

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

October 25, 2022

Ronald Bohannon, PE.  
Tierra Weat, LLC  
5571 Midway Park Pl. NE  
Albuquerque, NM 87109

**Re: Central Take 5**  
**5210 Central Ave. SE**  
**Traffic Circulation Layout**  
Engineer's Stamp 10-11-2022 (K17-D080)

Dear Mr. Bohannon,

The TCL submittal received 10-13-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Central Take 5 **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lt 16A EXCL PORT OUT TO R/W PLAT OF LTS 16A BLK 36 VALLEY VIEW ADDN SEC 23 TION R35  
**City Address Or UPC:** 5210 Central Ave SE Albuquerque, NM 87108/ UPC: 101705753016642912

**Applicant:** Tierra West, LLC **Contact:** \_\_\_\_\_  
**Address:** 5571 Midway Park Place NE Albuquerque NM 87109  
**Phone#:** 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

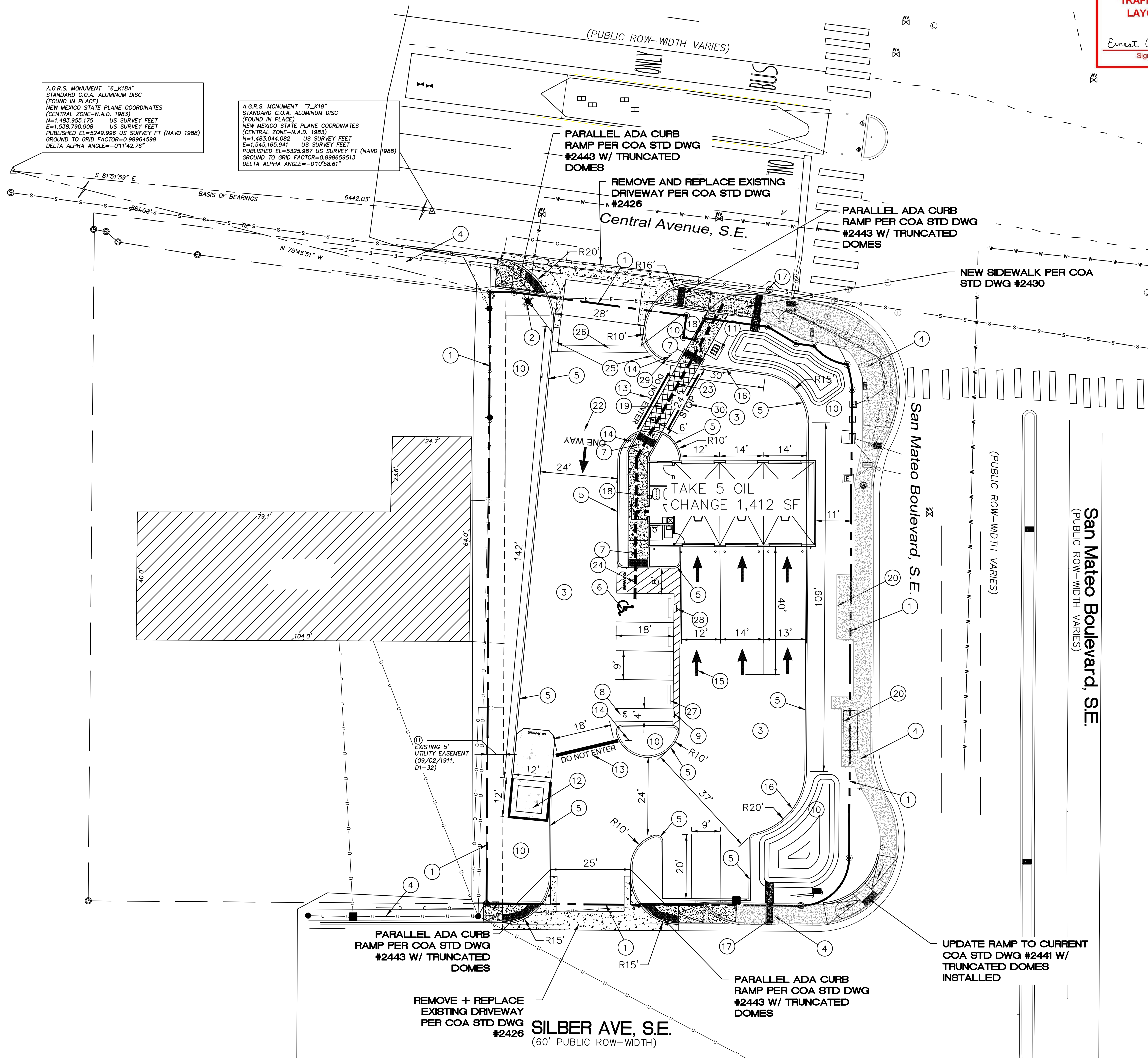
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 10.11.22 **By:** Luis Noriega

