

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 13, 2021

Genevieve Donart, P.E
Isaacson & Arfman, Inc.
128 Monroe St. NE
Albuquerque, NM 87108

RE: Nob Hill Apartments
4101 Central Ave.
Permanent C.O. - Approved
Engineer's Certification Date: 7/29/21
Engineer's Stamp Date: 2/28/19
Hydrology File: K17D073

Dear Ms. Donart:

PO Box 1293

Based on the certification received 7/30/21 and a site visit on 8/12/21, this certification is approved for Permanent Certificate of Occupancy by Hydrology.

Albuquerque

There are a few minor clean up items that the contractor need to attend to. Please make sure all dome inlet caps are attached (a few were sitting on the side). Remove filter fabric covering any inlets. Make sure landscaping stone is arranged as per plan (several locations it was still piled up).

NM 87103

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

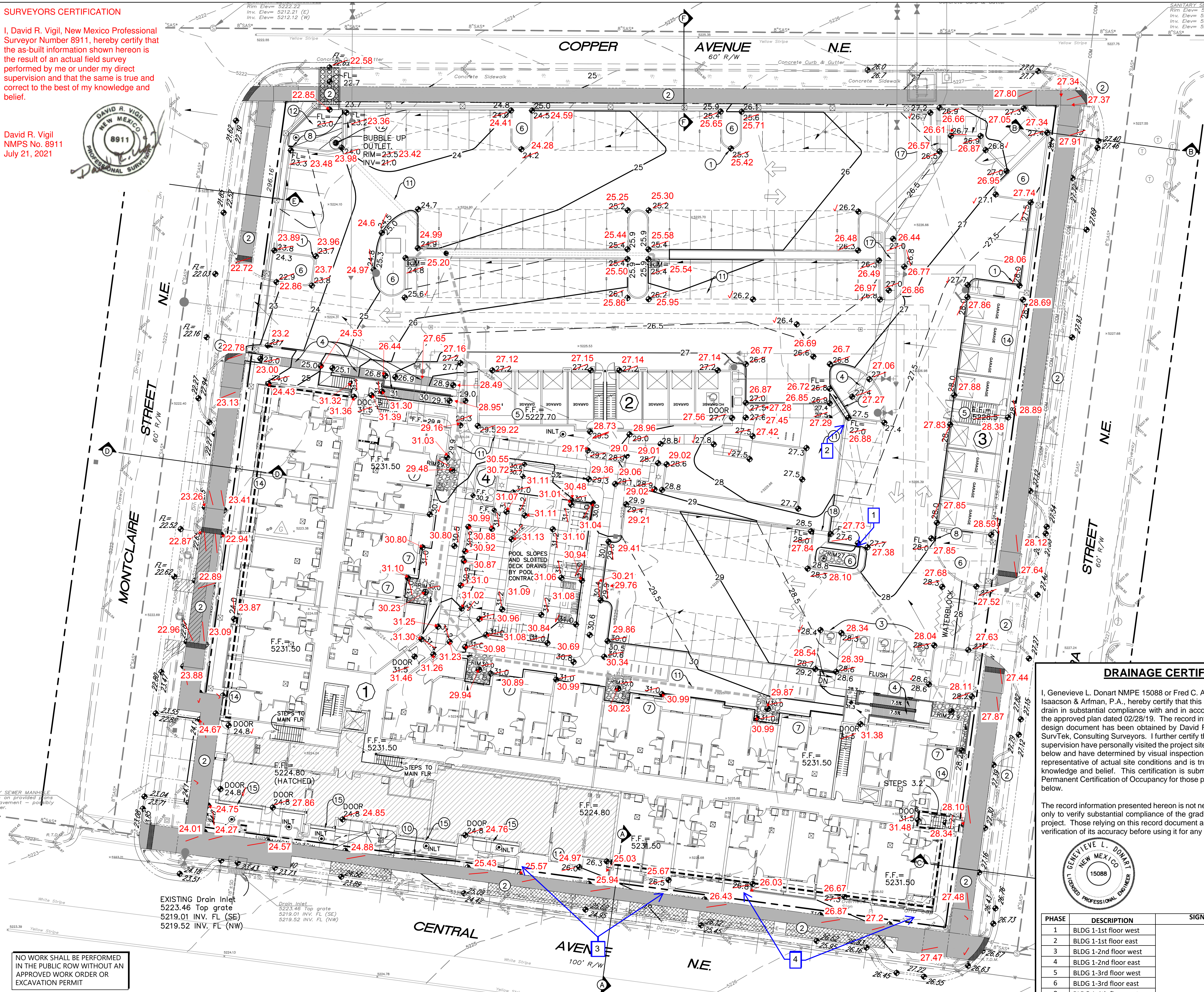
FEE PAID: _____

BUILDING PERMITS BY PHASE		
PHASE	BLDG PERMIT #	DESCRIPTION
1	2018-42397	BLDG 1-1st floor west
2	2019-29133	BLDG 1-1st floor east
3	2019-29135	BLDG 1-2nd floor west
4	2019-29136	BLDG 1-2nd floor east
5	2019-29141	BLDG 1-3rd floor west
6	2019-29142	BLDG 1-3rd floor east
7	2019-29144	BLDG 1-4th floor west
8	2019-29146	BLDG 1-4th floor east
9	2019-29148	BLDG 4 Pool
10	2019-29149	BLDG 2
11	2019-29151	BLDG 3

SURVEYORS CERTIFICATION

I, David R. Vigil, New Mexico Professional Surveyor Number 8911, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

David R. Vigil
NMPS No. 8911
July 21, 2021



PROJECT INFORMATION

