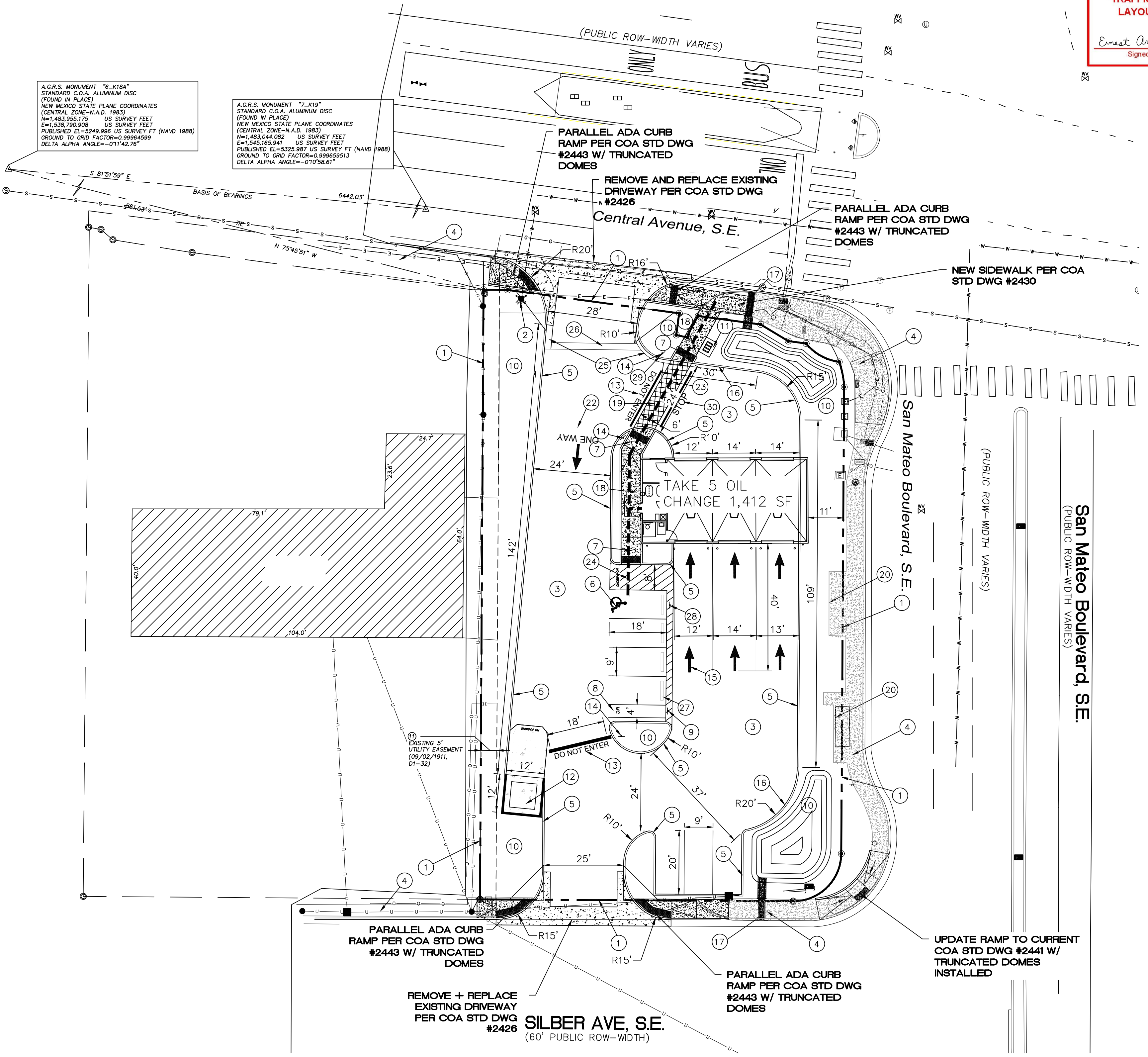


\\TNNAS\Z\_Drive\2022\2079\_Central Drive-Thru Oil Change.dwg\EPIC\2022\2079\_SPE.dwg Oct. 11, 2022 - 8:59am

