

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

March 8, 2019

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Apartment Urban Living @ Nob Hill
Central and Montclair NE
Grading Plan Stamp Date: 2/28/19
Drainage Report Stamp Date: 2/28/19
Hydrology File: K17D073**

Dear Mr. Arfman:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based on the submittal received on 3/1/19, the above-referenced plan cannot be approved until the following are corrected.

Prior to Building Permit:

1. Payment-in-Lieu of Onsite Management (Amount = 1175CF x \$8/CF = \$9400.00, per response to comments letter, dated 11/12/18 and the Drainage Report: *Stormwater Quality First Flush*) is required. Provide a copy of the paid receipt with a new DTIS form requesting building permit approval once paid (there is no resubmittal fee for this activity).

Prior to Certificate of Occupancy (For Information):

2. A Bernalillo County Recorded [Private Facility Drainage Covenant](#) is required for the stormwater quality pipes/ gravel bedding. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.
3. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
4. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is written over a light gray circular background.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Apartment Urban

Project Title: Living @ Nob Hill Building Permit #: _____ Hydrology File #: K17D073

DRB#: PR-2018-001692 EPC#: _____ Work Order#: _____

Legal Description: Lot 1-A, Block 2, Mesa Grande Addition

City Address: _____

Applicant: Isaacson & Arfman, PA Contact: Fred C. Arfman or

Address: 128 Monroe Street NE - Albuquerque, NM 87108 Bryan J. Bobrick

Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

bryanb@iacivil.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☒ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: March 1, 2019 By: Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



February 26, 2019

Mr. Dana Peterson, PE
Senior Engineer, Planning Dept.
City of Albuquerque Development Review Services

RE: Apartment Urban Living @ Nob Hill (K17D073)

Dear Mr. Peterson,

Attached with this submittal for Building Permit review is one copy of the proposed Grading and Drainage Plan and support information. There have been minor revisions to the previously approved submittal (for Plat and Site Plan) due to architectural revisions. In addition, we have addressed your 'Prior to Building Permit' comments from your letter dated November 16, 2018 as follows:

PRIOR TO BUILDING PERMIT comments:

1. The drainage report has been updated to reflect the addition of the gravel bedding and increased first flush retention.
2. An 11"x17" copy of approved plat is attached.
3. Regarding the Fee-in-Lieu, we understand that you have spoken with members of Titan Development regarding the payment timeline. The property owners will remit Payment In-Lieu for the remainder of the required Stormwater Quality Volume. Based on \$8.00/cf. The fee remitted will be $(1805 - 630 = 1,175) * \$8 = \$9,400$. A treasury deposit slip / paid receipt will be provided for your records.
4. All 'Conceptual' markings have been removed.
5. Hydraulic information is updated per your comments.
6. An ESC Plan has been submitted to the Stormwater Quality Engineer. A copy of the approval for the ESC and the NOI are attached.

Please don't hesitate to contact me or Fred Arfman, project engineer, with any questions or comments.

Sincerely,
Isaacson & Arfman, PA

Bryan J. Bobrick
Bryan J. Bobrick: Project Manager

CC: Fred Arfman, PE
Åsa Nilsson-Weber, PE



VICINITY MAP
Not to Scale

GENERAL NOTES

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page K-17.

SUBDIVISION DATA

- Total number of existing Lots: 19
- Total number of Lots created: 1
- No Public Street right of way dedicated by this plat
- Gross Subdivision acreage: 2.2496 acres.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following: 101705718925234704
101705717933734201
1017057198234702
Titan Hill LLC
Bernalillo County Treasurer Date 12-17-18

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

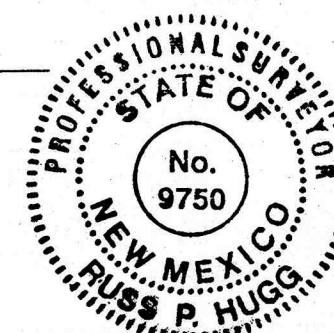
The purpose of this plat is to:

- Show the 16' Public Alley VACATED by 18DRB-00089.
- Combine nineteen (19) existing lots and vacated public alley into One (1) new Lot as shown hereon.
- Grant the Public Utility Easements as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
October 9, 2018



PLAT OF LOT 1-A, BLOCK 2 MESA GRANDE ADDITION

(BEING A REPLAT OF LOTS 1 THRU 19 AND VACATED ALLEY WITHIN BLOCK 2, MESA GRANDE ADDITION.)

SITUATE WITHIN
SECTION 23, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2018

PROJECT NUMBER: 2018-001542
SD-2018-00102

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico
11-7-18
Date

New Mexico Gas Company
11/14/18
Date

QWest Corporation d/b/a CenturyLink QC
10/30/2018
Date

Comcast
10/30/2018
Date

CITY APPROVALS:

Joan H. Rindhoover P.S.
City Surveyor
Department of Municipal Development
10/12/18
Date

N/A
Real Property Division
Date

N/A
Environmental Health Department
Date

Rogers M. M. M.
Traffic Engineering, Transportation Division
11/14/18
Date

Theresa Cael
ABCWUA
11-14-18
Date

N/A
Parks and Recreation Department
Date

David M. Sweet
AMAFCA
10/30/18
Date

R. H.
City Engineer
11/14/18
Date

R. H.
Code Enforcement
11/14/18
Date

R. H.
DRB Chairperson, Planning Department
11-20-18
Date

DOCH 2018108290

12/17/2018 10:52 AM Page: 1 of 3
PLAT R \$25.00 B: 2018C P: 0158 Linda Stover, Bernalillo County

SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

PLAT OF
LOT 1-A, BLOCK 2
MESA GRANDE ADDITION

(BEING A REPLAT OF LOTS 1 THRU 19 AND VACATED
ALLEY WITHIN BLOCK 2, MESA GRANDE ADDITION.)

SITUATE WITHIN

SECTION 23, TOWNSHIP 10 NORTH, RANGE 3 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2018

LEGAL DESCRIPTION

That certain parcel of land situate within Section 23, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Lots numbered One (1) thru Nineteen (19) and Vacated public alley all within Block Two (2), Mesa Grande Addition as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 18, 1931 in Volume C2, Folio 27 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Coordinate System, Central Zone (NAD83) grid bearings and ground distances as follows:

BEGINNING at the Southwest corner of the parcel herein described, a point of intersection of the Northerly right of way line of Central Avenue N.E. and the Easterly right of way line of Montclair Street N.E., said point being the Southwest corner of Lot 4, Block 2, Mesa Grande Addition whence the Albuquerque Control Survey Monument "5-K17A" bears S 71°51'09"W, 215.18 feet distant; Thence;

N 07°42'55"E, 296.16 feet along said Easterly right of way line of Montclair Street N.E. to a point of intersection with the Southerly right of way line of Copper Avenue N.E. (a 5/8" rebar and cap found in place), said point being the Northwest corner of Lot 1, Block 2, Mesa Grande Addition; Thence,

S 89°42'01"E, 312.25 feet along said Southerly right of way line of Copper Avenue N.E. to a point of intersection with the Westerly right of way line of Sierra Street N.E. (a 5/8" rebar found in place), said point being the Northeast corner of Lot 19, Block 2, Mesa Grande Addition; Thence,

S 07°39'17"W, 336.38 feet along said Westerly right of way line of Sierra Street N.E. to a point of intersection with said Northerly right of way line of Central Avenue N.E. (a 1/2" rebar found in place), said point being the Southeast corner of Lot 15, Block 2, Mesa Grande Addition; Thence,

N 82°18'03"W, 310.00 feet along said Northerly right of way line of Central Avenue N.E. to the point of beginning of the parcel herein described.

Said parcel contains 2.2496 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF TRACTS D-1-B-1 AND D-1-B-2, GATEWAY SUBDIVISION (BEING A REPLAT OF TRACT D-1-B, GATEWAY SUBDIVISION, LOTS 16 AND 17, TROTTER ADDITION NO. 2 AND A VACATED PORTION OF HIGH STREET N.E.) SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 16, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

TITAN NOB HILL, LLC
a New Mexico limited liability company

By: Kurt Browning

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 11th
day of October, 2018, by Kurt Browning
as manager of Titan Nob Hill, LLC.

Camilla Gurule My commission expires 9/29/2021
Notary Public



OFFICIAL SEAL
CAMILLA GURULE
NOTARY PUBLIC-STATE OF NEW MEXICO
My Commission Expires 9/29/2021

DOCUMENTS USED IN THE PREPARATION ON THIS SURVEY:

- Plat entitled "MESA GRANDE ADDITION TO THE CITY OF ALBUQUERQUE, N.M., SCALE: 1 IN = 100 FT, SURVEY-PLAT BY ROSS ENGINEERING OFFICE, JUNE-1931, WPM-AG-CBB", filed in the office of the County Clerk of Bernalillo County, New Mexico on July 18, 1931, in Volume C2, Folio 27.
- City Commission Ordinance No. 120-1969, filed September 26, 1969 in Book 151, Page 400, as Document No. 51194.
- Title Commitment prepared for this property by Old Republic National Title Insurance Company, Commitment No.: 1706073, File No.: 1706073, Effective Date: October 25, 2017.