PROPERTY: THE SITE IS FULLY DEVELOPED (RECENTLY DEMOLISHED) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-17. THE SITE IS BOUND TO THE EAST BY SIERRA DR NE, TO THE NORTH BY COPPER AVE NE, TO THE WEST BY MONTCLAIRE DR NE, AND THE SOUTH BY CENTRAL AVE NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-PHASED APARTMENT BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

LEGAL: LOTS 1 THRU 19 AND VACATED ALLEY BLOCK 2 MESA GRANDE ADDITION, ALBUQUERQUE, NM

BENCHMARK: VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K17A", ELEVATION=5222.211 FEET (NAVD 88)

OFF-SITE FLOW: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNAILLO COUNTY FIRM MAP #3500100353H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THE MAJORITY OF THE SITE (BUILDING AND PAVEMENT) WILL FREE DISCHARGE AT THE NORTHWEST CORNER OF THE PROPERTY. THE REMAINDER CONSISTS OF PERIMETER LANDSCAPING AND PAVED ACCESS DRIVES DISCHARGING TO THE ADJACENT STREETS. A PORTION OF THE REQUIRED STORMWATER QUALITY RETENTION WILL BE PROVIDED WITHIN THE PROPOSED STORM DRAIN SYSTEM TO REDUCE THE "IN-LIEU" FEE. THE COA APPROVED IN-LIEU-OF PAYMENT HAS BEEN REMITTED.

DRAINAGE CERTIFICATION

I, Genevieve L. Donart NMPE 15088 or Fred C. Arfman, NMPE 7322 or of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 02/28/19. The record information edited onto the original design document has been obtained by David R. Vigil, NMPS 8911, of the firm SurVtek, Consulting Surveyors. I further certify that I or someone under my direct supervision have personally visited the project site at various times as documented below and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certification of Occupancy for those phases/porions of buildings listed below.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

