: K16

PLANNING INFORMATION

LAND USE ZONING: Commercial Service
UPC: 101705700823433410
PROJECT NO:
SITE DEVELOPMENT PLAN CASE NO:

1505

ISSUE DATE
11/23/15

REVISIONS Δ

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Building Permit

The Carlisle
3600 Central Ave SE
Albuquerque • New Mexico • 87106

TCL Plan
As Built

C-102
4 of 2