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS
ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

FLOOD ZONE DETERMINATION

The subject property (as shown hereon) lies within "Zone X" (areas determined to be outside 0.2% annual chance flood plain) in as shown on National Flood Insurance Program Flood Insurance Rate Map Number 35001C0353H, Map Revised August 16, 2012.



DOCH 2018108290

12/17/2018 10:52 AM Page: 2 of 3
PLAT R-525-00-B: 2018C P: 0158 Linda Stover, Bernalillo County

SHEET 2 OF 3

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3368
Fax: 505-897-3377

PLAT OF
LOT 1-A, BLOCK 2
MESA GRANDE ADDITION

(BEING A REPLAT OF LOTS 1 THRU 19 AND VACATED
ALLEY WITHIN BLOCK 2, MESA GRANDE ADDITION.)

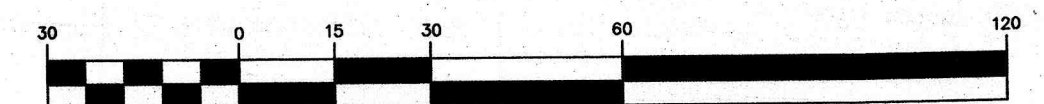
SITUATE WITHIN
SECTION 23, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2018

LINE TABLE		
LINE	LENGTH	BEARING
L1	48.90	S82°17'16"E
L2	30.44	N00°17'51"E
L3	10.00	S89°40'19"E
L4	30.94	S00°17'51"W
L5	212.34	S89°41'44"E
L6	98.65	S00°18'16"W
L7	27.89	S89°41'44"E
L8	10.08	S07°39'17"W
L9	5.18	N89°41'44"W
L10	100.65	N00°18'16"E
L11	209.01	N89°41'44"W
L12	53.30	N82°17'16"W
L13	47.51	S08°37'07"W
L14	10.00	N81°22'53"W
L15	46.05	N08°37'07"E
L16	21.31	N89°41'44"W

VARIANCE NOTE:
A VARIANCE TO NOT DEDICATE
THE R.O.W. RETURNS WAS
APPROVED BY THE D.R.B.
ON NOV. 14, 2018 AS
VA-2018-11151

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



SHEET 3 OF 3

SURV TEK, INC.

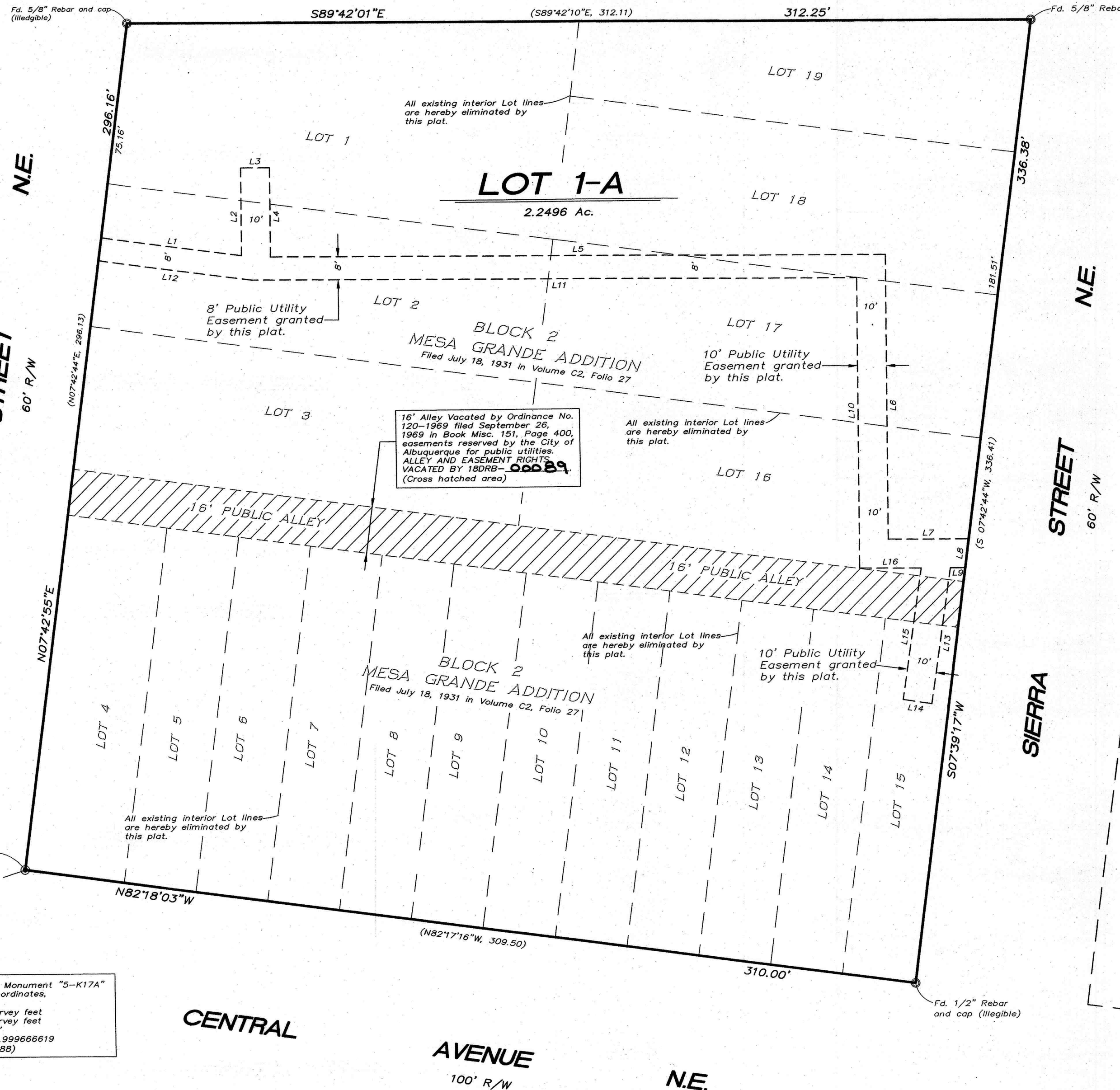
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114

Phone: 505-897-3366
Fax: 505-897-3377

DOCH 2018108290

12/17/2018 10:52 AM Page: 3 of 3
PLAT R: \$25.00 B: 2018C P: 0158 Linda Stover, Bernalillo County