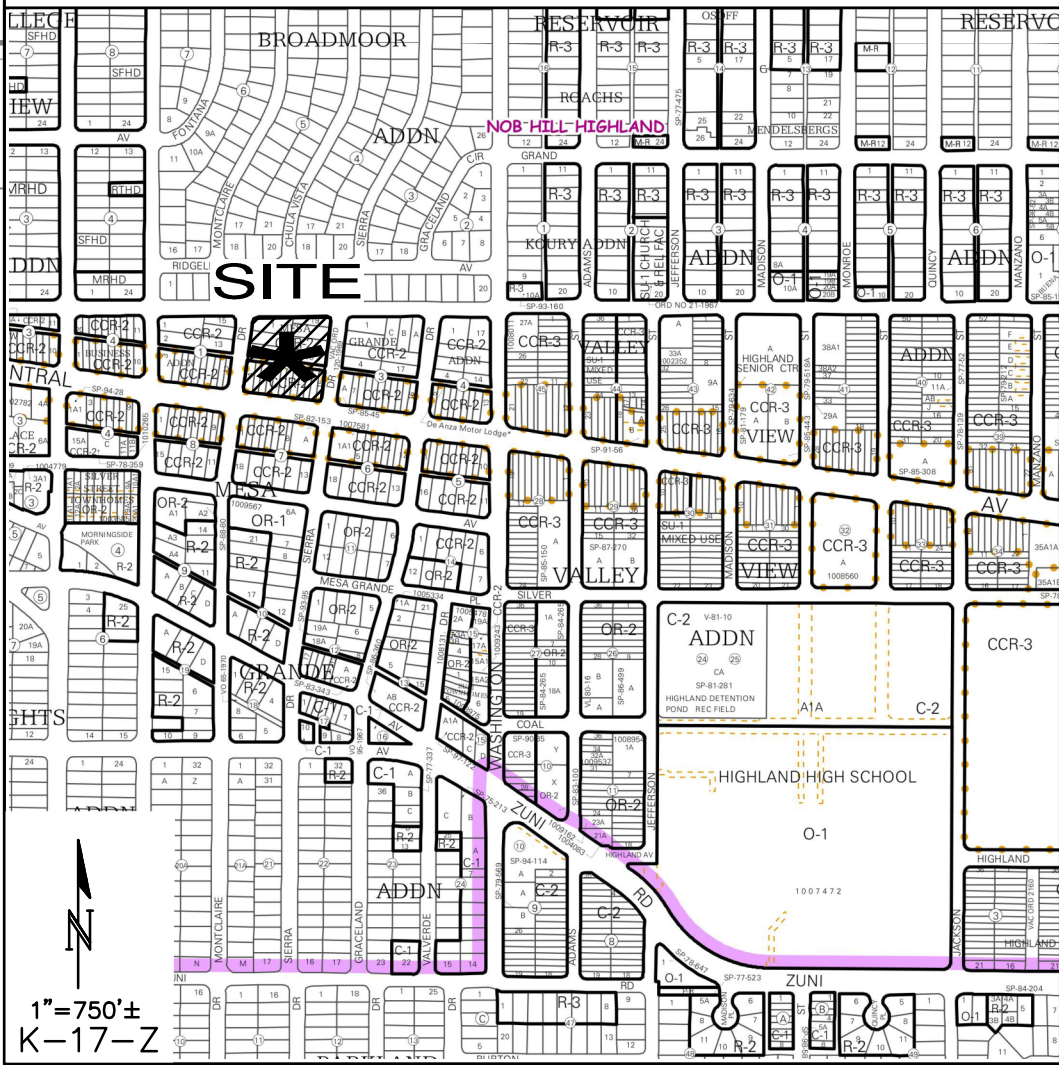


PHASE	DESCRIPTION	SIGNATURE	DATE
1	BLDG 1-1st floor west		
2	BLDG 1-1st floor east		
3	BLDG 1-2nd floor west		
4	BLDG 1-2nd floor east		
5	BLDG 1-3rd floor west		
6	BLDG 1-3rd floor east		
8	BLDG 1-4th floor east		
9	BLDG 4 Pool		
10	BLDG 2		
11	BLDG 3		
7*	BLDG 1-4th floor west*		

* The following items must be completed prior to certification of Phase 7:

- The slope of the easternmost ADA parking space in the SE corner of the property must be adjusted to have no more than 2.0% cross-slope in any direction.
- Complete dog park in Phase 9 and provide as-built elevations
- Curb cuts must be added at locations 1 & 2
- Add storm inlets and drain at location 3
- Regrade landscape area at location 4 so that it drains south across the sidewalk.