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

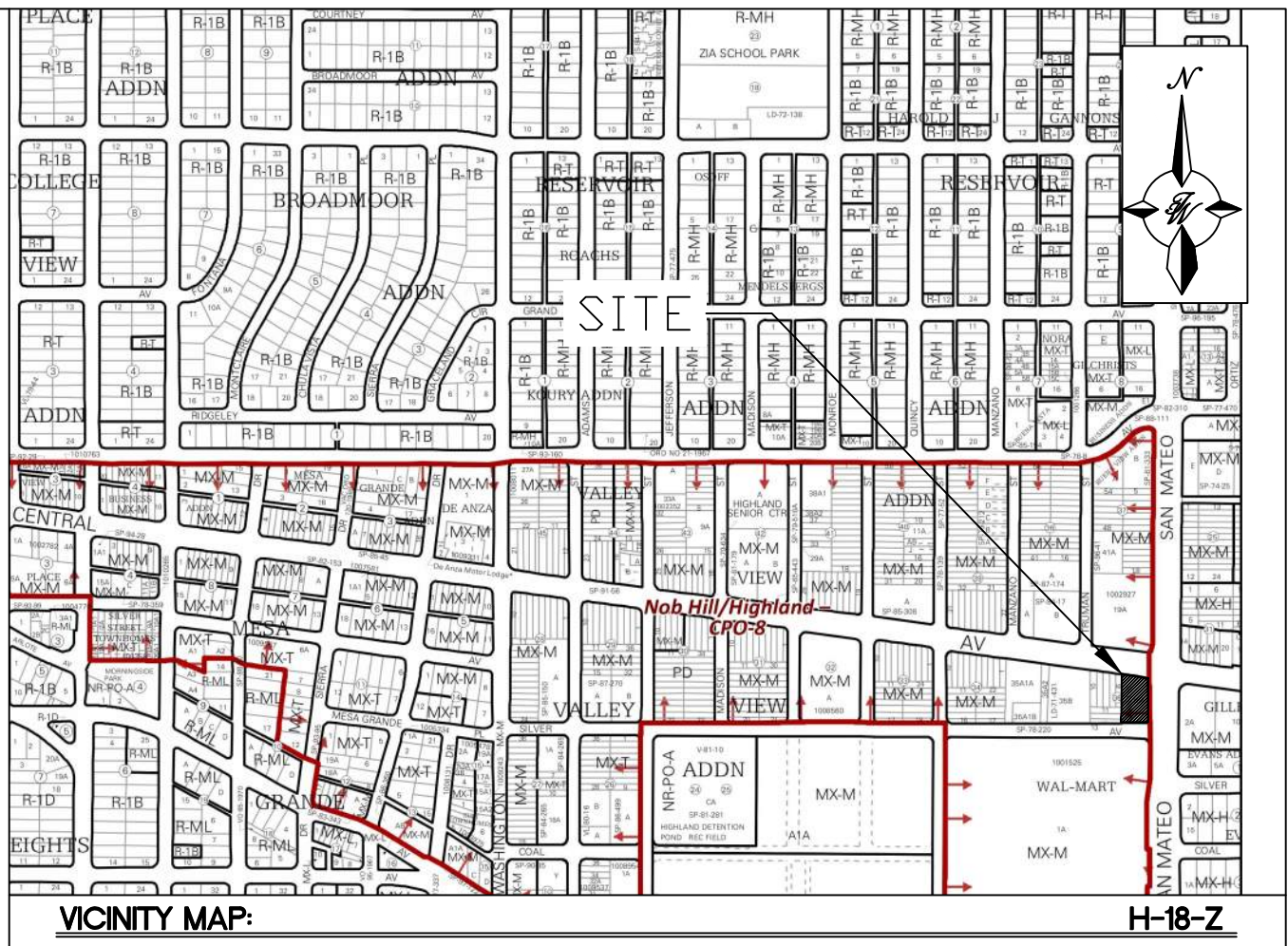
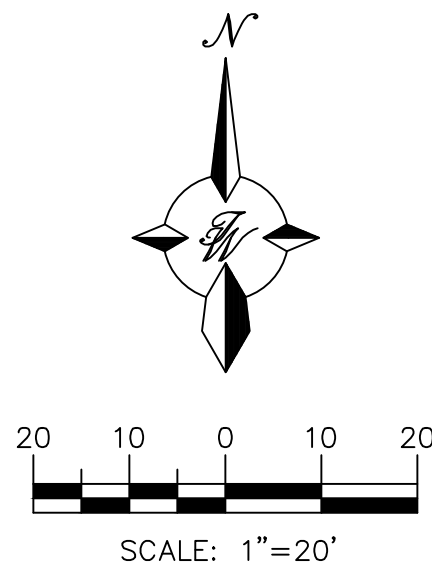


