



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 26, 1998

Jackie McDowell
7820 Beverly Hills Ave. NE
Albuquerque, New Mexico 87122

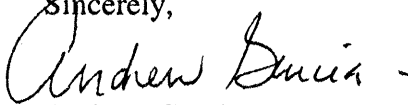
**RE: ENGINEER CERTIFICATION FOR AZTEC ANIMAL BUILDING(K-17/D79)
ENGINEER CERTIFICATION STATEMENT DATED 5/18/98**

Dear Mrs. McDowell:

Based on the information provided on your May 19, 1998 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of any further assistance, please feel free to contact me at 924-3330.

C: File

Sincerely,

Andrew Garcia
Drainage Inspector

Jennifer 857 0850

DRAINAGE INFORMATION SHEET

PROJECT TITLE: AZTEC ANIMAL BLDG. ZONE ATLAS/DRNG. FILE #: K-17/D79

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT C, BLOCK 24, MESA GRANDE ADDITION

CITY ADDRESS: ZUNI ROAD SE

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC. CONTACT: JACKIE MCDOWELL

ADDRESS: 7820 BEVERLY HILLS AVE. NE PHONE: 828-2430

OWNER: AZTEC ANIMAL CLINIC CONTACT: SUSAN TRUESDELL

ADDRESS: _____ PHONE: _____

ARCHITECT: IN-SITE ARCHITECTS CONTACT: MARK BAEZEK

ADDRESS: 57 ROCK POINT PL. NE PHONE: 858-0100

SURVEYOR: PRECISION SURVEYS, INC. CONTACT: LARRY MEDRANO

ADDRESS: 2929 COORS BLVD. NW PHONE: 839-0569

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAIN. PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER _____

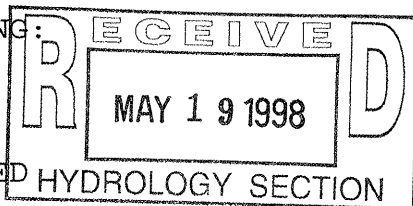
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S.DEV PLAN FOR SUB'D APPROVAL
☐ S.DEV PLAN FOR BLDG PMT APPR.
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERT. OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

☐ YES

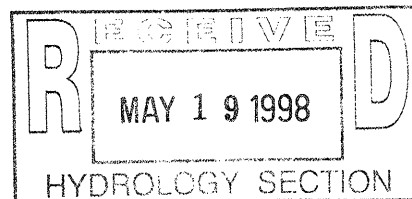
☒ NO

☐ COPY PROVIDED



DATE SUBMITTED: MAY 18, 1998

BY: JACKIE S. MCDOWELL, P.E.



- GENERAL GRADING NOTES:
1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BE THE OWNER.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DIST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
 4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK.
 5. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
 6. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 7. TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 8. CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
 9. THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
 10. ALL DISTURBED AREAS ON THE LOT SHALL BE RESEEDED WITH NATIVE SEEDING MATERIAL.
 11. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTAL) TO 1 FOOT (VERTICALLY)
 12. AREAS DISTURBED DUE TO GRADING SHALL BE RESEEDED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, C.A.E.

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One building is proposed for the subject property with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 0.51 acre site is undeveloped. The site is bounded on the north by Zuni Road, on the east by a small office building and parking lot, on the south by existing lots and on the west by the proposed building. The site slopes slightly to the north with the south end of the site approximately 10 feet higher than the north. Vegetation on the site consists of weeds, grasses, and occasional acaci. There is a small amount of trash and debris scattered across the site. As shown by the FEMA Map Panel No. 353, dated 1996, the site is not located in a 100-year floodplain. Zuni Road is shown as being in a 100-year floodplain, but the City has installed storm drainage improvements (AMDS Systems 212-01B and 210-01A) which have eliminated the floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:

As shown by the plan, the building site is located at the northern end of the lot. On site flows will drain around the structure and flow to the north. All roof drainage will discharge from the roof to the lot and be directed around the structure to existing drainage routes. All developed storm runoff, except the south parking lot will be gathered at the north end of the site and be collected by a new inlet which will be connected to the back of an existing inlet in Zuni Road. Access will be taken from Valverde Drive.

Supplemental calculation have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:

Treatment A = 0.51 acres

Proposed Treatment Types:

Treatment A = 0.00 acres
Treatment B = 0.20 acres
Treatment C = 0.00 acres
Treatment D = 0.31 acres

Using the values above produces the following storm water flows and volumes:

Existing 100-year Flow = 0.80 cfs
Proposed 100-year Flow = 1.91 cfs

Existing 100-year Volume = 981 cu. ft.
Proposed 100-year Volume = 2352 cu. ft.