COPPER AVENUE N.E.
60' R/W

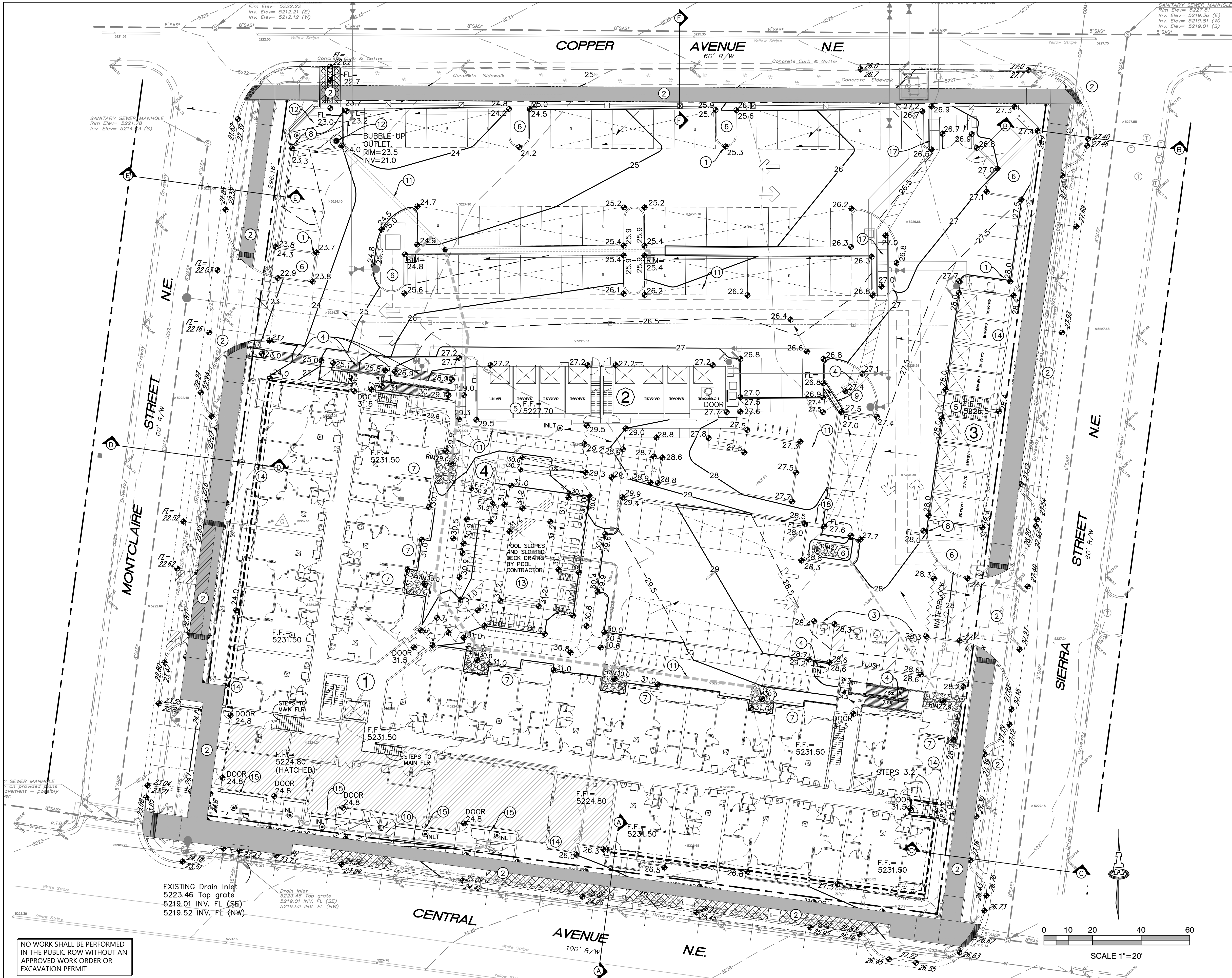


CENTRAL AVENUE N.E.
100' R/W

SIERRA STREET N.E.
60' R/W

MONTCLAIRE STREET N.E.
60' R/W

Albuquerque Survey Control Monument "5-K17A"
New Mexico State Plane Coordinates,
Central Zone (NAD 83)
N = 1,484,259.419 U.S. Survey feet
E = 1,535,891.429 U.S. Survey feet
Delta Alpha = -0°12'02.83"
Ground to Grid Factor = 0.999666619
Elevation = 5222.211 (NAVD 88)



NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT

EXISTING Drain Inlet
5223.46 Top grate
5219.01 INV. FL (SE)
5219.52 INV. FL (NW)

Drain Inlet
5223.46 Top grate
5219.01 INV. FL (SE)
5219.52 INV. FL (NW)

PROJECT INFORMATION

PROPERTY: THE SITE IS FULLY DEVELOPED (RECENTLY DEMOLISHED) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-17. THE SITE IS BOUND TO THE EAST BY SIERRA DR NE, TO THE NORTH BY COPPER AVE NE, TO THE WEST BY MONTCLAIRE DR NE, AND THE SOUTH BY CENTRAL AVE NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-PHASED APARTMENT BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

LEGAL: LOTS 1 THRU 19 AND VACATED ALLEY BLOCK 2 MESA GRANDE ADDITION, ALBUQUERQUE, NM

BENCHMARK: VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K17A", ELEVATION=5222.211 FEET (NAVD 88)

OFF-SITE FLOW: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

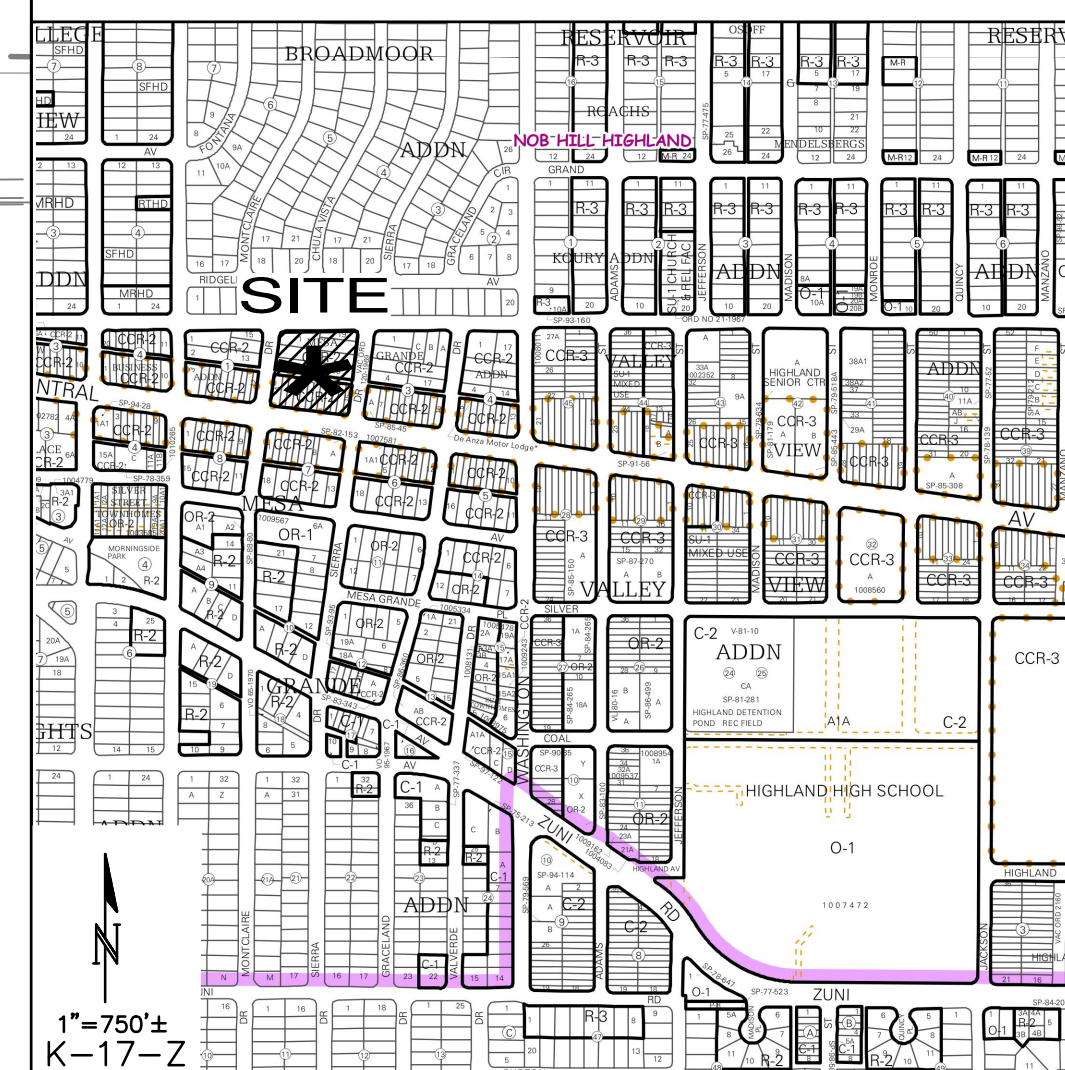
FLOOD HAZARD: PER BERNAILLO COUNTY FIRM MAP #3500100353H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THE MAJORITY OF THE SITE (BUILDING AND PAVEMENT) WILL FREE DISCHARGE AT THE NORTHWEST CORNER OF THE PROPERTY. THE REMAINDER CONSISTS OF PERIMETER LANDSCAPING AND PAVED ACCESS DRIVES DISCHARGING TO THE ADJACENT STREETS. A PORTION OF THE REQUIRED STORMWATER QUALITY RETENTION WILL BE PROVIDED WITHIN THE PROPOSED STORM DRAIN SYSTEM TO REDUCE THE "IN-LIEU" FEE. THE COA APPROVED IN-LIEU-OF PAYMENT HAS BEEN REMITTED.

ENGINEER: FRED C. ARFMAN: NMPE 7322
ISAACSON & ARFMAN, PA
128 MONROE NE 87108;
268-8828

SURVEYOR: RUSS P. HUGG: NMPS NO. 9750
SURV-TEK, INC.
9384 VALLEY VIEW DR., NW 87114;
897-3366

VICINITY MAP



KEYED NOTES

- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
- SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES, PARKING, HANDICAP RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALKS, ETC. GRADES SHOWN FOR INFORMATION ONLY. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT 1:12 MAX. HANDICAP ACCESS RAMP PER ADA.
- GARAGE F.F. ELEVATION REFERENCES TOP OF CONCRETE STEP AT BACK OF EACH GARAGE UNIT. GRADE AT OVERHEAD DOOR TO BE 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND 1/4" FT PAD SLOPE.
- DEPRESS LANDSCAPING WITHIN PARKING ISLANDS TO CONTAIN STORMWATER.
- BUILDING ROOF DISCHARGE TO BE RELEASED TO GROUTED ROCK SPLASHPAD. SEE CG-102 FOR DETAIL.
- PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW. SEE CG-102 FOR DETAIL.
- CONSTRUCT 2' WIDE COVERED CONCRETE SIDEWALK CULVERT. SEE CG-102 FOR DETAIL.
- CONSTRUCT HEADER CURB. SEE CG-102 FOR DETAIL.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
- CONSTRUCT BUBBLE UP OUTLET. SEE CG-501 FOR DETAIL.
- POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
- FINISH GRADES ADJACENT TO BUILDING WILL REQUIRE BUILDING STEMWALL TO RETAIN / EXTEND TO ACHIEVE GRADES SHOWN ON ALL SIDES. SEE ARCHITECTURAL / STRUCTURAL PLANS.
- CONSTRUCT 12" WIDE CONCRETE APRON ALONG BUILDING THIS AREA. TOP OF CONC. AT BUILDING = 0.1' BELOW F.F., SLOPE @ 2%.
- INSTALL FRACTURED FACE ROCK EROSION PROTECTION TO LIMITS HATCHED. SEE CG-102 FOR DETAIL.
- CONSTRUCT PCC SIDEWALK; SEE DETAIL SHEET A1.21.
- CONSTRUCT U-CHANNEL. SEE CP-501 FOR DETAIL.

