

CARLISLE CONDOMINIUMS PROJECT

PROJECT DESCRIPTION: This 0.48 acre is proposed to be developed into a 36 unit multi-level condominium complex with an underground parking garage.

EXISTING CONDITIONS: The project site is bounded by Carlisle Blvd. and Central Avenue on the west and north side of the property. Runoff in Carlisle is conveyed as street flow in a north direction and then eastward in Central Avenue. The east property boundary has a block wall that acts as a divide line between the existing restaurants outdoor patio and this project site. The south boundary consists of a gravel road that serves as access for the adjacent residences and church to the south. This project will have only one access location off of Central Avenue. No offsite flow enters this site under existing conditions.

PROPOSED CONDITIONS: Runoff from the roof will be directed to the northwest corner of the roof and collected in an inlet and conveyed through three 6" PVC pipes to the three sidewalk culverts that will discharge 2.35 cfs to Central Avenue during the 100 year storm event. A sump inlet will be provided in the underground parking garage to capture any nuisance flows from cars that drips from rainfall outside the building. The sump will be connected to the sanitary sewer in Central Avenue. There is a 1.5 foot water block provided at the underground parking garage entrance road.

SUMMARY OF HYDROLOGY

PROJECT AREA = 0.4877 ACRES = .000762 SQ. MI.
LAND TREATMENT = 100% D (FROM ROOF ONLY)
P (60) = 2.00"
P (6HR) = 2.30"
P (24HR) = 2.65"
Q₁₀₀ = 2.35cfs (ROOF)
V₁₀₀ = 0.0835 AC. FT. = 3637 CU. FT. (ROOF)

KEYED NOTES

- EXISTING PROPERTY LINE
- EXISTING ALLEY
- EXISTING PUBLIC SIDEWALK
- EXISTING CURB
- EXISTING DRIVE CUT SHALL BE REMOVED
- EXISTING RAMP
- EXISTING OUTSIDE BUILDINGS
- PROPOSED ENTRANCE FOR ENCLOSED GARAGE
- PROPOSED TRANSFORMER
- PROPOSED ELECTRIC BANK METERS
- PROPOSED TRASH COMPACTOR

NOTICE TO CONTRACTOR

1.	An excavation/construction permit will be required before beginning any work within City right of way.
2.	All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3.	Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
4.	Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5.	Backfill compaction shall be according to Traffic / street use.
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7.	Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		

CARLISLE BOULEVARD SE.

FIRST FLOOR - GARAGE LEVEL (PARKING)

VICINITY MAP ZONE ATLAS: K-16-Z

T B M (TEMPORARY BENCHMARK)

PK NAIL WITH ALUMINUM DISK
STAMPED "SURVITEK"
ELEVATION = 5209.87 (NAVD88)

LEGAL DESCRIPTION

LOTS NUMBERED ONE (1), TWO (2), THREE (3), FOUR (4), FIVE (5), AND SIX (6), IN BLOCK NUMBERED ONE (1) REPLAT OF MANKATO PLACE, AS THE SAME ARE SHOWN AND DESIGNATED ON THE REPLAT OF SAID BLOCK ONE (1), FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 4, 1929, IN PLAT BOOK B, FOLIO 45.

LEGEND

	TELEPHONE PEDESTAL
	CABLE PEDESTAL
	WALL
	ELECTRIC METER
	ELECTRIC PEDESTAL
	WATER METER
	CONCRETE AREA
	LIGHT POLE
	POWER POLE
	POWER POLE WITH FEED
	GUY-WIRE ANCHOR
	HYDRANT
	SEWER CLEANOUT
	SANITARY SEWER MANHOLE
	WROUGHT IRON FENCE
	ELECTRIC TRANSFORMER
	BOLLARD
	WATER VALVE
	OVERHEAD UTILITY LINE
	UNDERGROUND ELECTRIC LINE
	WATER LINE
	GAS LINE
	SANITARY SEWER LINE
	TRAFFIC SIGNAL BOX
	CONCRETE CURB & GUTTER
	ELECTRIC MANHOLE
	TRAFFIC SIGNAL
	HANDICAP PARKING SPACE
	ELECTRIC BOX
	GAS METER
	NEW WATERBLOCK
	NEW FLOW
	NEW SIDEWALK
	NEW SUMP INLET