PROPERTY ADDRESS:

Zuni Road SE

TOPOGRAPHY:

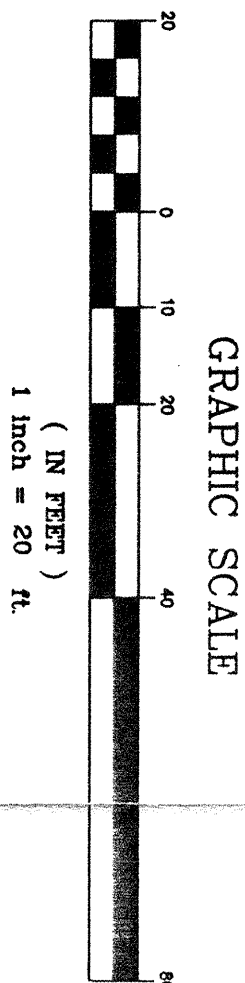
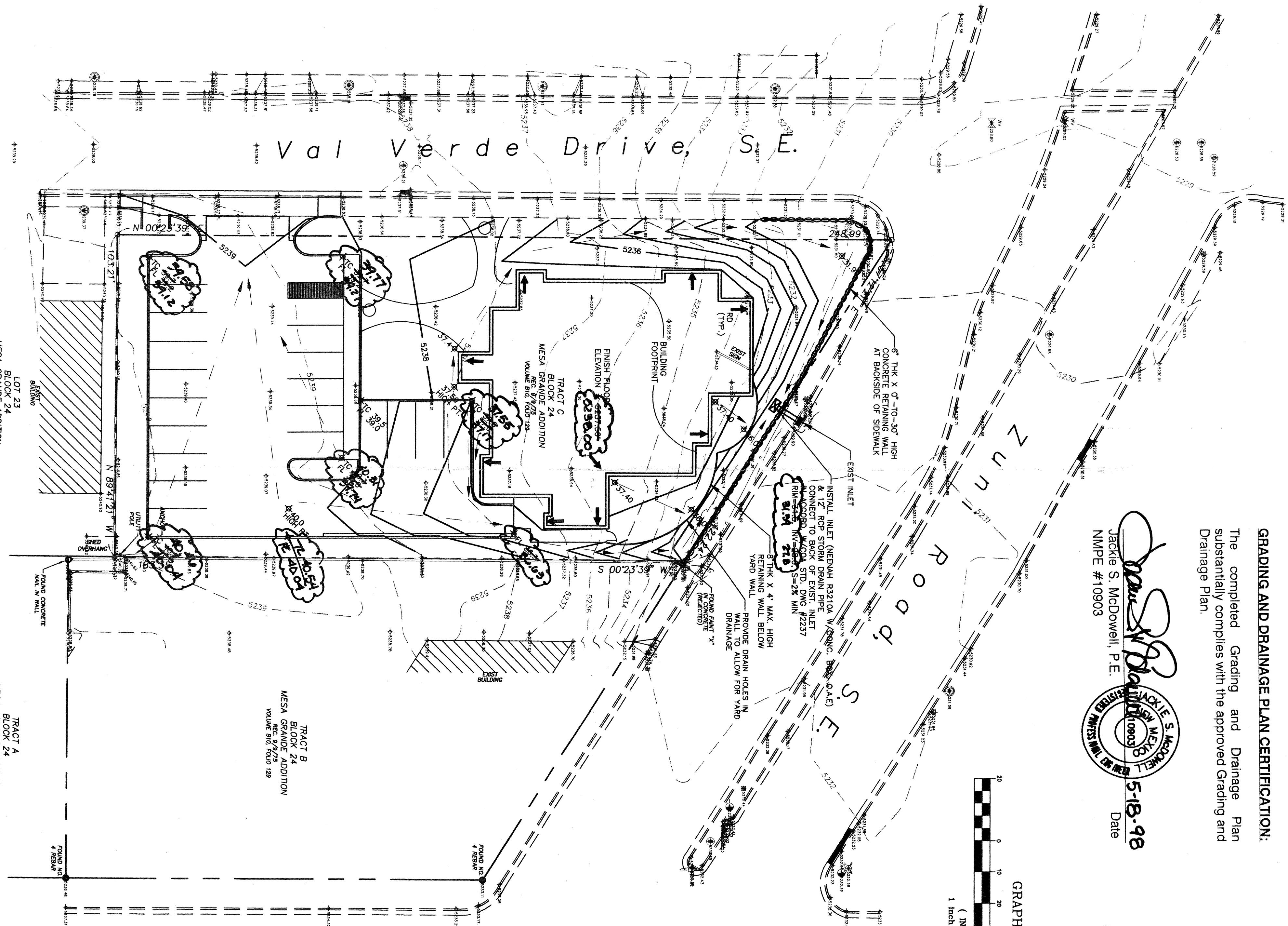
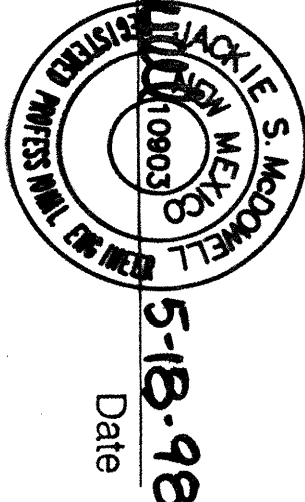
Topographic information provided by Precision Surveys, Inc., dated April, 1997.