CONSTRUCT ALL BUILDINGS, PAVING, CURBS, WALKS TO ELEVATIONS SHOWN. SEE PAVING PLAN, PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, BASIN DELINEATION, WATERBLOCKS, PIPE COVERAGE, ETC.

LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR (1' INCREMENT)
- PROPOSED CONTOUR (0.5' INCREMENT)
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- BUILDING NUMBER
- CROSS SECTION (SEE CG-500)

Contractor must verify all dimensions at project before proceeding with this work.

Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

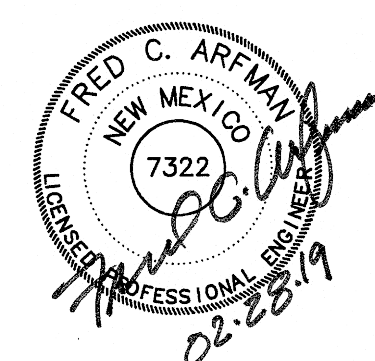
© Copyright Whitneybell Perry Inc 2017



BROADSTONE NOB HILL

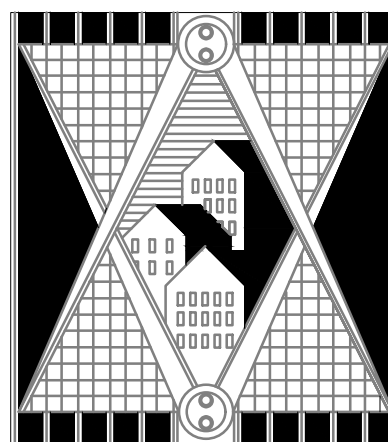
4101 CENTRAL AVE NE
ALBUQUERQUE, NM 87108