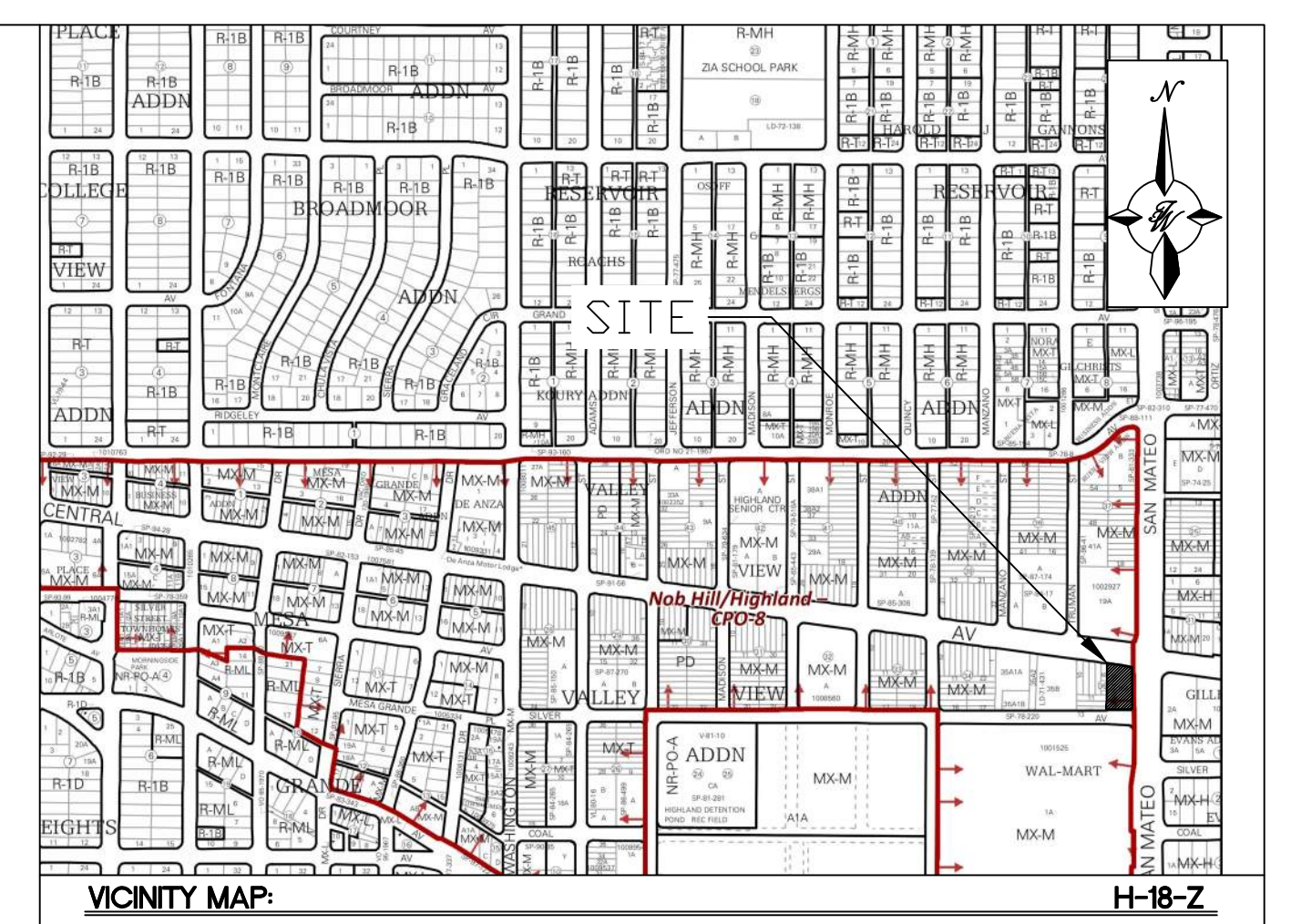
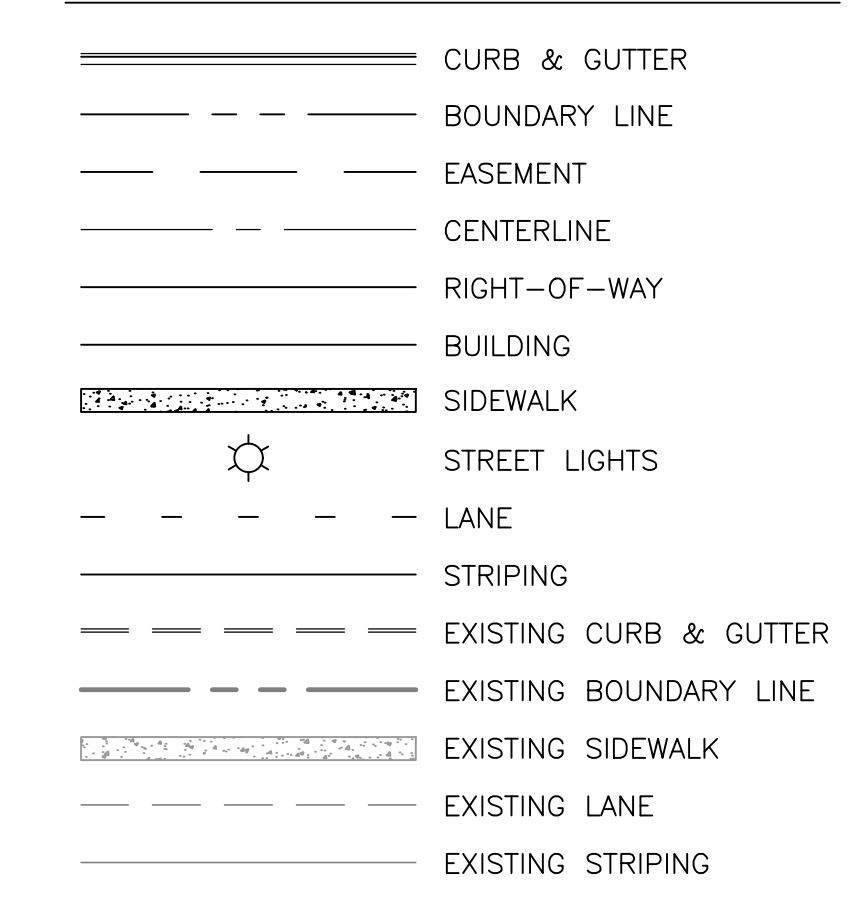
**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Ernest Armiyo 10/25/2022  
Signed Date