CARLISLE CONDOMINIUMS

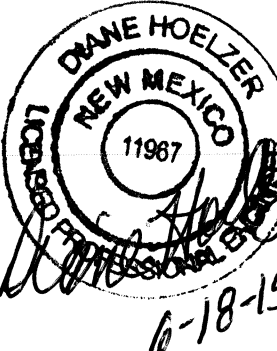
CONCEPTUAL GRADING & DRAINAGE PLAN



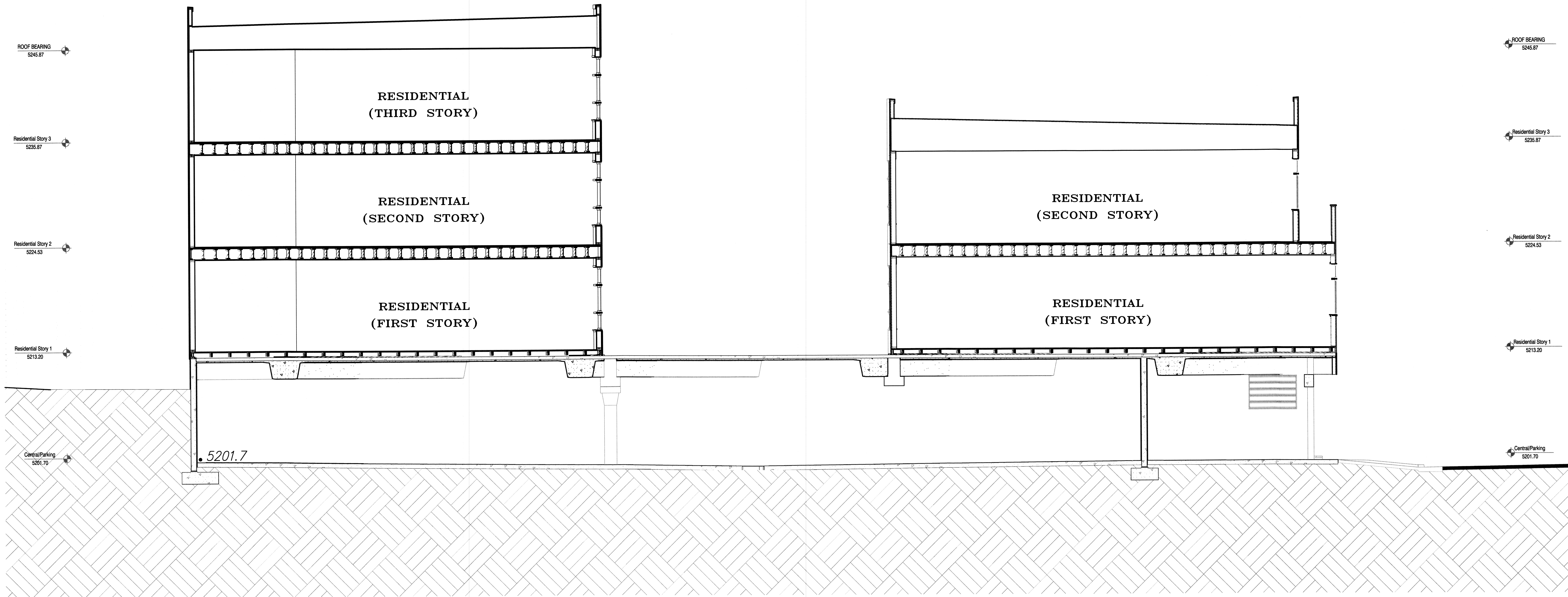
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: ACH	Checked: DMG	Sheet: C-2
Scale: 1" = 10'	Date: 06-03-15	Job: A15013	



F:\A15013\A15013 Carlisle Condominiums\GRADE & DRAIN\A15013-CARLISLE-50\06-08-15\ACH



SCALE: 1" = 5'

CARLISLE CONDOMINIUMS				
BUILDING ELEVATION PLAN				
<div><div>dmg</div><div>MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539</div></div>				
Designed: DMG	Drawn: ACH	Checked: DMG	Scale: 1" = 10'	Sheet C-3
Date: 06-03-15		Job: A15013		

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: The Carlisle ZAP/DRG. FILE K-16
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1, 2, 3, 4, 5, 6 in Block 1 replat of Mankato Place, as the same are shown and designated on the replat of said Block 1

CITY ADDRESS: SW corner of Central Avenue and Carlisle Blvd S.E

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Diane Hoelzer
ADDRESS: PO Box 90606 PHONE: 828-2200
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

OWNER: Kenny Hinkes CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: James C Lewis General Design, Inc. CONTACT: Jim Lewis
ADDRESS: 904 Princeton SE PHONE: 247-1529
CITY, STATE: Albuquerque, NM ZIP CODE: 87106

SURVEYOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER (Percolation Testing)

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (Construction Plans Approval) **\$0.19**

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Diane Hoelzer, PE *DH* DATE: June 18, 2015

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

July 2, 2015

Diane Hoelzer, PE
Mark Goodwin & Associates, PA.
PO Box 90606
Albuquerque, NM 87199



**Re: The Carlisle
SW Corner of Carlisle/Central
Grading and Drainage Plan
Engineer's Stamp dated: 6/18/2015 (K17D69)**

Dear Ms. Hoelzer,

Based on the information provided in your submittal received 6/19/2015, the above referenced Grading and Drainage Plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed.

- The plan does not state how the first flush is being accomplished. The first .34" times the impervious area must flow through a pond or some type of landscaping before entering the public storm sewer system.
- Provide a FIRMette or a description of the flood zone and the FIRM panel the information was obtained.
- Remove from the plan the statement conceptual.
- Approval from the DRB is required for the removal of lot lines.
- Provide a table with existing and proposed flows.
- Provide the finish floor elevation.
- Provide roof flows.
- Provide how flows exit the alley way.
- The demo permit showed removal of all existing paving. Did this include the alley way? Is the alley paved? Will there be drainage into the alley?
- Building encroaches into bus stop, is there an easement agreement?
- If rain water can enter garage through openings in the walls, the sump inlet cannot drain into the sanitary sewer system, it must discharge into a pond for FF requirements.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

RR/SB
C: email