REVISION SCHEDULE



WHITNEYBELL PERRY INC

1102 East Missouri Avenue
Phoenix, Arizona 85014
575 W Chandler Blvd, Suite 123
Chandler, Arizona 85224
(602) 265-1891



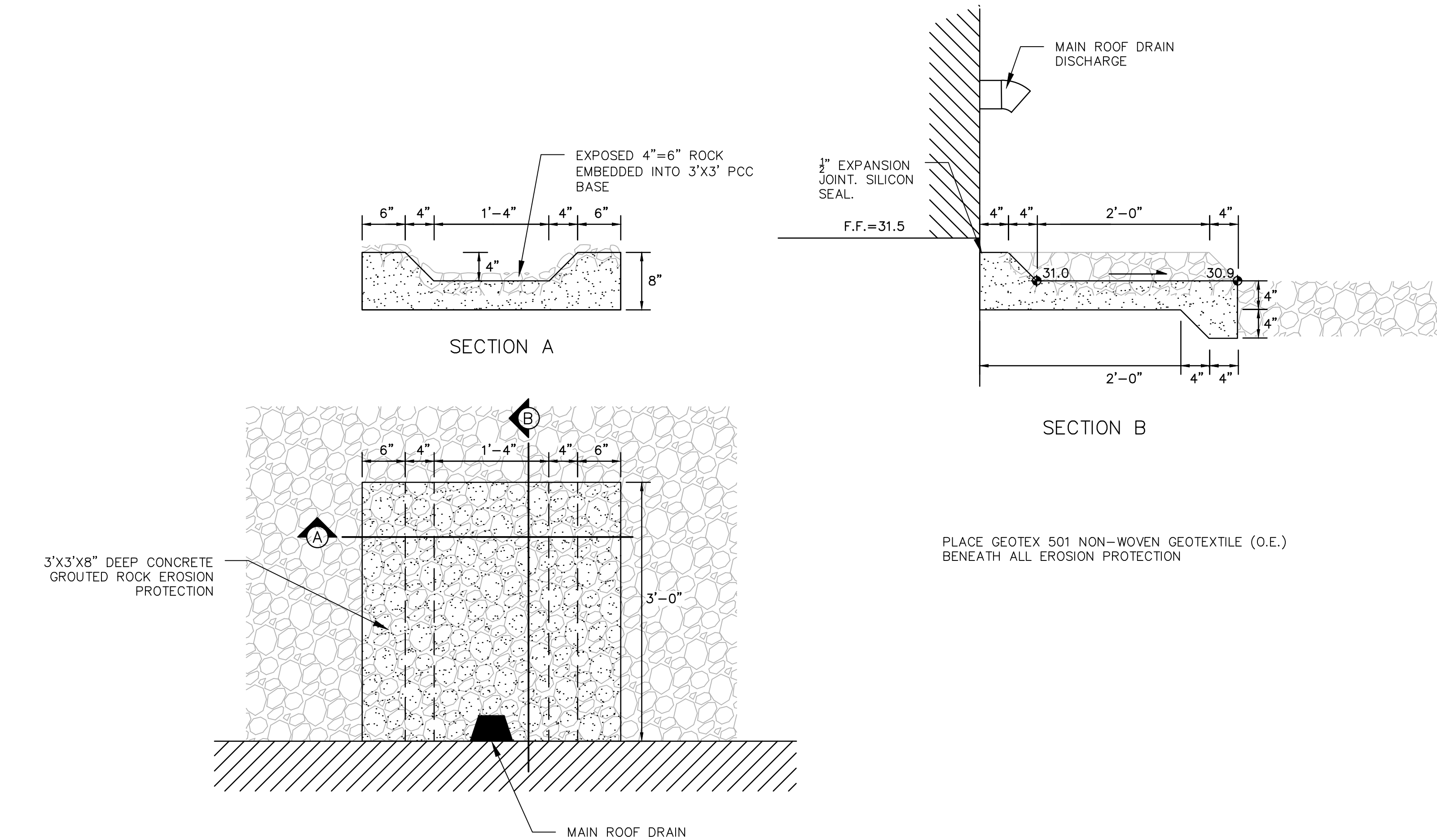
ARCHITECTURE AND PLANNING

CG-101

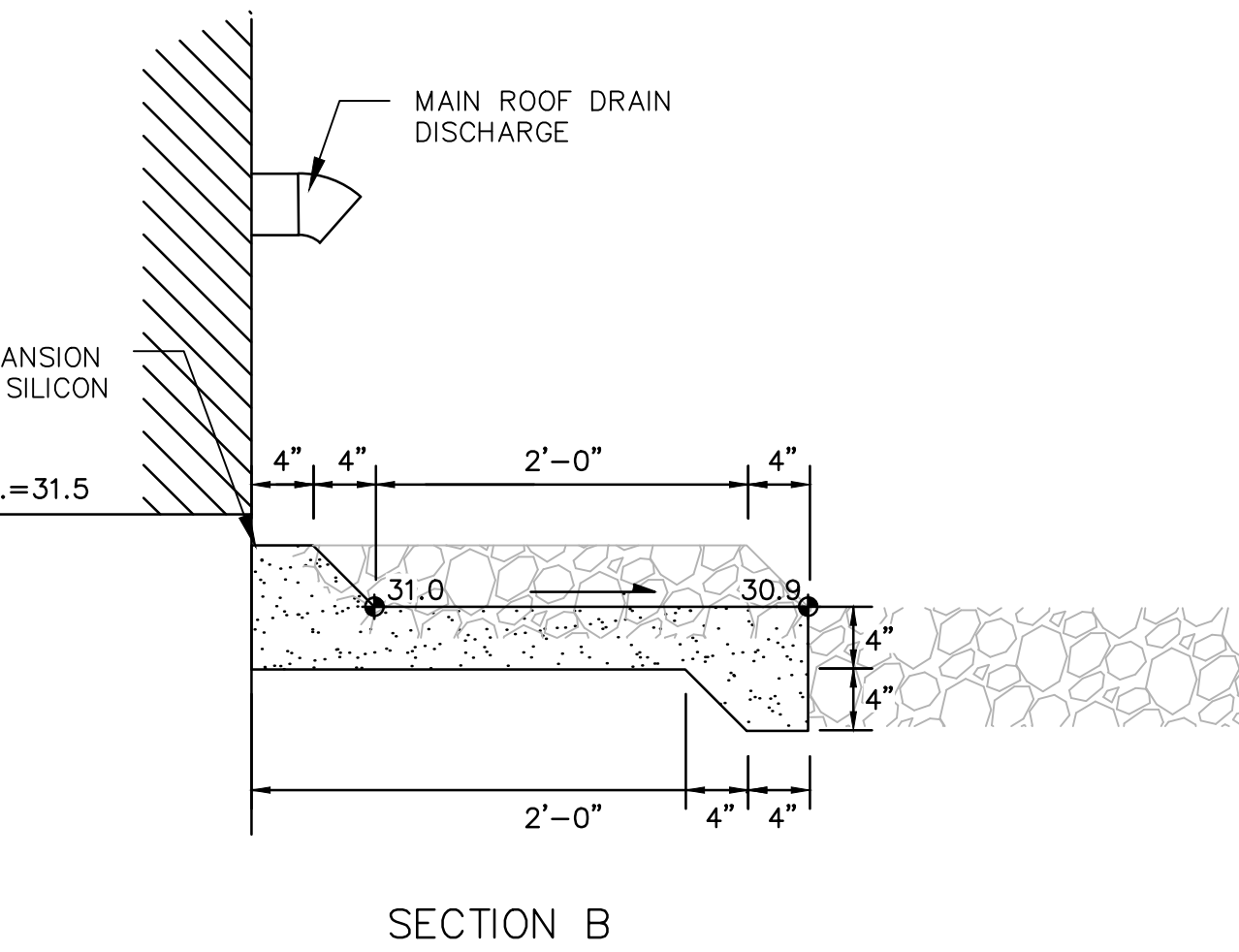
COPYRIGHT WHITNEYBELL PERRY INC

1 Mar 2019

GRADING AND DRAINAGE PLAN

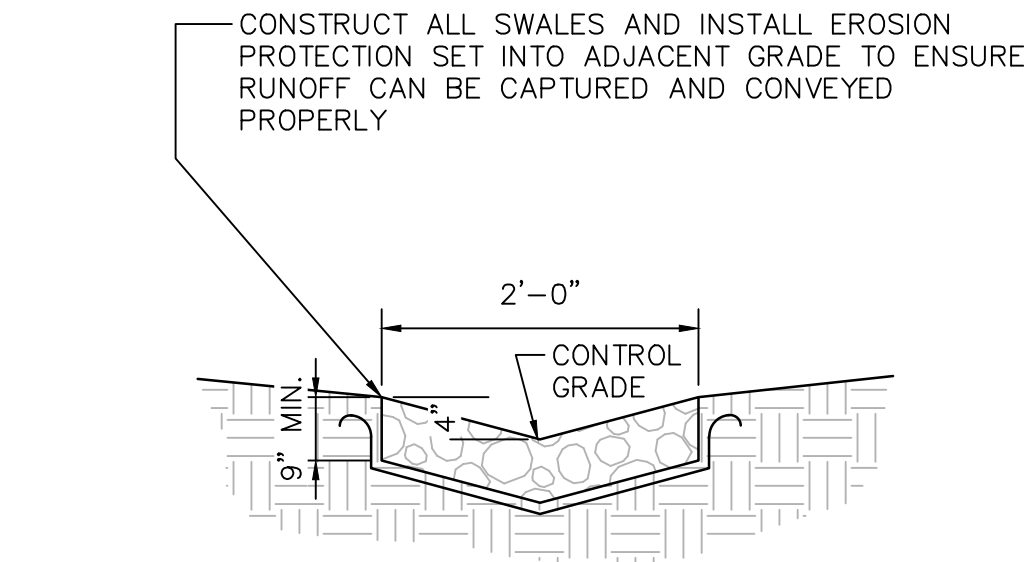


GROUTED ROCK SPLASHPAD AT BLDG. 1 ROOF DRAINS DISCHARGING TO GRADE SCALE: N.T.S.



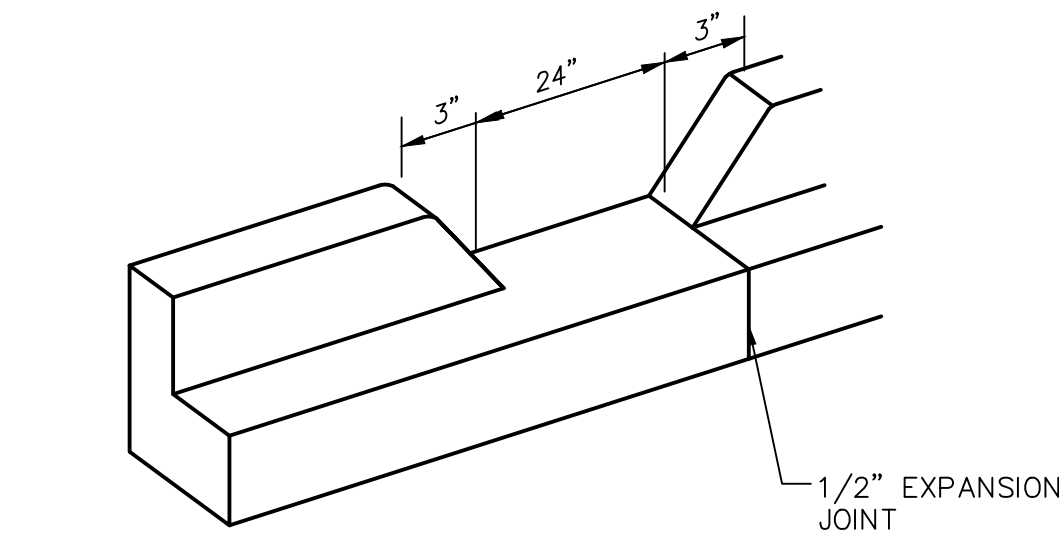
PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH ALL EROSION PROTECTION

HEADER CURB SCALE: N.T.S.



