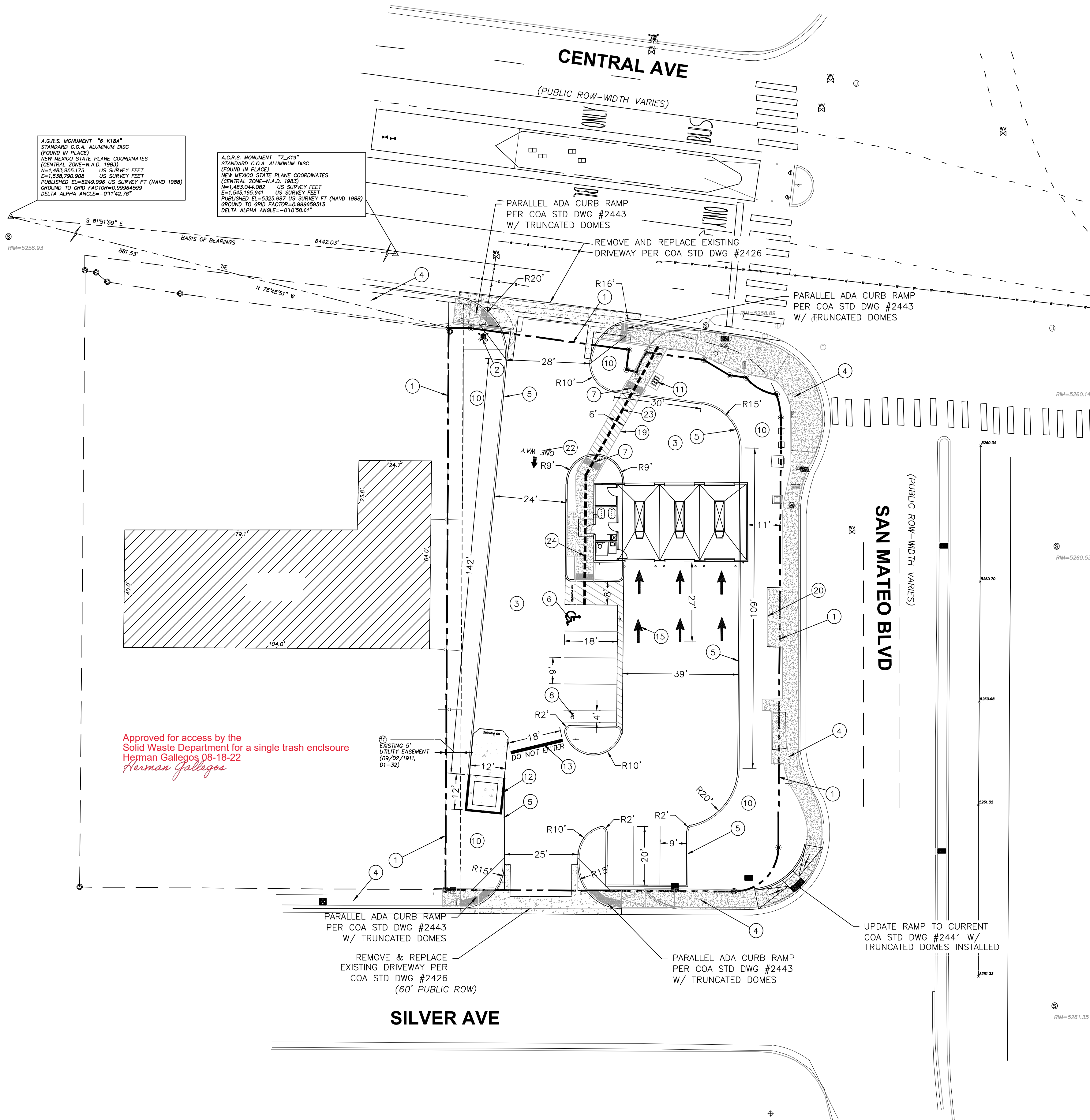


Z:\2022\2022079 Central Drive-Thru Oil Change.dwg Construction\2022079 TCL.dwg Aug 15, 2022 - 4:16pm

