

DRAINAGE INFORMATION SHEET

THREE UNIT APTS

PROJECT TITLE: FOR AG ELSIK GRADING PLAN ZONE ATLAS/DRNG. FILE #: K-17/076

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 25-A REPLAT OF LOTS 10, 11, AND 12, BLK 14

CITY ADDRESS: 308 JEFFERSON NE HEIGHTS RESV. ADDN.

ENGINEERING FIRM: SMITH ENG. CO. CONTACT: PAT CONLEY

ADDRESS: 600 UPTOWN BLVD NE PHONE: 884-0700

OWNER: MRS. AG ELSIK CONTACT: MRS. AG ELSIK

ADDRESS: \_\_\_\_\_ PHONE: 237-9749

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONST. SURVEYOR: ~~THE~~ SCANNELL SURVEYING, INC. CONTACT: TIM SCANNELL

ADDRESS: \_\_\_\_\_ PHONE: 877-3558

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER AS-BUILT ELEV.

CHECK TYPE OF APPROVAL SOUGHT:

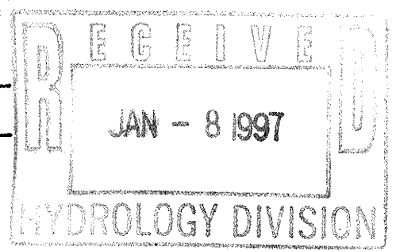
- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER \_\_\_\_\_ (SPECIFY)

30-day Temp CO on 1-8-97 LAM

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 1/8/97  
BY: PATRICK CONLEY PE  
SMITH ENG. CO.





CITY OF  
Albuquerque

Public Works Department

January 16, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Pat Conley  
Smith Engineering Co.  
6400 Uptown Blvd. NE  
Suite 500E  
Albuquerque, NM 87110

**RE: THREE UNIT APTS. (K17-D76). ENGINEER'S CERTIFICATION FOR  
CERTIFICATE OF OCCUPANCY. ENGINEER'S CERTIFICATION DATED  
JANUARY 6, 1997.**

Dear Pat:

Based on the information provided on your January 8, 1997 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

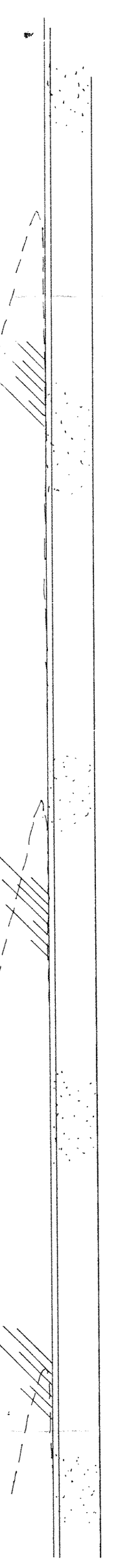
Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: Arlene Portillo  
Andrew Garcia  
File