#### KEYED NOTES

- EXISTING PROPERTY LINE
- EXISTING FIRE HYDRANT TO REMAIN
- SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C3.1)
- EXISTING SIDEWALK TO REMAIN UNLESS OTHERWISE NOTED
- HEADER CURB (SEE DETAIL, SHEET C3.1)
- ADA PARKING (SEE DETAIL, SHEET C3.1)
- ADA PARALLEL CURB RAMP PER COA STD DWG #2443 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C3.3)
- MOTORCYCLE PARKING ADD PAINT LABEL PER COA CODE
- MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C3.1)
- LANDSCAPE AREA
- BIKE RACK (SEE DETAIL, SHEET C3.1)
- DUMPSTER ENCLOSURE (REFER ARCHITECTURAL DUMPSTER DETAIL) (SEE SHEET C3.2 FOR C.O.A MINIMUM REQUIREMENTS)
- "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C3.2)
- "DO NOT ENTER" SIGNAGE (SEE DETAIL, SHEET C3.2)
- TRAFFIC ARROWS (SEE DETAIL, SHEET C3.2)
- CURB NOTCH (REFER TO GRADING PLANS)
- SIDEWALK CULVERT PER COA STD DWG #2236
- SIDEWALK PER COA STD #2430
- PEDESTRIAN CROSSWALK (SEE DETAIL, SHEET C3.2)
- EXISTING BUS STOP BENCH TO REMAIN
- "ONE WAY" R6-1R SIGNAGE (SEE DETAIL, SHEET C3.2)
- "ONE WAY" STRIPING (SEE DETAIL, SHEET C3.2)
- ADA PUBLIC ACCESS PATHWAY
- ADA PARKING ACCESSIBLE PATHWAY
- 6" PRIVATE CURB AND GUTTER (SEE DETAIL, SHEET C3.1)
- ALLEY GUTTER (SEE DETAIL, SHEET C3.1)
- WHEEL STOP (TYP) (SEE DETAIL, SHEET C3.1)
- HANDICAP PARKING SIGN (SEE DETAIL, SHEET C3.1)
- "STOP" SIGN (SEE DETAIL, SHEET C3.1)
- "STOP" STRIPING (SEE DETAIL, SHEET C3.2)

#### LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	STREET LIGHTS
	LANE
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING



#### LEGAL DESCRIPTION:

LT 16A EXCL PORT OUT TO R/W PLAT OF LTS 16A BLK 36VALLEY VIEW ADDN SEC 23 T10N R3E CONT 0.496 AC

#### SITE DATA

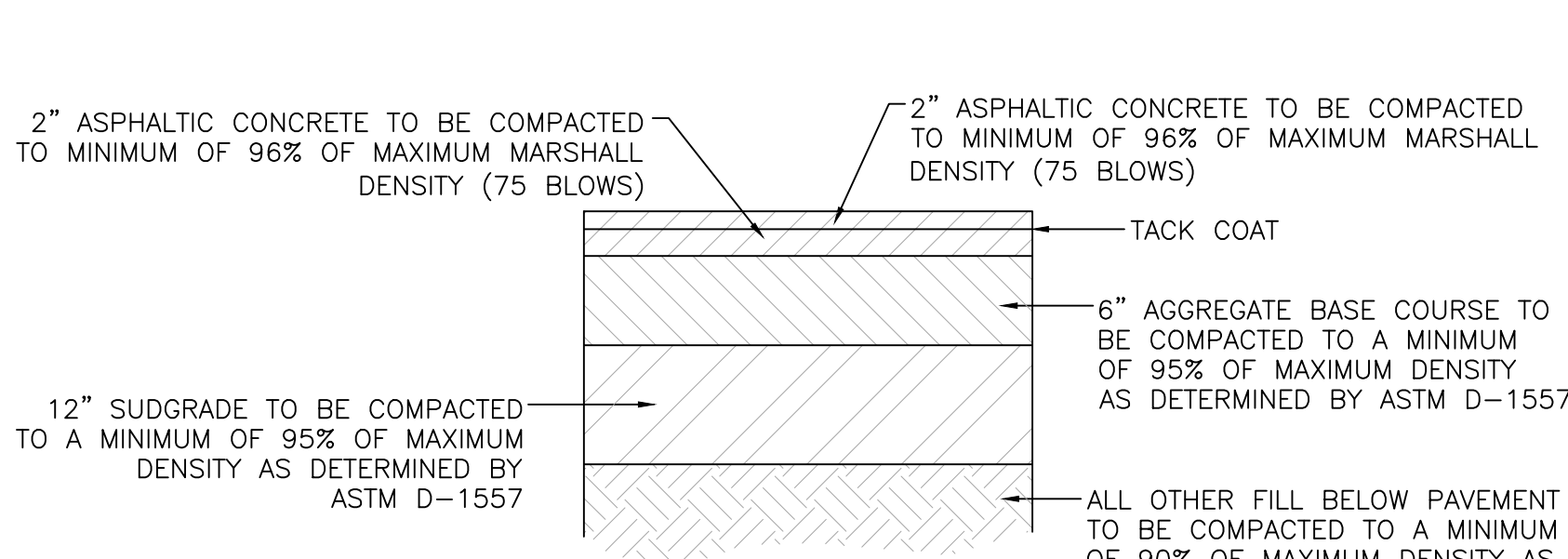
PROPOSED USAGE:	LIGHT VEHICLE REPAIR
LOT AREA:	21,605 SF (0.496AC)
ZONING:	MX-M
BUILDING AREA:	1,412 SF
PARKING REQUIRED:	2 SPACES (1 SPACE PER 1,000 SF)
PARKING PROVIDED:	7 SPACES (INCLUDING HC)
HC PARKING REQUIRED:	1 SPACES (1 SPACE PER 1-25 PARKING SPACES)
HC PARKING PROVIDED:	1 SPACES
MC PARKING REQUIRED:	1 SPACES (1 SPACE PER 1-25 PARKING SPACES)
MC PARKING PROVIDED:	1 SPACES