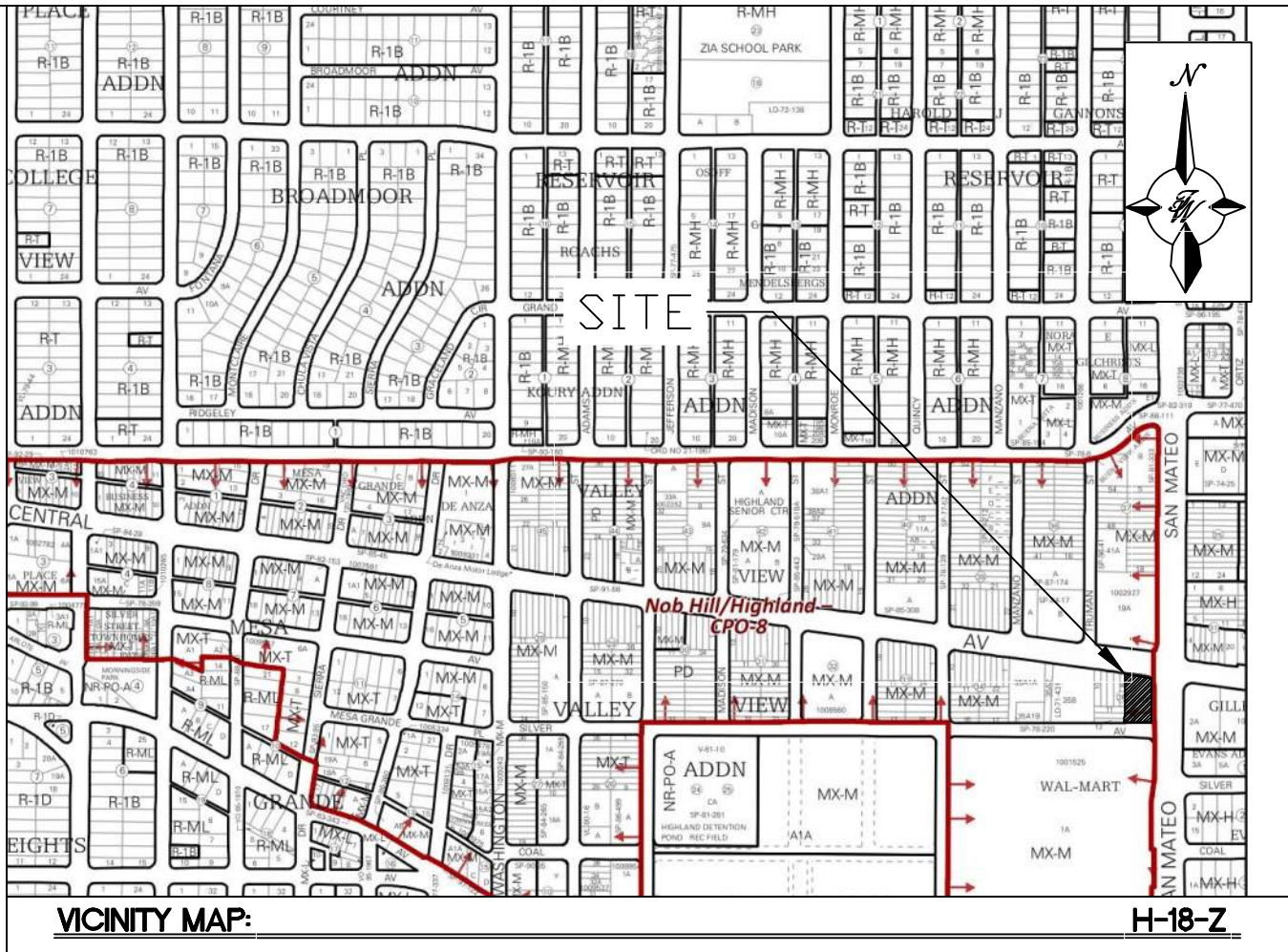
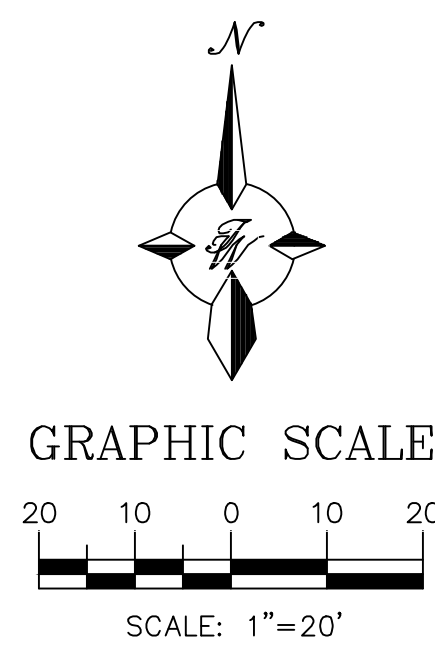


