

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 9, 2021

Genevieve L. Donart, PE
Isaacson & Arfman
128 Monroe St. NE
Albuquerque, NM 87108

Re: Nob Hill Apartments Phases 1-6 & 8-11
4101 Central Ave NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 10-23-18 (K17D073)
Certification dated 7-29-21

Dear Ms. Donart,

Based upon the information provided in your submittal received 7-30-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Approval of Phase 7.
- Complete the ADA Ramps in the Public Right of Way.
- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** If that language is present it is not visible in the detail.
- Please remove construction debris and equipment from site.

Once corrections are complete resubmit:

1. The approved and stamped Site Plan for Building Permit with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3981.

CITY OF ALBUQUERQUE

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Mayor Timothy M. Keller

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

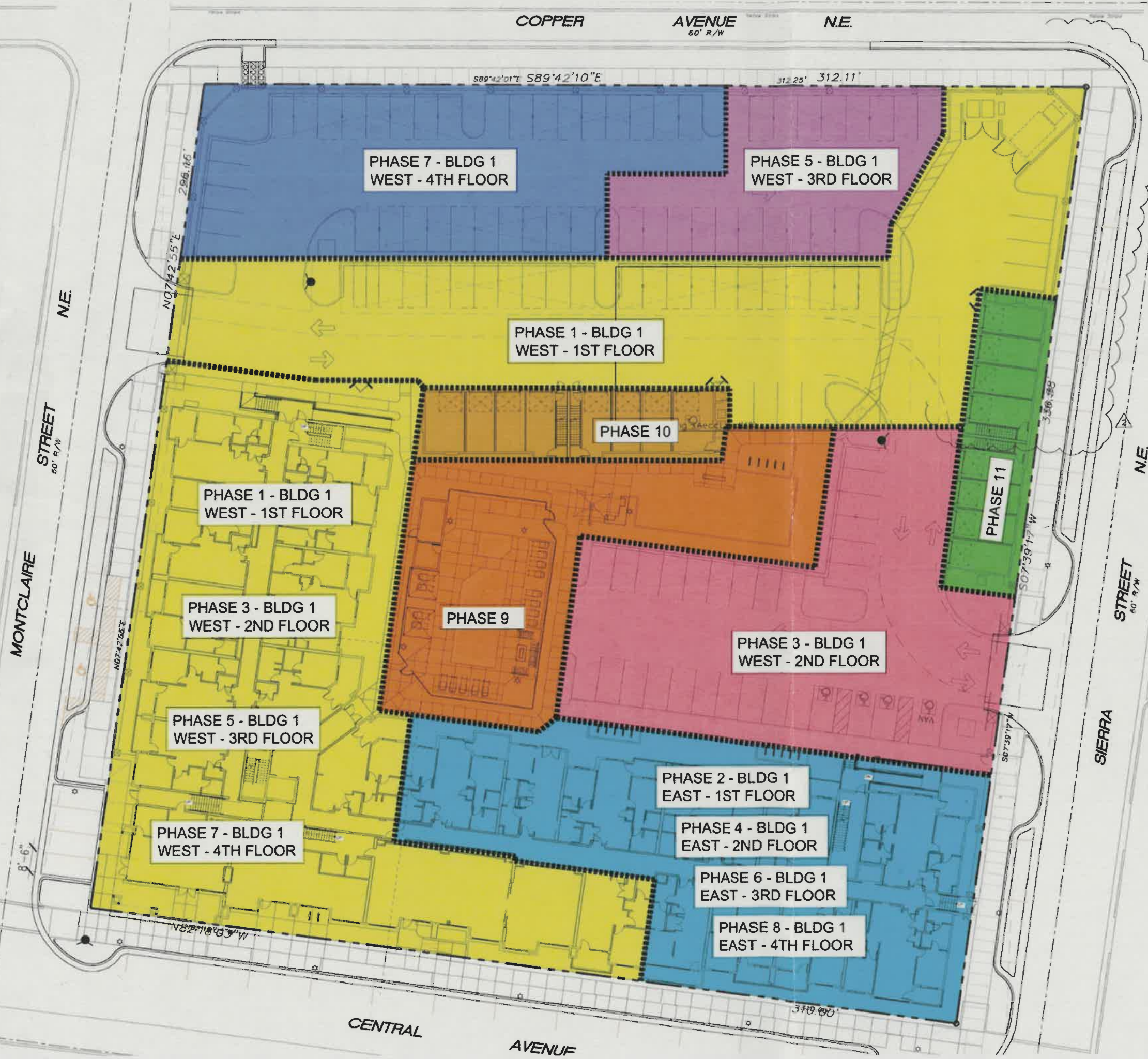
EG via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