BICYCLE PARKING REQUIRED:	3 SPACES (3 SPACES PER SITE)
BICYCLE PARKING PROVIDED:	3 SPACES
LANDSCAPE AREA REQUIRED:	3,030 SF (15% )
LANDSCAPE AREA PROVIDED:	6,439 SF

#### NOTES

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
- ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
- ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS

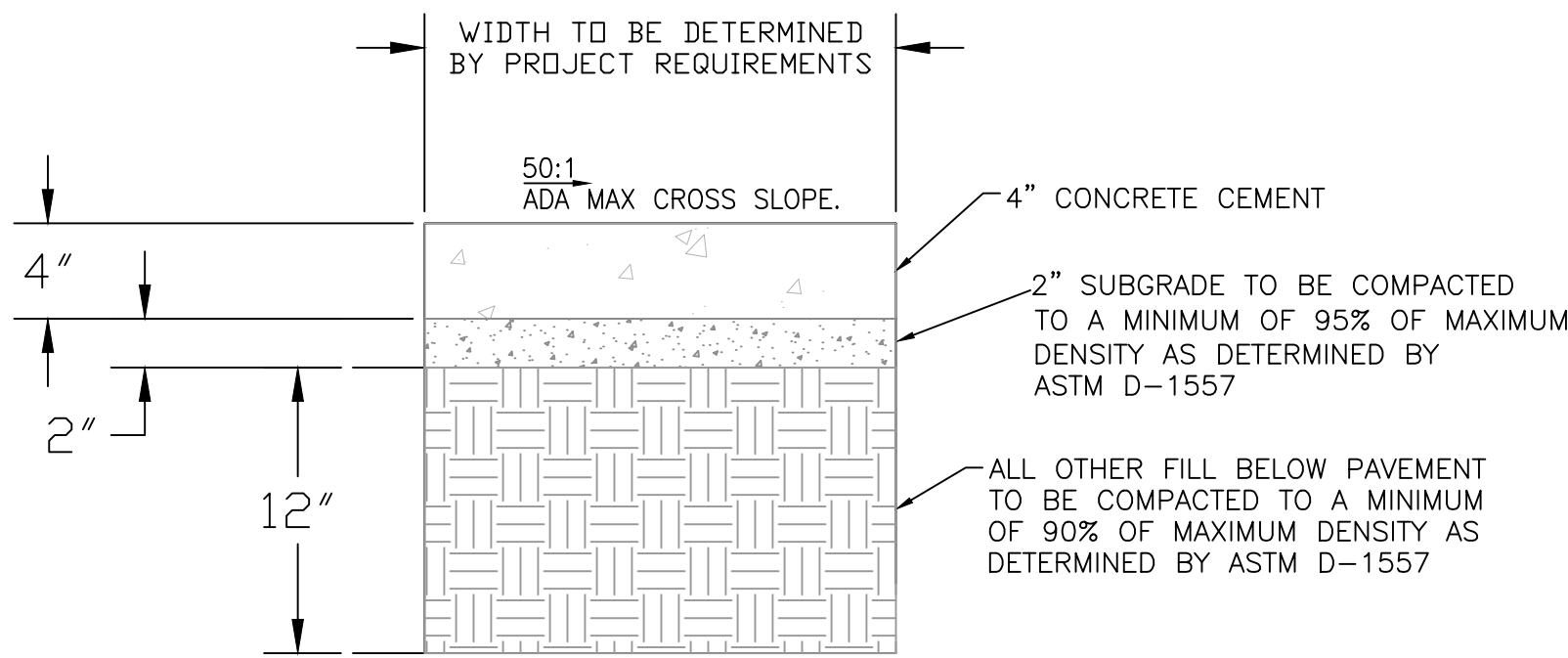
	ENGINEER'S SEAL	CENTRAL TAKE 5 ALBUQUERQUE, NM	DRAWN BY BF
			DATE 08/24/2022
		TRAFFIC CIRCULATION LAYOUT PLAN	2022079_SPE
		 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C2</b> JOB # 2022079