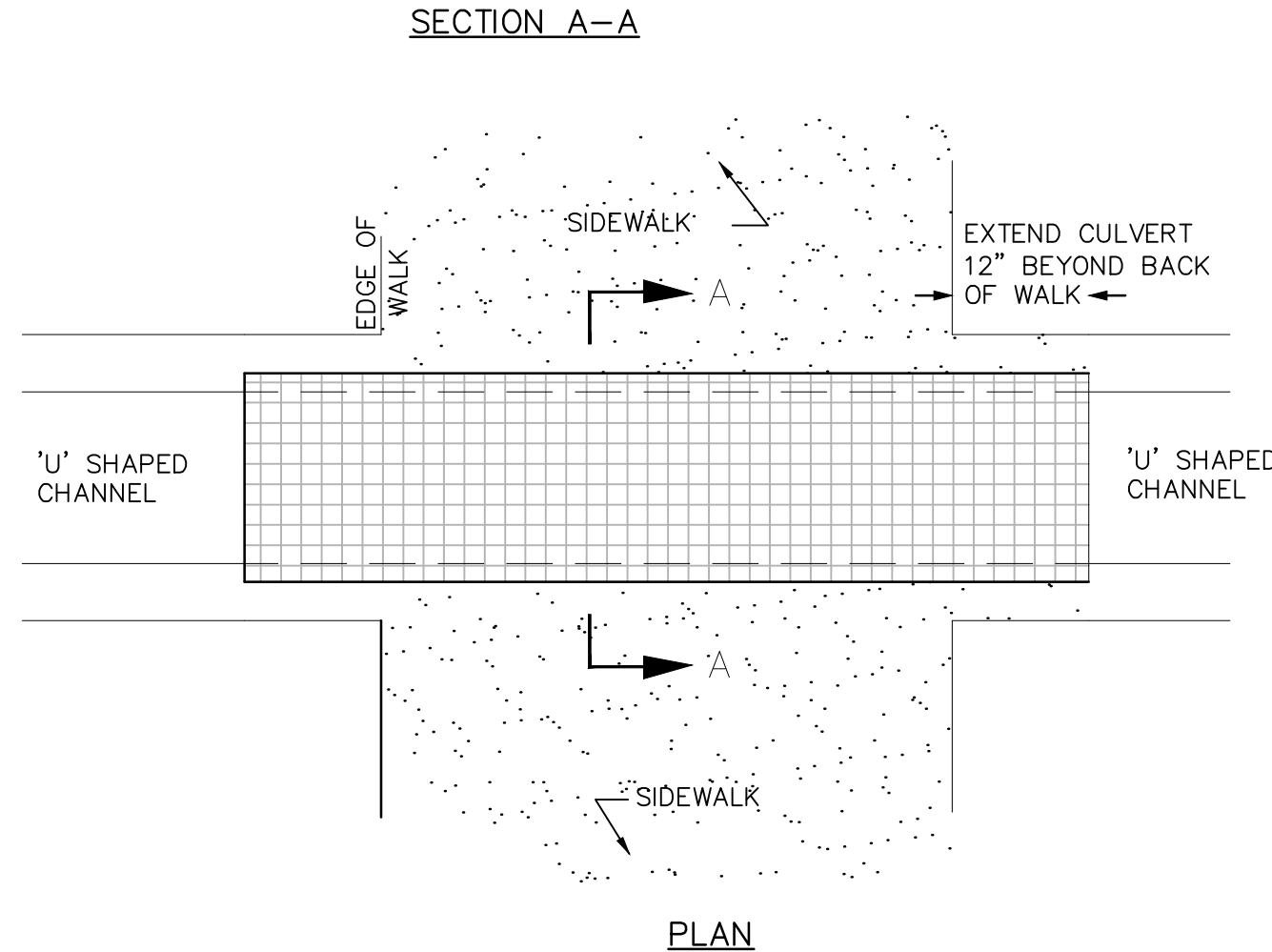
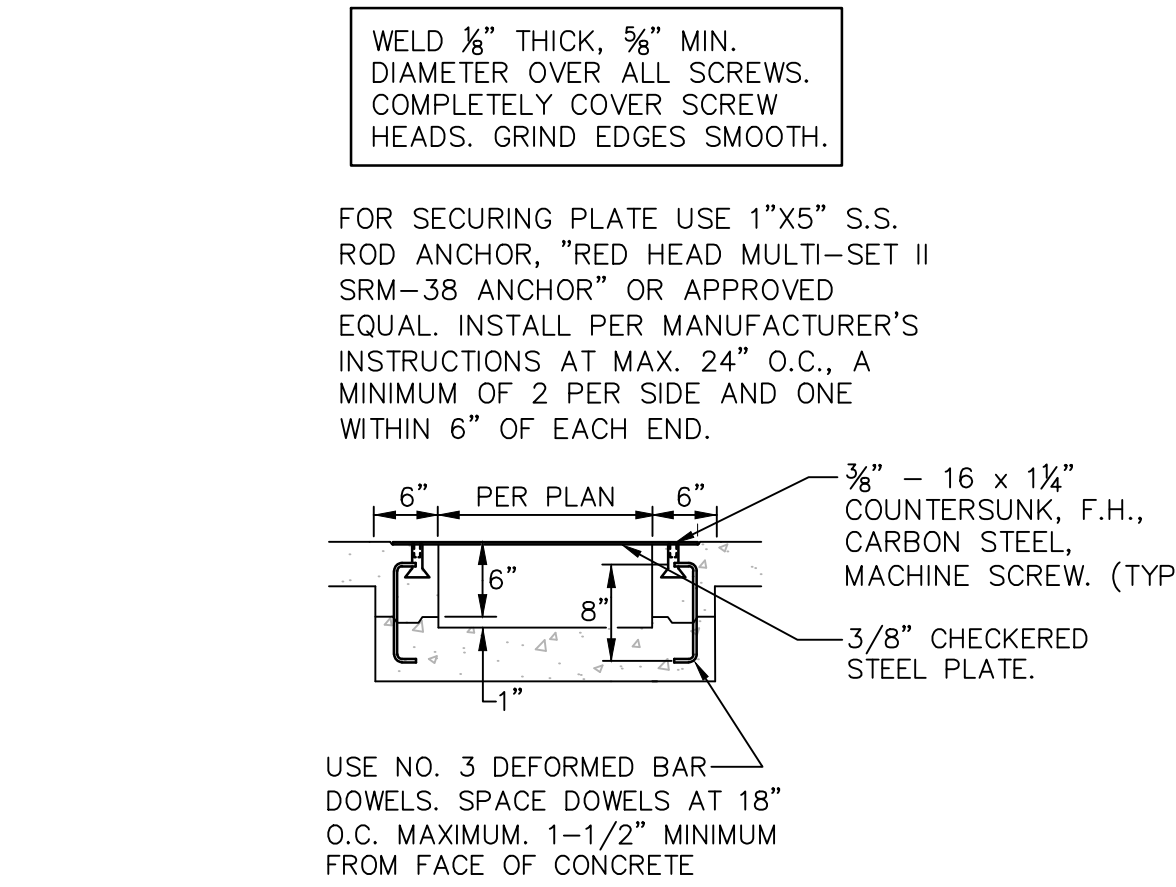
- VARY ANGULAR FACE ROCK SIZE BETWEEN 4" AND 8" DIA. (AVG.=6")
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH ALL EROSION PROTECTION

TYPICAL EROSON CONTROL SCALE: N.T.S.



- GENERAL NOTES**
1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

CURB OPENING SCALE: N.T.S.



SIDEWALK CULVERT SCALE: N.T.S.

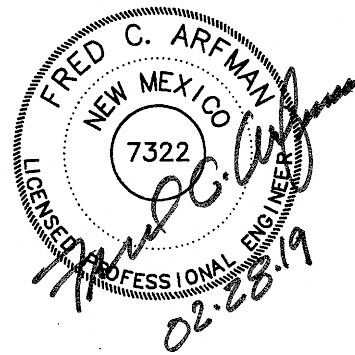
Contractor must verify all dimensions at project before proceeding with this work.
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.
© Copyright Whitneybell Perry Inc 2017



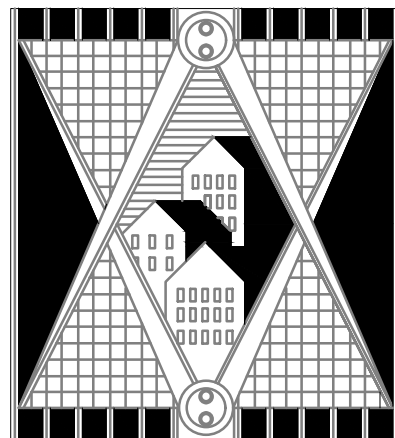
BROADSTONE NOB HILL

4101 CENTRAL AVE NE
ALBUQUERQUE, NM 87108

REVISION SCHEDULE



WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014
575 W Chandler Blvd, Suite 123
Chandler, Arizona 85224
(602) 265-1891