**KEYED NOTES**

- ① EXISTING PROPERTY LINE
- ② EXISTING FIRE HYDRANT TO REMAIN
- ③ SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C3.1)
- ④ EXISTING SIDEWALK TO REMAIN UNLESS OTHERWISE NOTED
- ⑤ HEADER CURB (SEE DETAIL, SHEET C3.1)
- ⑥ ADA PARKING (SEE DETAIL, SHEET C3.1)
- ⑦ ADA PARALLEL CURB RAMP PER COA STD DWG #2443 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C3.3)
- ⑧ MOTORCYCLE PARKING ADD PAINT LABEL PER COA CODE
- ⑨ MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C3.1)
- ⑩ LANDSCAPE AREA
- ⑪ BIKE RACK (SEE DETAIL, SHEET C3.1)
- ⑫ DUMPSTER ENCLOSURE (REFER ARCHITECTURAL DUMPSTER DETAIL) (SEE SHEET C3.2 FOR C.O.A MINIMUM REQUIREMENTS)
- ⑬ "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C3.2)
- ⑭ "DO NOT ENTER" SIGNAGE (SEE DETAIL, SHEET C3.2)
- ⑮ TRAFFIC ARROWS (SEE DETAIL, SHEET C3.2)
- ⑯ CURB NOTCH (REFER TO GRADING PLANS)
- ⑰ SIDEWALK CULVERT PER COA STD DWG #2236
- ⑱ SIDEWALK PER COA STD #2430
- ⑲ PEDESTRIAN CROSSWALK (SEE DETAIL, SHEET C3.2)
- ⑳ EXISTING BUS STOP BENCH TO REMAIN
- ㉑ "ONE WAY" R6-1R SIGNAGE (SEE DETAIL, SHEET C3.2)
- ㉒ "ONE WAY" STRIPING (SEE DETAIL, SHEET C3.2)
- ㉓ ADA PUBLIC ACCESS PATHWAY
- ㉔ ADA PARKING ACCESSIBLE PATHWAY
- ㉕ 6" PRIVATE CURB AND GUTTER (SEE DETAIL, SHEET C3.1)
- ㉖ ALLEY GUTTER (SEE DETAIL, SHEET C3.1)
- ㉗ WHEEL STOP (TYP) (SEE DETAIL, SHEET C3.1)
- ㉘ HANDICAP PARKING SIGN (SEE DETAIL, SHEET C3.1)
- ㉙ "STOP" SIGN (SEE DETAIL, SHEET C3.1)
- ㉚ "STOP" STRIPING (SEE DETAIL, SHEET C3.2)