\\TWNAS\Z\_Drive\2022\2022079\_Central Drive-Thru Oil Change.dwg [Pc\2022079\_DTE.dwg Oct 11, 2022 - 8:55am



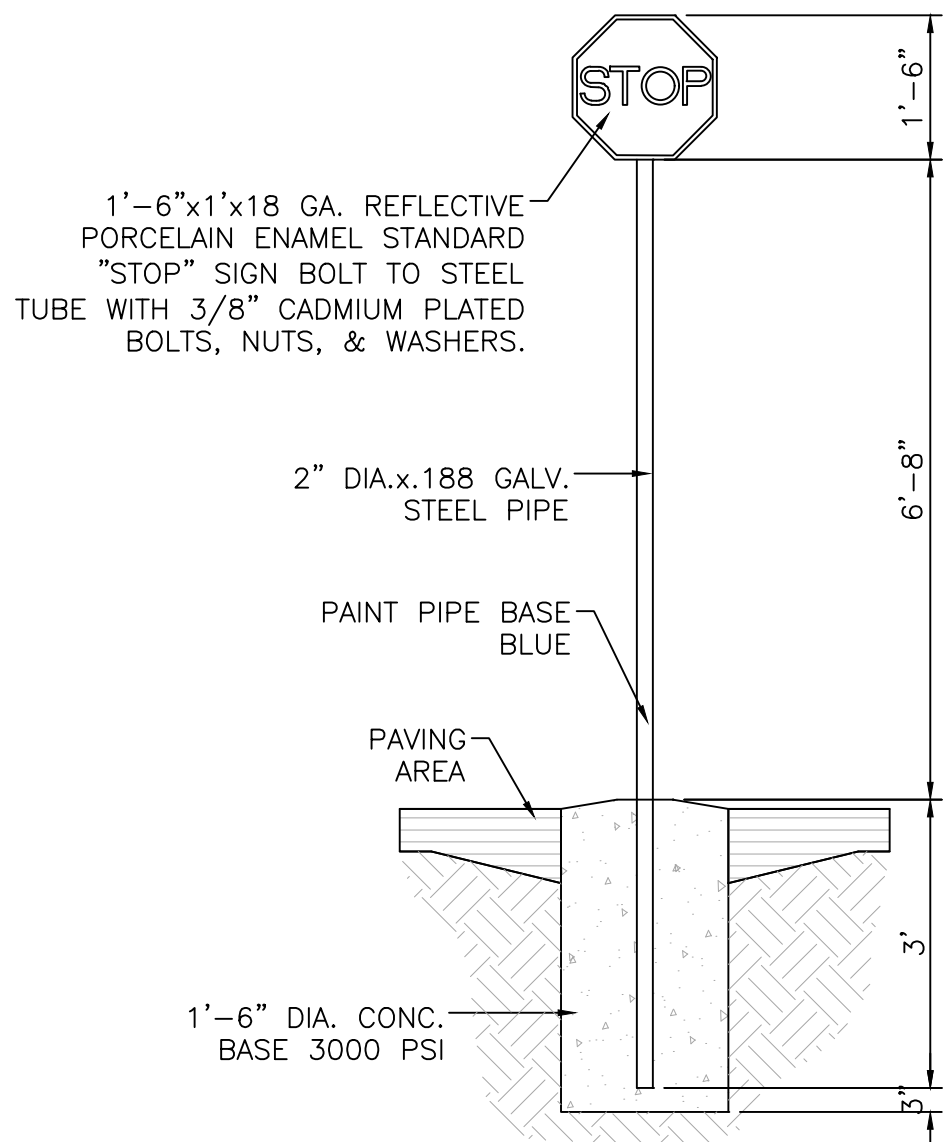
#### SITE ASPHALT PAVEMENT SECTION

NTS NOTE: CONTRACTOR TO VERIFY PAVEMENT MINIMUMS WITH SOILS REPORT PROVIDED BY THE DEVELOPER/OWNER.