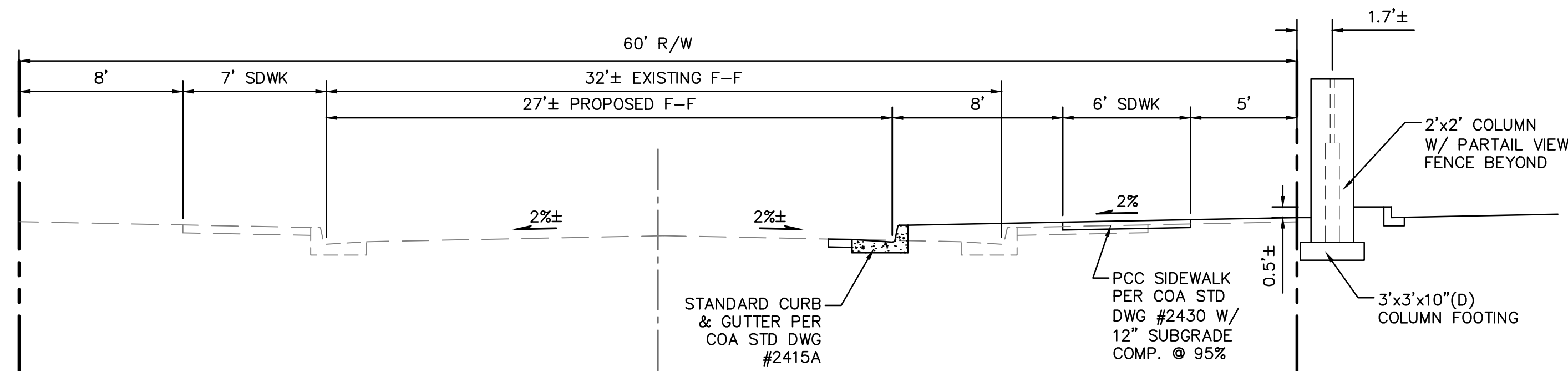
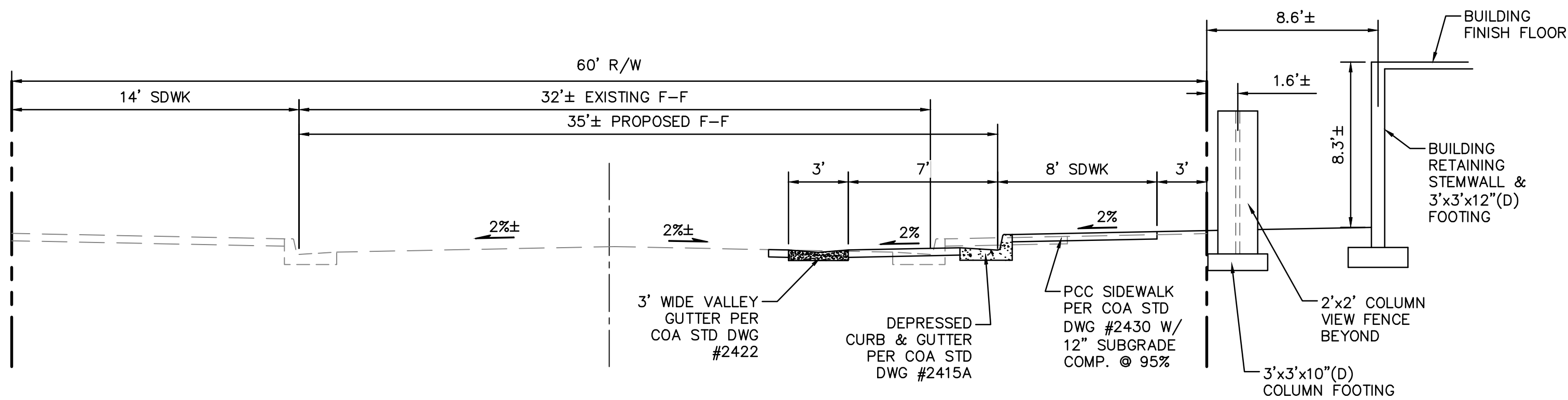
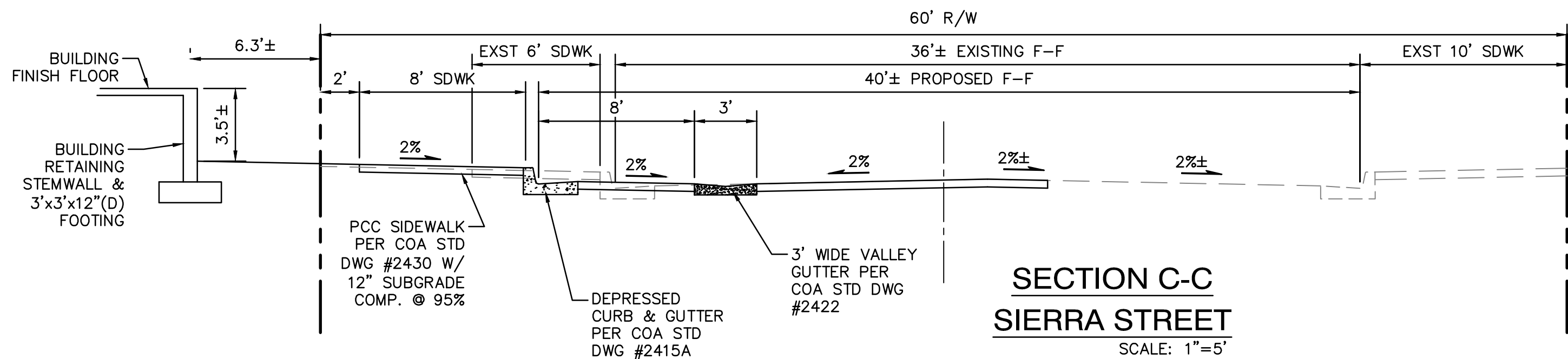
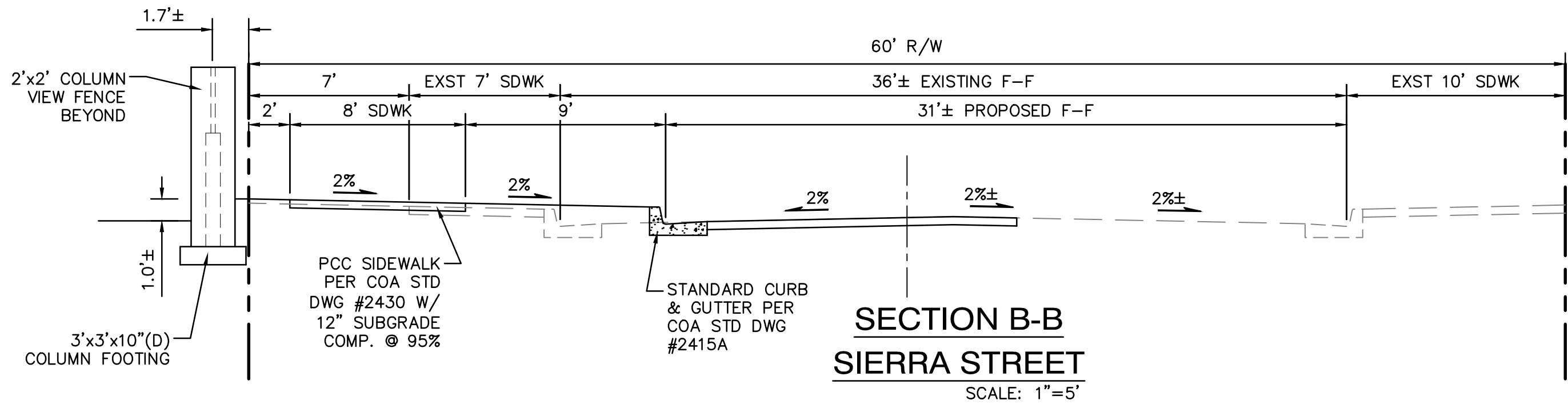
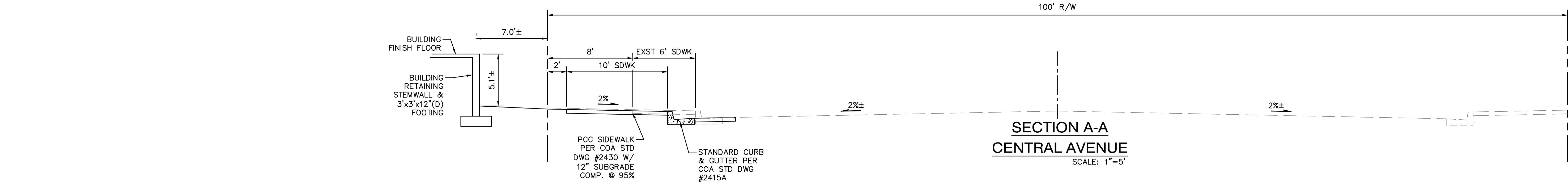
ARCHITECTURE AND PLANNING

CG-102

COPYRIGHT WHITNEYBELL PERRY INC

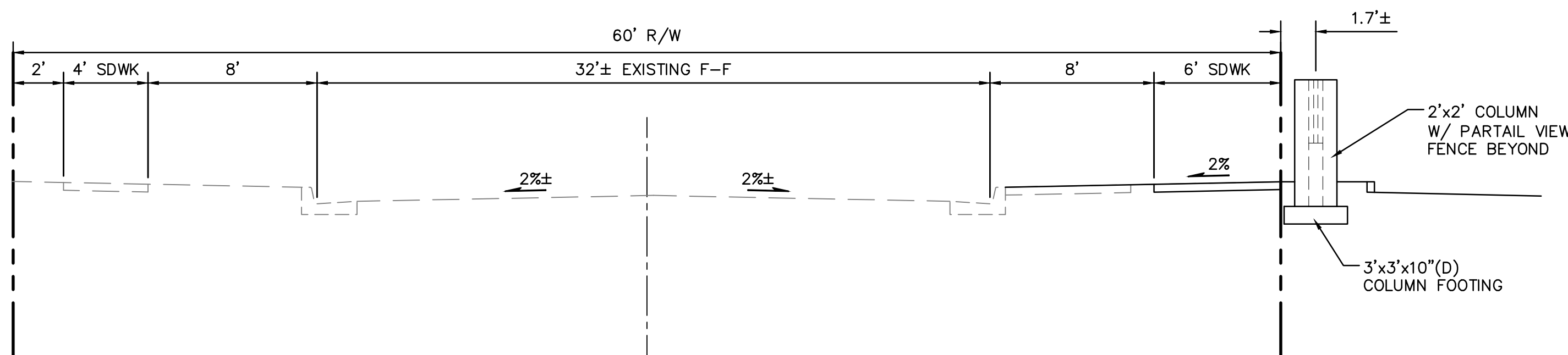
1 Mar 2019

GRADING & DRAINAGE DETAILS



SECTION D-D
MONTCLAIRE STREET
SCALE: 1"=5'

SECTION E-E
MONTCLAIRE STREET
SCALE: 1"=5'



SECTION F-F
COPPER AVENUE
SCALE: 1"=5'

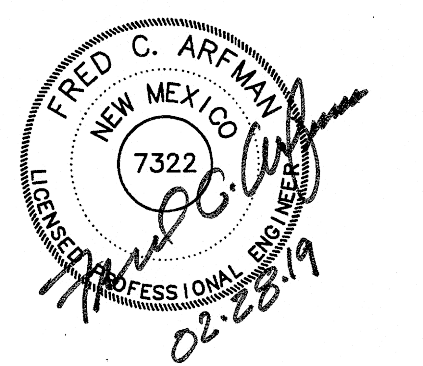
Contractor must verify all dimensions at project before proceeding with this work.
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.
© Copyright Whitneybell Perry Inc 2017



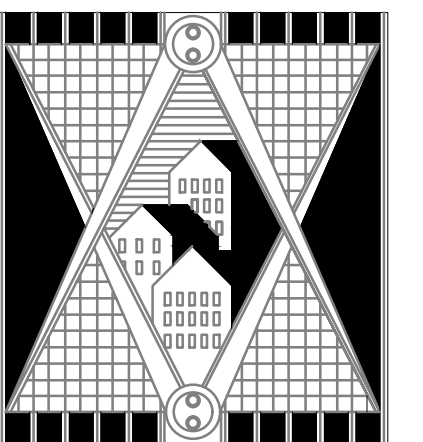
BROADSTONE NOB HILL

4101 CENTRAL AVE NE
ALBUQUERQUE, NM 87108

REVISION SCHEDULE



WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014
575 W Chandler Blvd, Suite 123
Chandler, Arizona 85224
(602) 265-1891