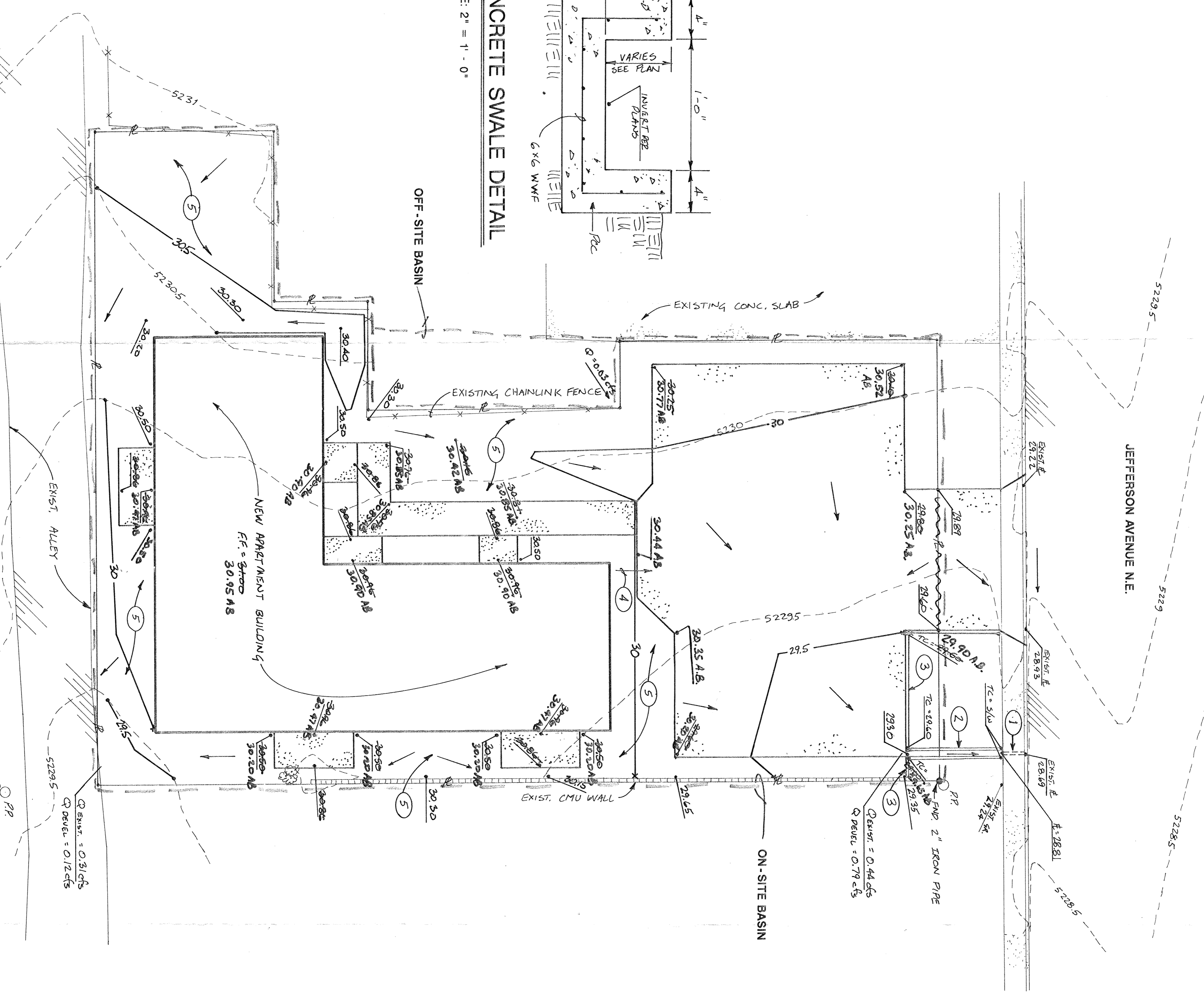
Good for You. Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



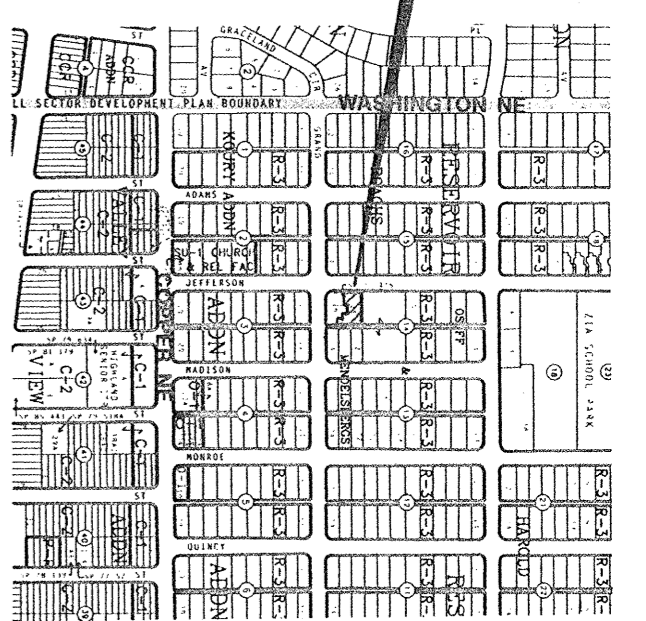


**CONCRETE SWALE DETAIL**  
SCALE: 2" = 1' - 0"



**SITE GRADING PLAN**  
SCALE: 1" = 10'

**PROJECT LOCATION**



ZONE ATLAS MAP K-17  
308 JEFFERSON NE  
LOT 25 - A, REPLAT OF LOTS 10, 11, AND 12  
BLK. 14 HEIGHTS RESV. ADD.

**PROJECT LOCATION**



FLOODWAY MAP PANEL 29

- KEYED NOTES**
1. CONSTRUCT 12-INCH WIDE SIDEWALK CULVERT PER COA STD. DWG. 2236.
  2. CONSTRUCT DRAINAGE SWALE PER DETAIL THIS SHEET.
  3. CONSTRUCT 4-INCH WIDE PCC CURB.
  4. ROOF DISCHARGE AT THIS POINT THROUGH GUTTER SYSTEM.
  5. LANDSCAPED AREAS. SEE ARCHITECTURAL FOR DETAILS.