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING

KEYED NOTES

- EXISTING PROPERTY LINE
- EXISTING FIRE HYDRANT
- SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C5.1)
- EXISTING SIDEWALK
- HEADER CURB (SEE DETAIL, SHEET C5.1)
- ADA PARKING (SEE DETAIL, SHEET C5.1)
- ADA PARALLEL CURB RAMP PER COA STD DWG #2443 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C5)
- MOTORCYCLE PARKING ADD PAINT LABEL PER COA CODE
- MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C2)
- LANDSCAPE AREA
- BIKE RACK (SEE DETAIL, SHEET C5)
- DUMPSTER (REFER ARCHITECTURAL DUMPSTER DETAIL)
- "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C5)
- "DO NOT ENTER" SIGNAGE (SEE DETAIL, SHEET C5)
- TRAFFIC ARROWS (SEE DETAIL, SHEET C5)
- CURB NOTCH (REFER TO GRADING PLANS)
- SIDEWALK CULVERT PER COA STD DWG #2236
- SIDEWALK PER COA STD #2430 (SEE DETAIL, SHEET C5)
- PEDESTRIAN CROSSWALK (SEE DETAIL, SHEET C5)
- EXISTING BUS STOP BENCH
- "ONE WAY" R6-1R SIGNAGE (SEE DETAIL, SHEET C5)
- "ONE WAY" STRIPING (SEE DETAIL, SHEET C5)
- ADA PUBLIC ACCESS PATHWAY
- ADA PARKING ACCESSIBLE PATHWAY



LEGAL DESCRIPTION:

LT 16A EXCL PORT OUT TO R/W PLAT OF LTS 16A BLK 36VALLEY VIEW
ADDN SEC 23 11ON R3E CONT 0.496 AC

SITE DATA

PROPOSED USAGE:	LIGHT VEHICLE REPAIR
LOT AREA:	21,605 SF (0.496AC)
ZONING:	MX-M
BUILDING AREA:	1,412 SF
PARKING REQUIRED:	2 SPACES (1 SPACE PER 1,000 SF)
PARKING PROVIDED:	7 SPACES (INCLUDING HC)
HC PARKING REQUIRED:	1 SPACES (1 SPACE PER 1-25 PARKING SPACES)
HC PARKING PROVIDED:	1 SPACES
MC PARKING REQUIRED:	1 SPACES (1 SPACE PER 1-25 PARKING SPACES)
MC PARKING PROVIDED:	1 SPACES
BICYCLE PARKING REQUIRED:	3 SPACES (3 SPACES PER SITE)
BICYCLE PARKING PROVIDED:	3 SPACES
LANDSCAPE AREA REQUIRED:	3,030 SF (15%)
LANDSCAPE AREA PROVIDED:	6,439 SF

NOTES

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
- ALL SYMBOLS AND ARROWS STRIPING TO BE PERFORMED HOT APPLIED THERMOPLASTIC TAPE.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS

ISSUED FOR DRB ONLY

ENGINEER'S SEAL	CENTRAL TAKE 5 OIL CHANGE 5210 CENTRAL AVE SE TRAFFIC CIRCULATION LAYOUT	DRAWN BY SB
		DATE 8/15/2022
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022079 TCL
		SHEET # C1
		JOB # 2022079

NOTES

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

SITE DATA
5210 CENTRAL AVE. N.M. 87108
BUILDING FOOTPRINT = 1,412 S.F.
OCCUPANCY TYPE = B
CONSTRUCTION TYPE = V-B
NON-SPRINKLED
FIRE FLOW = 1,500 GPM