- NO. OF COVERED SPACES
- 5 DENOTES ACCESSIBLE PARKING AND TYPE 'A' DWELLING UNIT SEE A1.12
- BT1 BUILDING TYPE
- NEW FIRE HYDRANT
- TRANSFORMER LOCATION SEE ELEC
- PARKING LOT POLE LIGHTS SEE ELEC
- BOLLARD LIGHT SEE ELEC
- STREET LIGHT SEE CIVIL PLANS
- 1 BUILDING NUMBER
- BUILDING TYPE

BUILDING CODE ANALYSIS FOR PHASING
AREAS SHOWN BELOW ARE BASED IN THE UNIT SQUARE FOOTAGE ONLY. CORRIDOR SQUARE FOOTAGE IS CONSIDERED ACCESSORY TO THE PRIMARY USE AND AS SUCH IS NOT CONSIDERED TO ADD ADDITIONAL OCCUPANT LOAD FOR EXITING PURPOSES.

PHASE	BLDG	FLOOR	SIDE	NET AREA	DESCRIPTION	LOAD FACTOR	NO. OF OCC	EXITS	EXITS PROV'D	EXIT WIDTH REQ'D
PHASE 1	1	1	WEST	8,083 S.F.	UNITS	200	41			
				3,552 S.F.	CORRIDOR	-	-			
				820 S.F.	LEASING	100	9			
				863 S.F.	CLUBHOUSE	15	58			
				1,345 S.F.	FITNESS	50	27			
				681 S.F.	YOGA	50	14			
				15,344 S.F.	TOTAL		149	5		0'-6"
PHASE 2	1	1	EAST	9,835 S.F.	UNITS	200	50			
				1,730 S.F.	CORRIDOR	-	-			
				11,565 S.F.	TOTAL	200	50	3		0'-4"
PHASE 3	1	2	WEST	11,152 S.F.	UNITS	200	56			
				1,898 S.F.	CORRIDOR	-	-			
				13,050 S.F.	TOTAL	200	56	3		0'-4"
PHASE 4	1	2	EAST	12,127 S.F.	UNITS	200	61			
				1,480 S.F.	CORRIDOR	-	-			
				13,607 S.F.	TOTAL	200	61	2		0'-6"
PHASE 5	1	3	WEST	11,152 S.F.	UNITS	200	56			
				1,898 S.F.	CORRIDOR	-	-			
				13,050 S.F.	TOTAL	200	56	3		0'-4"
PHASE 6	1	3	EAST	12,127 S.F.	UNITS	200	61			
				1,480 S.F.	CORRIDOR	-	-			
				13,607 S.F.	TOTAL	200	61	2		0'-6"
PHASE 7	1	4	WEST	11,152 S.F.	UNITS	200	56			
				1,898 S.F.	CORRIDOR	-	-			
				13,050 S.F.	TOTAL	200	56	3		0'-4"
PHASE 8	1	4	EAST	12,127 S.F.	UNITS	200	61			
				1,480 S.F.	CORRIDOR	-	-			
				13,607 S.F.	TOTAL	200	61	2		0'-6"
PHASE 9	4			242 S.F.	UNITS	300	1	2		0'-1"
PHASE 10	2			2,472 S.F.	UNITS	200	14	2		0'-2"
PHASE 11	3			2,258 S.F.	UNITS	200	12	2		0'-2"