**GENERAL NOTES**

1. THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 0.5' INTERVALS; 2) PROPOSED GRADES INDICATED BY CONTOURS AT 0.5' INTERVALS; 3) EXISTING AND PROPOSED DRAINAGE PATTERNS; 4) PROPOSED CONTOUR LINES, SPOT ELEVATIONS, AND FLOW ARROWS, AND 5) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.
2. THE GENERAL CONCEPT OF THIS GRADING PLAN IS TO DIRECT RUNOFF FROM THE PROJECT TO THE OFF-SITE BASIN. THE DRAINAGE PATTERNS AND FLOW ARROWS INDICATED ON THIS PLAN ARE SHOWN IN GENERAL LOCATION ONLY. SEE ARCHITECTURAL SITE PLAN FOR ACTUAL LOCATIONS.
3. THE PROPOSED FEATURES ON THIS PLAN ARE SHOWN IN GENERAL LOCATION ONLY. SEE ARCHITECTURAL SITE PLAN FOR ACTUAL LOCATIONS.
4. THE PROJECT BENCHMARK FOR THE TOPOGRAPHIC SURVEY IS THE ASSUMED CORNER OF THE INTERSECTION OF WASHINGTON STREET AND COOPER STREET, NE TO THE WEST OF THE PROPERTY. THE OTHER DIRECTION IS TO AN EXISTING ALLEY TO THE EAST OF THE PROPERTY.
5. THE PROPOSED GRADING PLAN IS BASED ON THE ASSUMPTION THAT THE ACTUAL BOUNDARY SURVEY WAS PERFORMED FOR THIS SURVEY. BOUNDARY LINES SHOWN ON THE GRADING PLAN ARE APPROXIMATE AND THE LOCATIONS OF THESE BOUNDARY LINES WERE PROVIDED BY THE OWNER.
6. CONTRACTOR SHALL OBTAIN A TOPSOIL DISTURBANCE PERMIT BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL PREPARE EROSION CONTROL MEASURES TO PREVENT EROSION AND SEDIMENT FROM THESE AREAS.
7. ANY WORK WITHIN THE COA RIGHT-OF-WAY, AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
8. CONSTRUCTION OF THE SIDEWALK CULVERT DRAIN SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
9. CONTRACTOR SHALL CONTACT UTILITY SERVICE (280-1980) FOR LOCATION OF EXISTING UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO ANY EXCAVATION.
10. BACKFILL COMPACTION FOR THE SIDEWALK CULVERT DRAIN SHALL BE ACCORDING TO RESIDENTIAL STREET USE. DRAIN SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

**LEGEND**

	BASIN BOUNDARY
	FLOW ARROW
	WATER BLOCK
	GRADE LINE
	SPOT ELEVATION
	PAVEMENT PCC
	PCC S/W OR FLATWORK
	EXIST. SPOT ELEV.
	EXIST. AC PAVEMENT
	EXIST. PCC S/W
	EXIST. CMU WALL
	EXIST. CHAINLINK FENCE
	PROPERTY LINE

**HYDROLOGY CALCULATIONS**

EXISTING CONDITIONS: THE SITE CONSISTS OF APPROXIMATELY 0.219 ACRES OF UNDEVELOPED LAND ON JEFFERSON STREET JUST NORTH OF GRAND AVENUE IN A RESIDENTIAL NEIGHBORHOOD. THE LOT IS NOT IN A FLOOD ZONE (SEE ATTACHED FLOOD ZONE MAP). THE LAND TREATMENT IS TYPE C, COMPACTED SOILS WITH SLOPES LESS THAN 10 PERCENT WITH LITTLE OR NO VEGETATION. THE EXISTING RUNOFF RATE IS 0.68 CFS (SEE ATTACHED CALCULATIONS). DOWNSTREAM CAPACITY WAS NOT CHECKED FOR THESE CALCULATIONS SINCE THE SITE IS AN UNDEVELOPED LOT WITH SMALL OFF-SITE BASIN CONTRIBUTES MINOR FLOWS TO THE SITE. THIS BASIN IS LOCATED TO THE SOUTH AND GENERATES APPROXIMATELY 0.03 CFS (SEE CALCULATIONS BELOW). THIS FLOW WILL MOVE ACROSS THE SITE AND OUT THE SIDEWALK CULVERT.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS CONSIST OF A TRIPLE EX APARTMENT PAVING, AND LANDSCAPING. SPECIFIC DETAILS FOR THE IMPROVEMENTS WILL BE SUBMITTED WITH THE PERMIT APPLICATION. THE IMPROVEMENTS WILL CONSIST OF TYPE D (BUILDING AND PAVING) AND TYPE B (LANDSCAPING). THE SITE WILL DRAIN TO A PCC DRAINAGE SWALE AT THE NORTHEAST CORNER OF THE NEW PARKING AREA. THIS SWALE WILL DRAIN TO JEFFERSON STREET THROUGH A NEW SIDEWALK CULVERT. THE DEVELOPED PEAK RUNOFF RATE WILL BE 0.83 CFS (SEE ATTACHED CALCULATIONS).