KEYED NOTES

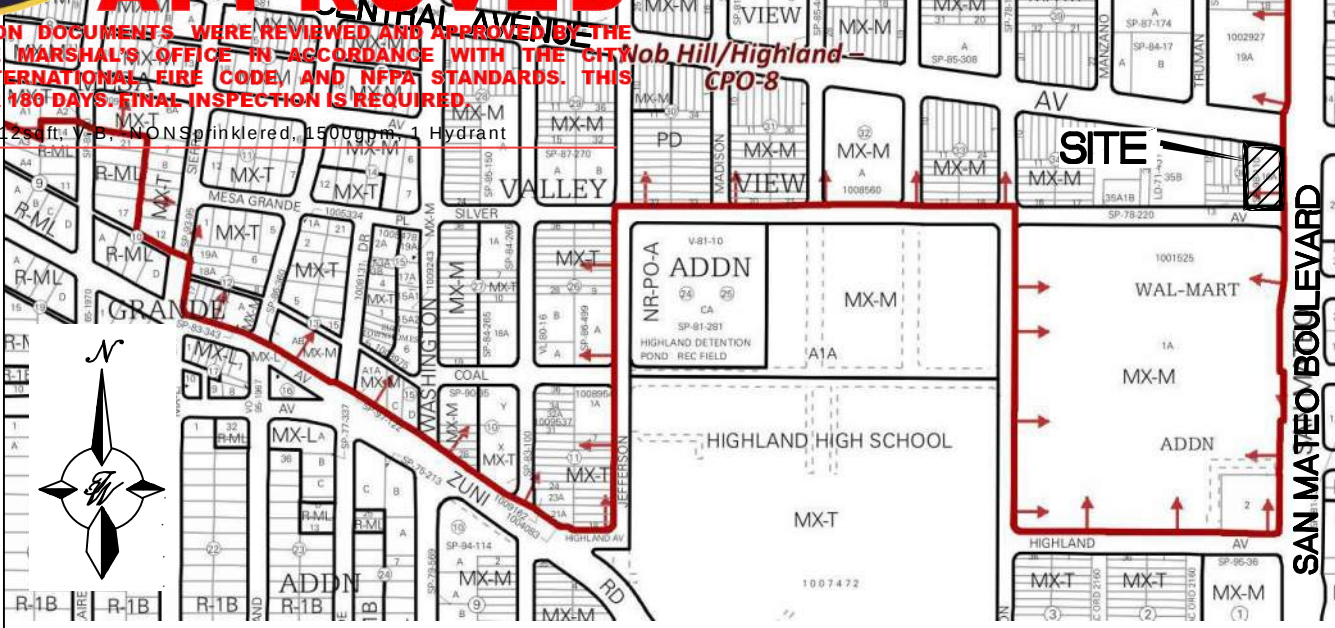
- EXISTING FIRE HYDRANT
- KNOX BOX
- BUILDIPREMISE 10 LOCATION
- FIRE LANE MARKING
- FDC
- NON PRESSURIZED CONNECTION
- 8" PUBLIC GATE VALVE
- 8" PRIVATE GATE VALVE
- NEW PRIVATE FIRE HYDRANT

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY
- FIRE ACCESS
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OF FIRE PLANS
CHECKING DIVISION
PERMIT
APPROVED
PERMIT NUMBER: F-22-001140
APPROVED DATE: 08/06/22
THESE CONSTRUCTION MODIFICATIONS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE AND NFPA STANDARDS. THIS PERMIT IS VALID FOR THE CITY OF ALBUQUERQUE, NEW MEXICO.