ARCHITECTURE AND PLANNING

CG-500

COPYRIGHT WHITNEYBELL PERRY INC

1 Mar 2019

CROSS-SECTIONS



TREASURY DIVISION DAILY DEPOSIT

Transmittals for:
PROJECTS Only

Payment In-Lieu for Storm Water Quality Volume Requirement

CASH COUNT	AMOUNT	ACCOUNT NUMBER	FUND NUMBER	BUSINESS UNIT	PROJECT ID	ACTIVITY ID	AMOUNT
TOTAL CHECKS	\$ 9,400.00	461615	305	PCDMD	24_MS4	7547210	\$ 9,400.00
TOTAL AMOUNT						TOTAL DEPOSIT	\$9,400.00

Hydrology#: K17D073 Name: Apt Urban Living @ Nob Hill, 54,215 sf imp
Payment In-Lieu For Storm Water Quality
Volume Requirement

Address/Legal Description: Central and Sierra St NE
Lots 1-19 & Vacated Alley, Block 2, Mesa Grande Addition

DEPARTMENT NAME: Planning Department/Development Review Services, Hydrology

PREPARED BY Dana Peterson PHONE 924-3695

BUSINESS DATE 11/16/18

DUAL VERIFICATION OF DEPOSIT

EMPLOYEE SIGNATURE

AND BY

EMPLOYEE SIGNATURE

REMITTER: _____

AMOUNT: _____

BANK: _____

CHECK #: _____ DATE ON CHECK: _____

The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2nd St. NW. **Bring two copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2nd St. NW, or e-mail with the Hydrology submittal to PLNDRS@cabq.gov.

CITY OF ALBUQUERQUE



January 25th, 2019

Lelan Morrison, CPESC
Inspections Plus Inc.
805 Nikanda Rd NE
Albuquerque, NM 87107

**Re: Nob Hill Apartments
Erosion and Sediment Control Plan
Engineer's Stamp Date 1-23-19 (K17E073)**

Dear Mr. Morrison,

Based upon the information provided in your submittal received 1-25-19, the above referenced plan is approved to be included in the SWPPP and for NOI documentation review for grading and Building Permit.

Include a copy of the approved plan in the Building Permit set.

If you have any questions, you can contact me at 924-3420.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Stormwater Quality
Planning Dept.

C: email



Submission of this Notice of Intent (NOI) constitutes notice that the operator identified in Section III of this form requests authorization to discharge pursuant to the NPDES Construction General Permit (CGP) permit number identified in Section II of this form. Submission of this NOI also constitutes notice that the operator identified in Section III of this form meets the eligibility requirements of Part 1.1 CGP for the project identified in Section IV of this form. Permit coverage is required prior to commencement of construction activity until you are eligible to terminate coverage as detailed in Part 8 of the CGP. To obtain authorization, you must submit a complete and accurate NOI form. Discharges are not authorized if your NOI is incomplete or inaccurate or if you were never eligible for permit coverage. Refer to the instructions at the end of this form.

Permit Information

NPDES ID: NMR1001V0State where your construction site is located: NMIs your construction site located on Indian Country Lands? ☐ YES ☒ NOAre you requesting coverage under this NOI as a "Federal Operator" as defined in Appendix A (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_a_-_definitions_508.pdf)?☐ YES ☒ NOHave stormwater discharges from your current construction site been covered previously under an NPDES permit? ☐ YES ☒ NOWill you use polymers, flocculants, or other treatment chemicals at your construction site? ☐ YES ☒ NOHas a Stormwater Pollution Prevention Plan (SWPPP) been prepared in advance of filling this NOI, as required? ☒ YES ☐ NOAre you able to demonstrate that you meet one of the criteria listed in Appendix D (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_d_-_endangered_species_reqs_508.pdf) with respect to protection of threatened or endangered species listed under the Endangered Species Act (ESA) and federally designated critical habitat?☒ YES ☐ NOHave you completed the screening process in Appendix E (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_e_-_historic_properties_reqs_508.pdf) relating to the protection of historic properties?☒ YES ☐ NO

Indicating "Yes" below, I confirm that I understand that CGP only authorized the allowable stormwater discharges in Part 1.2.1 and the allowable non-stormwater discharges listed in Part 1.2.2. Any discharges not expressly authorized in this permit cannot become authorized or shielded from liability under CWA section 402(k) by disclosure to EPA, state or local authorities after issuance of this permit via any means, including the Notice of Intent (NOI) to be covered by the permit, the Stormwater Pollution Prevention Plan (SWPPP), during an inspection, etc. If any discharges requiring NPDES permit coverage other than the allowable stormwater and non-stormwater discharges listed in Parts 1.2.1 and 1.2.2 will be discharged, they must be covered under another NPDES permit.

☒ YES ☐ NO

Operator Information

Operator Information

Operator Name: Titan Development

Mailing Address:

Street/Location: 6300 Riverside Plaza Lane NW Suite 220City: AlbuquerqueState: NMZip Code: 87120County or Similar Government Subdivision: BERNALILLO

Operator Point of Contact Information

First Name, Middle Initial, LastName: Kurt BrowningTitle: PresidentPhone: 505-998-0163

Ext.

Email: kbrowning@titan-development.com

Project/Site Information

Project/Site Name: Nob Hill Apartments Urban Living

Project/Site Address

Street/Location: 4101 Central Ave NECity: AlbuquerqueState: NMZip Code: 87108County or Similar Government Subdivision: BERNALILLOLatitude/Longitude: 35.0797°N, 106.5979°W

Latitude/Longitude Data Source: Google Earth

Horizontal Reference Datum: WGS 84

Project Start Date: 2019-02-04

Project End Date: 2020-06-30

Estimated Area to be Disturbed: 2

Types of Construction Sites:

- Multi-Family Residential
- Commercial

Will there be demolition of any structure built or renovated before January 1, 1980? ☐ YES ☒ NO

Was the pre-development land use used for agriculture? ☐ YES ☒ NO

Have earth-disturbing activities commenced on your project/site? ☐ YES ☒ NO

Is your project located on a property of religious or cultural significance to an Indian tribe? ☐ YES ☒ NO

Discharge Information

Does your project/site discharge stormwater into a Municipal Separate Storm Sewer System (MS4)? ☒ YES ☐ NO

Are there any waters of the U.S. within 50 feet of your project's earth disturbances? ☐ YES ☒ NO

Are any of the waters of the U.S. to which you discharge designated by the state or tribal authority under its antidegradation policy as a Tier 2 (or Tier 2.5) water (water quality exceeds levels necessary to support propagation of fish, shellfish, and wildlife and recreation in and on the water) or as a Tier 3 water (Outstanding National Resource Water)? See Appendix F (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_f_-_tier_3_tier_2_and_tier_2.5_waters_508.pdf)

☒ YES ☐ NO

001: Albuquerque MS4 to Rio Grande

Latitude/Longitude: 35.0792°N, 106.5987°W

Tier Designation: Tier 2

Is this receiving water impaired (on the CWA303(d) list)? ☒ YES ☐ NO

Has a TMDL been completed for this receiving waterbody? ☒ YES ☐ NO

Pollutant	Causing Impairment?	TMDL ID	TMDL Name
E. coli	Yes	38855	Rio Grande 2105_50 E. coli TMDL
PCB in fish tissue	Yes	38855	Rio Grande 2105_50 E. coli TMDL
Oxygen, dissolved percent saturation	Yes	38855	Rio Grande 2105_50 E. coli TMDL

Stormwater Pollution Prevention Plan (SWPPP)

First Name, Middle Initial, LastName: Kurt Browning

Title: President

Phone: 505-998-0163 Ext.

Email: kbrowning@itan-development.com

Endangered Species Protection

Using the Instructions in Appendix D of the CGP, under which criterion listed in Appendix D are you eligible for coverage under this permit? Criterion A

Provide a brief summary of the basis for criterion selection listed above (the necessary content for a supportive basis statement is provided under the criterion you selected.):

Per research there are not critical habitats within the project area.

Historic Preservation

Are you installing any stormwater controls as described in Appendix E (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_e_-_historic_properties_reqs_508.pdf) that require subsurface earth disturbances? (Appendix E (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_e_-_historic_properties_reqs_508.pdf), Step 1)

☒ YES ☐ NO

Have prior surveys or evaluations conducted on the site already determined historic properties do not exist, or that prior disturbances have precluded the existence of historic properties? (Appendix E (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_e_-_historic_properties_reqs_508.pdf), Step 2):

☒ YES ☐ NO

Certification Information

Certified By: Kurt Browning (KUBROWNING)

Certified On: 01/23/2019 2:36 PM

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I have no personal knowledge that the information submitted is other than true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. Signing an electronic document on behalf of another person is subject to criminal, civil, administrative, or other lawful action.

K17E073

Kurt A. Browning 1-25-19