CALCULATIONS: ALL CALCULATIONS USE SECTION 22.2 HYDROLOGY SECTION OF THE CITY OF ALBUQUERQUE DESIGN PROCESS MANUAL (JANUARY, 1983).

PRECIPITATION ZONE: 2 (TBL A-1, PG A-1)  
P-360: 2.35 INCHES (TBL A-2, PG A-2)

EXISTING CONDITIONS RUNOFF RATE

ON-SITE:  
AREA (TYPE D): 9300 SQ. FT. / 43,980 SQ. FT. PER ACRE = 0.219 ACRES  
PEAK DISCHARGE: 0.219 ACRES X 3.49 CFS/ACRE = 0.76 CFS

OFF-SITE:  
AREA (TYPE B): 484 SQ. FT. / 43,980 SQ. FT. PER ACRE = 0.011 ACRES  
PEAK DISCHARGE: 0.011 ACRES X 2.28 CFS/ACRE = 0.03 CFS

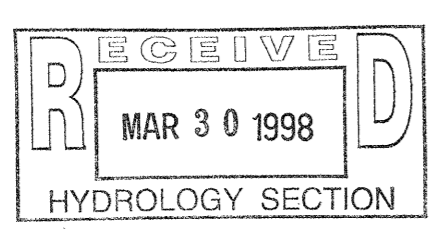
DEVELOPED CONDITIONS RUNOFF RATE

ON-SITE:  
AREA (TYPE B): 3443 SQ. FT. / 43,980 SQ. FT. PER ACRE = 0.079 ACRES  
PEAK DISCHARGE: 0.079 ACRES X 2.28 CFS/ACRE = 0.18 CFS

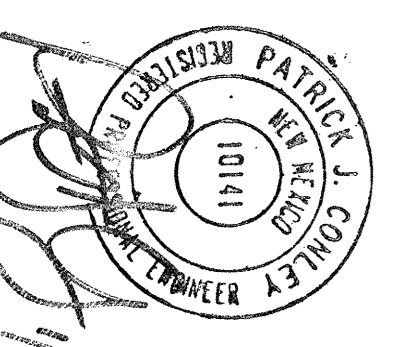
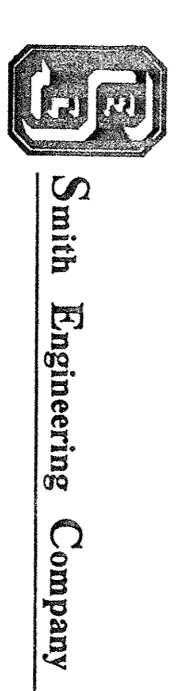
AREA (TYPE D): 6057 SQ. FT. / 43,980 SQ. FT. PER ACRE = 0.139 ACRES  
PEAK DISCHARGE: 0.139 ACRES X 4.70 CFS/ACRE = 0.65 CFS

OFF-SITE: SAME AS FOR UNDEVELOPED CONDITIONS

TOTAL PEAK DISCHARGE FROM IMPROVEMENTS: 0.83 CFS (ON-SITE) + 0.03 CFS (OFF-SITE) = 0.86 CFS



**THREE UNIT APARTMENT FOR MRS. A.G. ELSIK DRAINAGE PLAN**



APPROVALS	NAME	DATE
Hydrology		
Inspector		
A.C.E./Field		
Permit Number		

DESIGNED:	SCALE:
PJC	1" = 10'
DRAWN:	PROJECT NUMBER:
FSC	196616
CHECKED:	DRAWING NUMBER:
PJC	GD-1
APPROVED:	DATE:
PJC	6/92

RECORD DRAWING  
THIS DRAWING HAS BEEN REVISED USING INFORMATION PROVIDED BY SCANNELL SURVEYING, INC. TO REFLECT THE AS-BUILT ELEVATIONS FOR THE PROJECT. THE AS-BUILT ELEVATIONS ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING PLAN.  
PATRICK J. CONLEY, PE, NM 10141