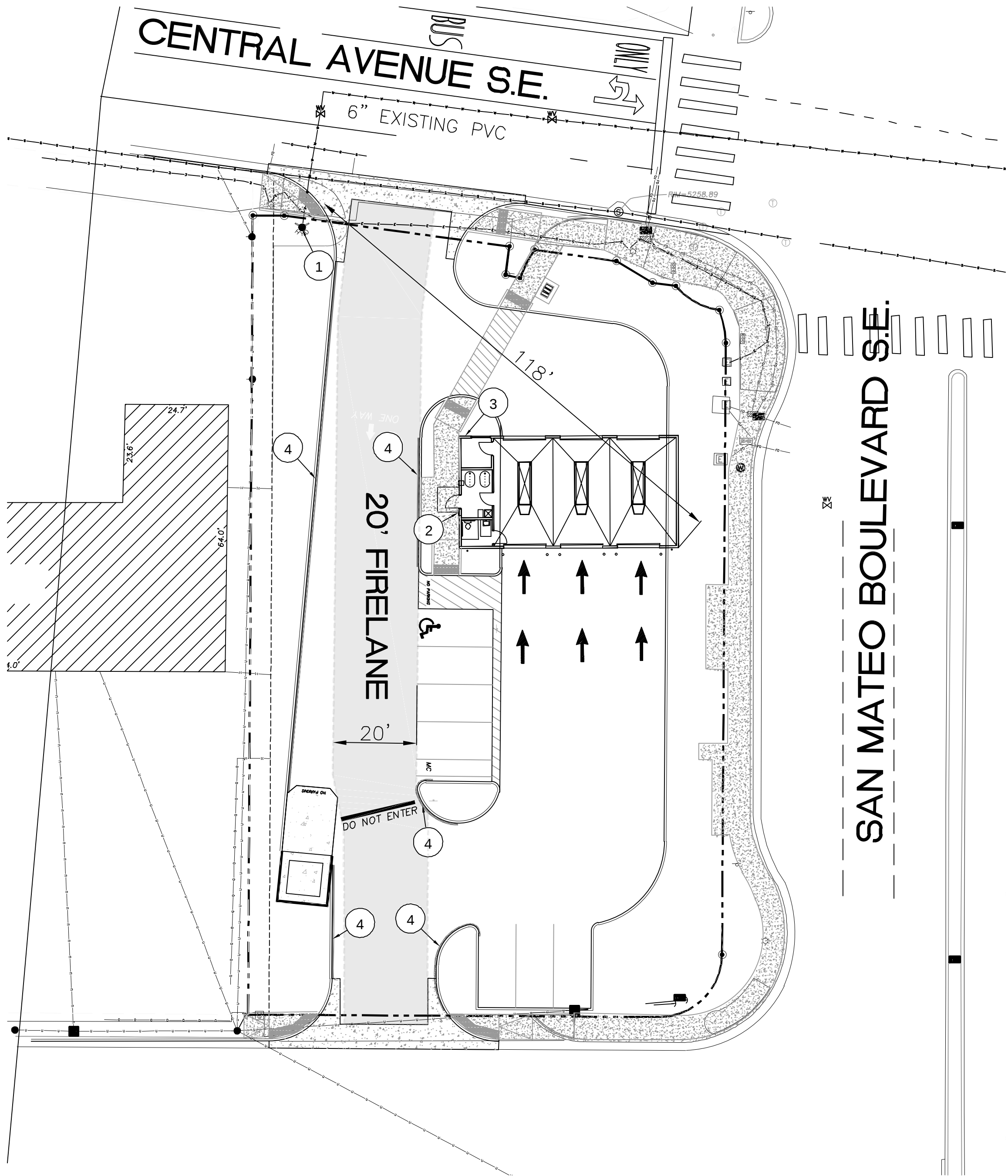


VICINITY MAP:

K-17-Z

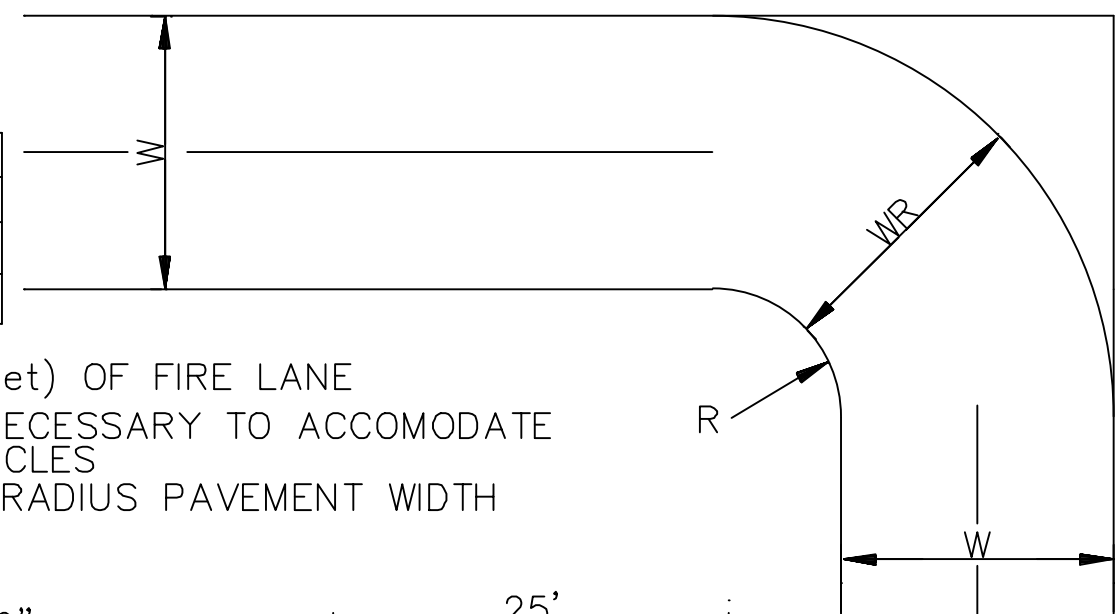
LEGAL DESCRIPTION:

LOT 16A EXCL PORT OUT TO R1W PLAT OF LT'S 16A, BLK 36 VALLEY VIEW ADN. SEC 23 T10N R3E CONT. 0.496 AC.



W	R	WR
20'	30'	30'MIN.
25'	20'	30'MIN.
30'	10'	30'MIN.

W = WIDTH (feet) OF FIRE LANE
R = RADIUS NECESSARY TO ACCOMMODATE FIRE VEHICLES
WR = TURNING RADIUS PAVEMENT WIDTH

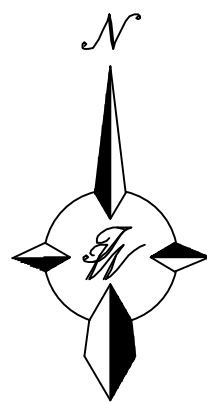


NO PARKING FIRE LANE **NO PARKING FIRE LANE**

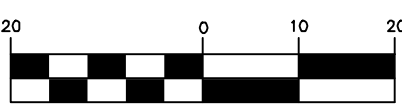
FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON THE TOP EDGE OF THE SIDEWALK ABUTTING THE PAVED DRIVE OR AS SPECIFIED BY LOCAL REQUIREMENTS.

NO PARKING FIRE LANE **NO PARKING FIRE LANE**

FIRE LANE MARKING
N.T.S.



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL	CENTRAL TAK5 5210 CENTRAL AVE. S.E.	DRAWN BY RMG
		FIRE 1 PLAN	DATE 08/08/2022
		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022079_FIRE ONE
			SHEET # F-1 JOB # 2022079



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: Central Take 5 Oil Change **Building Permit #:** _____ **Hydrology File #:** K17D080
Zone Atlas Page: K-17-Z **DRB#:** _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LT 16A EXCL PORT OUT TO R/W PLAT OF LTS 16A BLK 36VALLEY VIEW ADDN SEC 23 T10N R3E CONT 0.496 AC
City Address: 5210 CENTRAL AVE SE ALBUQUERQUE NM 87108

Applicant: Tierra West LLC **Contact:** Luis Noriega
Address: 5571 Midway Park Pl Albuquerque, NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** lnoriega@tierrawestllc.com

Development Information

Build out/Implementation Year: 2023 **Current/Proposed Zoning:** MX-M

Project Type: New: ☒ **Change of Use:** ☒ **Same Use/Unchanged:** () **Same Use/Increased Activity:** ()

Proposed Use (mark all that apply): Residential: () Office: () Retail: () Mixed-Use: ☒

Describe development and Uses:

New light vehicle repair station (Oil Change Station) (ite 941)

Days and Hours of Operation (if known): Monday - Saturday, 8 am - 6 pm.

Facility

Building Size (sq. ft.): 1,400 sf

Number of Residential Units: _____

Number of Commercial Units: 1

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* 48

Expected Number of Employees (if known):* 6

Expected Number of Delivery Trucks/Buses per Day (if known):* 1

Trip Generations during PM/AM Peak Hour (if known):* 5/6

Driveway(s) Located on: Street Name Central Ave & Silver Ave

Adjacent Roadway(s) Posted Speed: Street Name Central Ave Posted Speed 35 MPH

Street Name Silver Ave Posted Speed 18 MPH

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Arterial, Main Street Corridor
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Premium Transit Area Activity Center
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: ADT19 =15,128 Volume-to-Capacity Ratio: _____
(if applicable)

Adjacent Transit Service(s): ROUTE 140, 141, 66 Nearest Transit Stop(s): 20'

Is site within 660 feet of Premium Transit?: YES

Current/Proposed Bicycle Infrastructure: N/A
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: EXISTING

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒ Borderline []

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

 P.E.

8/1/2022

TRAFFIC ENGINEER

DATE