- NOTES:
- NFPA 13 SPRINKLERS SHALL BE DESIGNED AND INSTALLED PER 2015 IBC 903.3.1.1
 - NFPA 13R SPRINKLERS SHALL BE DESIGNED AND INSTALLED PER 2015 IBC 903.3.1.2
 - BUILDINGS TO BE EQUIPPED WITH FIRE ALARM SYSTEM PER IFC SECT. 907. DESIGN TO BE BY SEPARATE SUBMITTAL.

2-HR AREA SEPARATION (FIRE WALL) NOTE:

PRIOR TO SUBMITTAL OF THE BUILDING PERMIT SET, THE 2-HR AREA SEPARATION WAS DISCUSSED WITH THE CITY OF ALBUQUERQUE BUILDING OFFICIAL AND STAFF. THE REQUEST WAS MADE FOR PERMISSION FOR THE 2-HR AREA SEPARATION (FIRE WALL) TO BE CONTINUOUS FROM EXTERIOR WALL TO EXTERIOR WALL AND FROM THE TOP OF THE FLOOR SLAB TO THE UNDERSIDE OF THE ROOF-CEILING ASSEMBLY. THE 2-HR AREA SEPARATION (FIRE WALL) IS FOR PHASING AND PARTIAL OCCUPANCY OF THE BUILDING DURING CONSTRUCTION ONLY. THE 2-HR AREA SEPARATION (FIRE WALL) IS NOT USED TO INCREASE ALLOWABLE BUILDING HEIGHT, ALLOWABLE NUMBER OF STORIES, ALLOWABLE FLOOR AREA, TO REDUCE THE RATED CONSTRUCTION REQUIREMENTS, OR TO REDUCE REQUIREMENTS FOR FIRE SPRINKLER SYSTEM TYPE. THE 2-HR AREA SEPARATION (FIRE WALL) SHALL BE CONTINUOUS AS PER I.B.C. 706.8. A 2-HR RATED HORIZONTAL ASSEMBLY SHALL BE UTILIZED PER I.B.C. 707.3.10 TO SEPARATE THE 1ST FLOOR AND THE FLOORS ABOVE WHERE THE FIRE WALL IS NOT VERTICALLY CONTINUOUS AS PER I.B.C. 711.2.4.2. REFER TO ARCHITECTURAL PHASING PLAN SHEET A1.13 FOR ORDER OF CONSTRUCTION.

FIRE-RESISTANCE RATING REQUIREMENTS



Date: July 29, 2021

Project: Nob Hill Apartments

Subject: Rolling TCL Certification: Phases 1-6 & 8-11

TRAFFIC CERTIFICATION

I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated . The record information edited onto the original design document has been obtained by David R. Vigil NMPLS No. 8911 of the firm SurvTek, Consulting Surveyor. I further certify that I or someone under my direct supervision visited the project site on July 28th, 2021 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

The following items are required to be completed prior to certification of Phase 7:

1. Install motorcycle parking signs
2. Install all bike racks



Genevieve L Donart, NMPE No. 15088



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

BUILDING PERMITS BY PHASE		
PHASE	BLDG PERMIT #	DESCRIPTION
1	2018-42397	BLDG 1-1st floor west
2	2019-29133	BLDG 1-1st floor east
3	2019-29135	BLDG 1-2nd floor west
4	2019-29136	BLDG 1-2nd floor east
5	2019-29141	BLDG 1-3rd floor west
6	2019-29142	BLDG 1-3rd floor east
7	2019-29144	BLDG 1-4th floor west
8	2019-29146	BLDG 1-4th floor east
9	2019-29148	BLDG 4 Pool
10	2019-29149	BLDG 2
11	2019-29151	BLDG 3