**LEGEND**



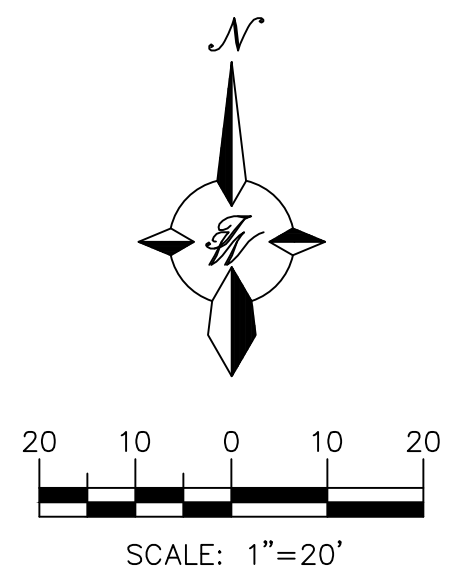
**VICINITY MAP:** H-18-Z

**LEGAL DESCRIPTION:**  
LT 16A EXCL PORT OUT TO R/W PLAT OF LTS 16A BLK 36VALLEY VIEW ADDN SEC 23 T10N R3E CONT 0.496 AC

**SITE DATA**

PROPOSED USAGE:	LIGHT VEHICLE REPAIR
LOT AREA:	21,605 SF (0.496AC)
ZONING:	MX-M
BUILDING AREA:	1,412 SF
PARKING REQUIRED:	2 SPACES (1 SPACE PER 1,000 SF)
PARKING PROVIDED:	7 SPACES (INCLUDING HC)
HC PARKING REQUIRED:	1 SPACES (1 SPACE PER 1-25 PARKING SPACES)
HC PARKING PROVIDED:	1 SPACES
MC PARKING REQUIRED:	1 SPACES (1 SPACE PER 1-25 PARKING SPACES)
MC PARKING PROVIDED:	1 SPACES
BICYCLE PARKING REQUIRED:	3 SPACES (3 SPACES PER SITE)
BICYCLE PARKING PROVIDED:	3 SPACES
LANDSCAPE AREA REQUIRED:	3,030 SF (15%)
LANDSCAPE AREA PROVIDED:	6,439 SF

- NOTES**
1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  2. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
  3. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
  4. ALL SYMBOLS AND ARROWS STRIPING TO BE PERFORMED HOT APPLIED THERMOPLASTIC TAPE.
  5. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
  6. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS



 ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 10/11/2022 RONALD R. BOHANNAN P.E. #7868	CENTRAL TAKE 5 ALBUQUERQUE, NM <b>TRAFFIC CIRCULATION LAYOUT PLAN</b>	DRAWN BY BF DATE 08/24/2022 2022079_SPE
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C2</b> JOB # 2022079

February 11, 2026

Marwa Al-najjar  
Development Review Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: APPROVED TRAFFIC CIRCULATION LAYOUT PLAN  
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY  
TAKE 5 OIL CHANGE, 5210 CENTRAL SE**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Traffic Layout Plan for issuance of Permanent Certificate of Occupancy for the project referenced above. This project area as highlighted on the attached Traffic Circulation Layout Plan is in substantial compliance as inspected on February 06, 2026, and is in general accordance with the design intent of the Approved Traffic Layout Plan dated 10/11/2022

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the as-built Approved Traffic Layout Plan. Therefore, we request approval of the as-built Approved Traffic Layout Plan and issuance of a Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

A handwritten signature in black ink, appearing to read "Ron R. Bohannon", written over a horizontal line.

Enclosure/s

02/11/2026

JN: 2022079  
RRB/JM/DS/ac

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 24, 2026

Ronald R. Bohannon, P.E.  
Tierra West  
5571 Midway Park Pl NE  
Albuquerque, NM 87110

**Re: Central Take 5  
5210 Central Ave SE  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection**  
Engineer's Stamp dated 06-03-24 (K09-D026D)  
Certification dated 10-11-2022  
TRANS-2026-00048

Dear Mr. Bohannon,

PO Box 1293

Based upon the information provided in your submittal received 02-12-26, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

NM 87103

- Please install Truncated Domes at the south east corner ramp of San Mateo Blvd and Silver Ave.
- Key note 14: please install the "DO NOT ENTER" sign at the exit of the one-way lane accordance with MUTCD standard.

www.cabq.gov

Once these corrections are complete, email the sidewalk easement and pictures to [malnajjar@cabq.gov](mailto:malnajjar@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services