GRADING
11-5-97
JSM
AZT0197L

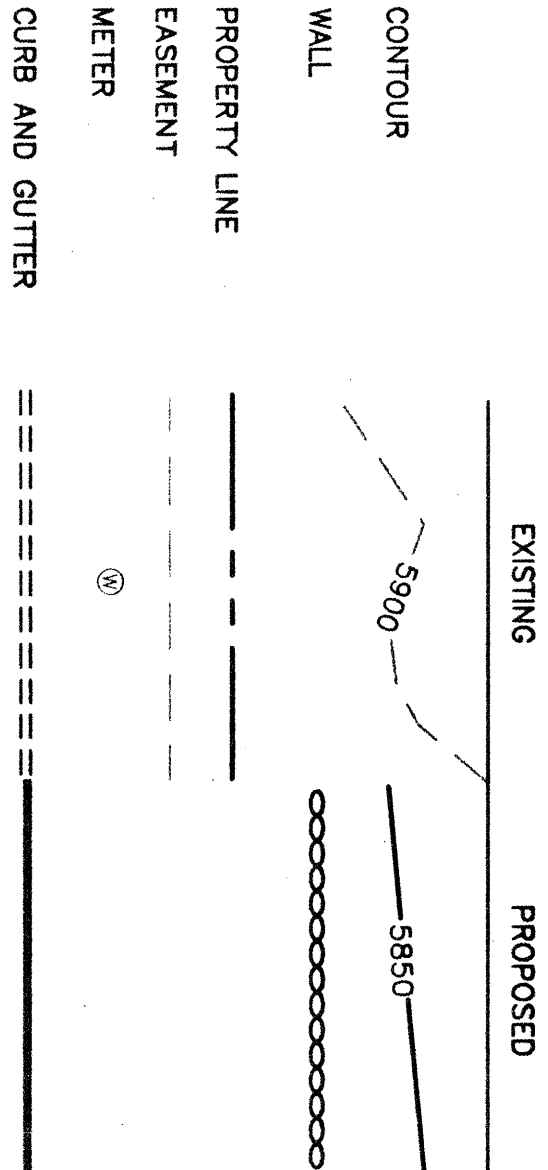
GRADING AND DRAINAGE PLAN CERTIFICATION:

The completed Grading and Drainage Plan substantially complies with the approved Grading and Drainage Plan.

Jackie S. McDowell, P.E.
Jackie S. McDowell, P.E.
NMPE # 10903
Date 5-18-98



LEGEND



AS-BUILT

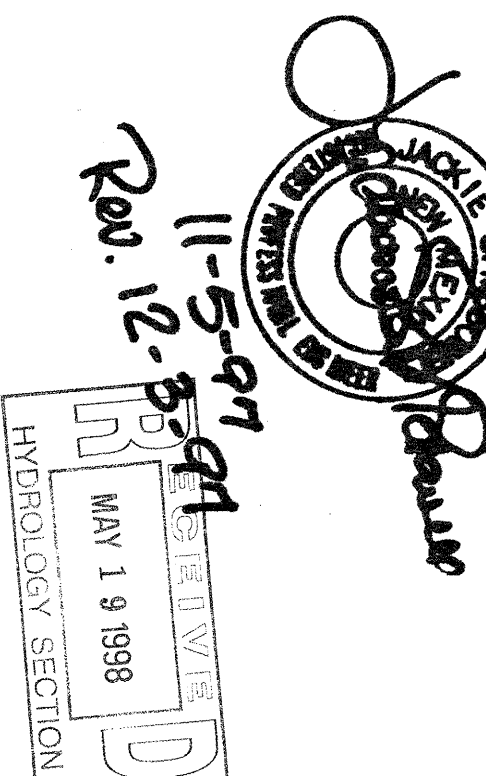
S.O. 19 NOTES

- NOTICE TO CONTRACTOR
1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
 2. All work detailed on these plans to be performed, except as otherwise stated or approved by the City of Albuquerque Interim Standard Specifications for Public Works Construction, 1986 as amended through the latest edition.
 3. Two working days prior to any excavation, contractor must contact New Mexico One Call System, 260-1990, for location of existing utilities.
 4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 5. Backfill compaction shall be according to _____ street use.
 6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY		
DESIGN APPROVAL	Hydrology Section	Date
INSPECTION APPROVAL	Towns/Street Maint.	Date
ACCEPTANCE	Construction Mgt. Div.	Date

ROUTE AS-BUILT DWG. TO MAPS AND RECORDS

ROUTE 1-COPY OF AS-BUILT TO HYDROLOGY SECTION



BERNALILLO COUNTY

NEW MEXICO

TRACT C, BLOCK 24
MESA GRANDE ADDITION

AZTEC ANIMAL CLINIC GRADING & DRAINAGE PLAN

McDowell Engineering Inc.

Designed JSM	Drawn STAFF	Checked JSM	Street	of	1
File	Date	NOVEMBER, 1997			