VICINITY MAP



KEYED NOTES

- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
- SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES, PARKING, HANDICAP RAMPS, SIDEWALKS, COVERED SIDEWALK CULVERTS, ETC. GRADES SHOWN FOR INFORMATION ONLY. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT 1:12 MAX. HANDICAP ACCESS RAMP PER ADA.
- GARAGE F.F. ELEVATION REFERENCES TOP OF CONCRETE STEP AT BACK OF EACH GARAGE UNIT. GRADE AT OVERHEAD DOOR TO BE 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND 1/4" FT PAD SLOPE.
- DEPRESS LANDSCAPING WITHIN PARKING ISLANDS TO CONTAIN STORMWATER.
- BUILDING ROOF DISCHARGE TO BE RELEASED TO GROUTED ROCK SPLASHPAD. SEE CG-102 FOR DETAIL.
- PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW. SEE CG-102 FOR DETAIL.
- CONSTRUCT 2' WIDE COVERED CONCRETE SIDEWALK CULVERT. SEE CG-102 FOR DETAIL.
- CONSTRUCT HEADER CURB. SEE CG-102 FOR DETAIL.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
- CONSTRUCT BUBBLE UP OUTLET. SEE CG-501 FOR DETAIL.
- POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
- FINISH GRADES ADJACENT TO BUILDING WILL REQUIRE BUILDING STEMMALL TO RETAIN / EXTEND TO ACHIEVE GRADES SHOWN ON SEE ARCHITECTURAL / STRUCTURAL PLANS.

12" WIDE CONCRETE APRON ALONG BUILDING THIS OF CONC. AT BUILDING = 0.1' BELOW F.F., SLOPE @

ACTURED FACE ROCK EROSION PROTECTION TO LIMITS SEE CG-102 FOR DETAIL.

PCC SIDEWALK; SEE DETAIL SHEET A1.21.

U-CHANNEL. SEE CP-501 FOR DETAIL.

CONSTRUCT ALL BUILDINGS, PAVING, CURBS, WALKS TO ELEVATIONS SHOWN. SEE PAVING PLAN, PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, BASIN DELINEATION, WATERBLOCKS, PIPE COVERAGE, ETC.

LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR (1' INCREMENT)
- PROPOSED CONTOUR (0.5' INCREMENT)
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- BUILDING NUMBER
- CROSS SECTION (SEE CG-500)

Contractor must verify all dimensions at project before proceeding with this work.

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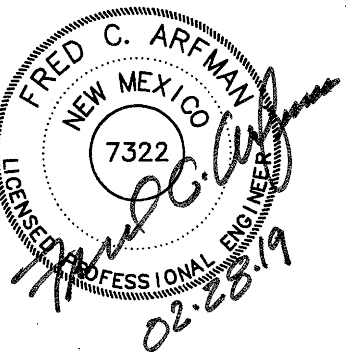
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BROADSTONE NOB HILL

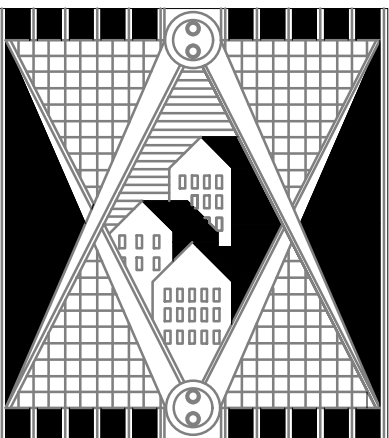
4101 CENTRAL AVE NE
ALBUQUERQUE, NM 87108

REVISION SCHEDULE



WHITNEYBELL PERRY INC

1102 East Missouri Avenue
Phoenix, Arizona 85014
575 W Chandler Blvd, Suite 123
Chandler, Arizona 85224
(602) 265-1891



ARCHITECTURE AND PLANNING

CG-101

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1 Mar 2019

GRADING AND DRAINAGE PLAN