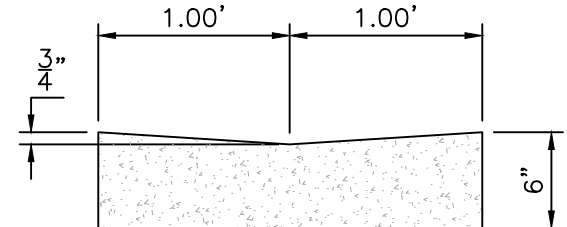
#### CONCRETE SIDEWALK SECTION

NTS



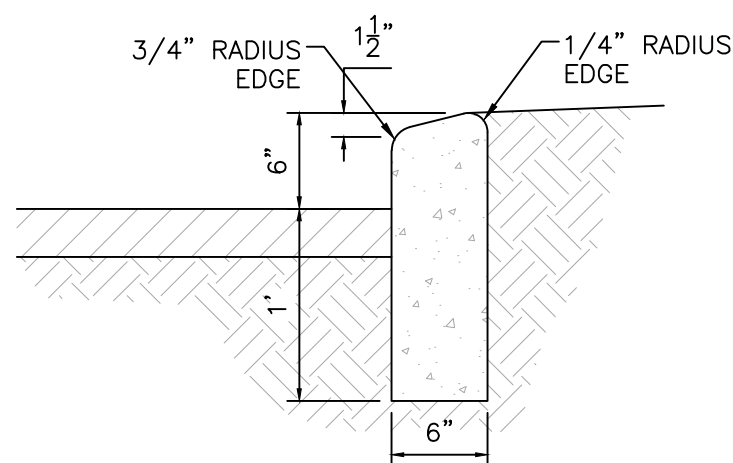
#### STOP SIGN

NTS



#### CONCRETE VALLEY GUTTER DETAIL

SCALE: NTS

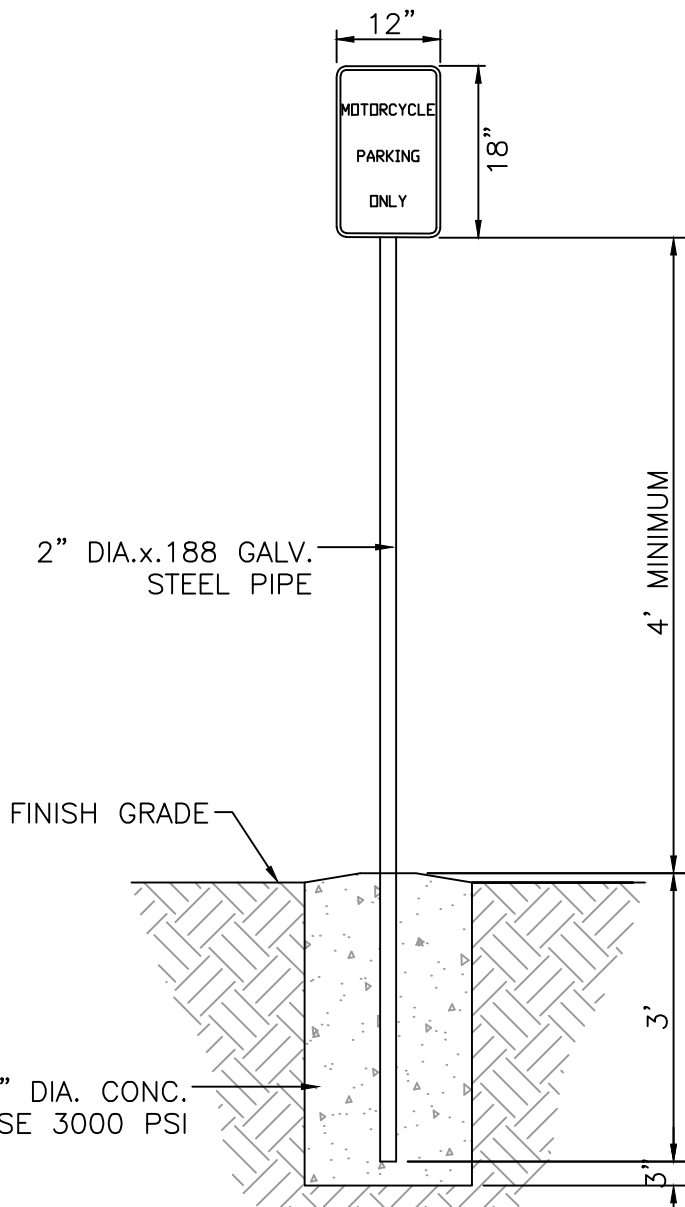
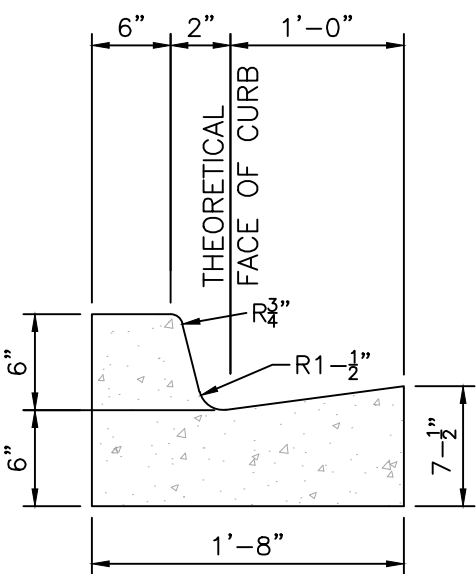


#### CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

#### 6" HEADER CURB DETAIL

NTS



#### MOTORCYCLE PARKING SIGN

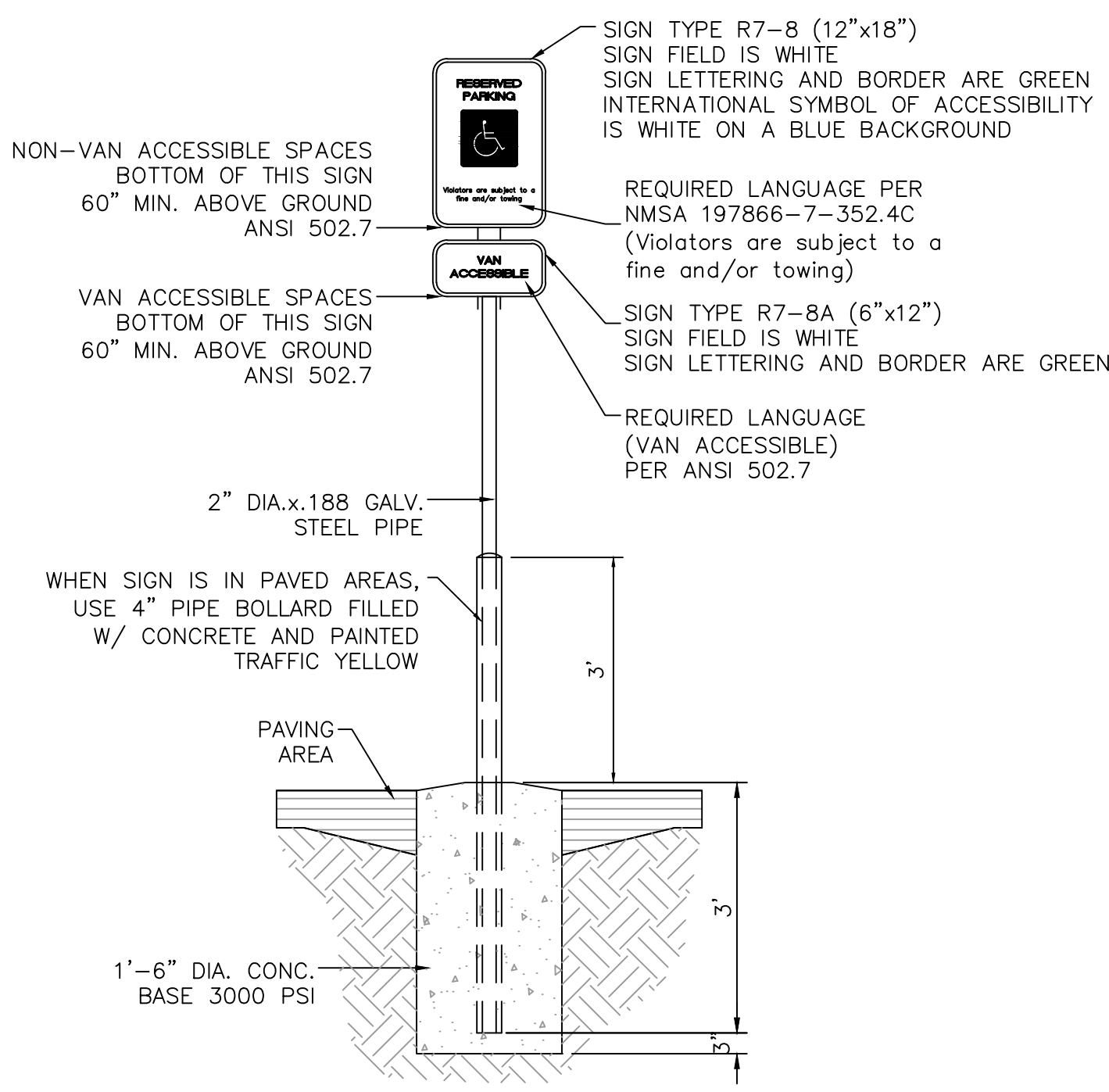
NTS

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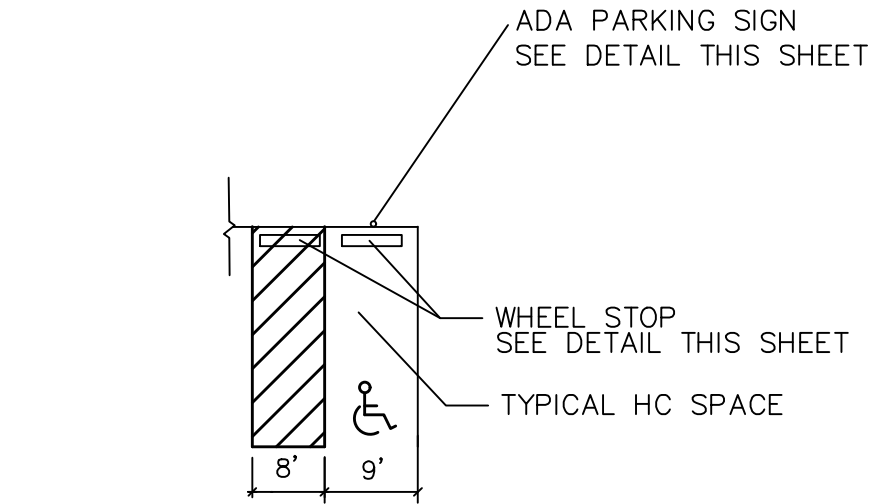
#### 6" PRIVATE CURB & GUTTER

NTS



#### ACCESSIBLE PARKING SIGN

NTS

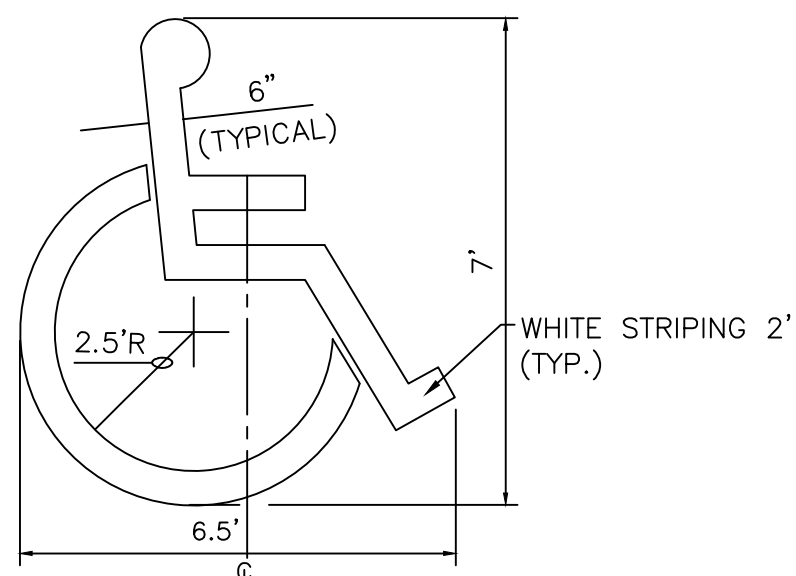


#### HC PARKING DETAIL

NTS

#### NOTES:

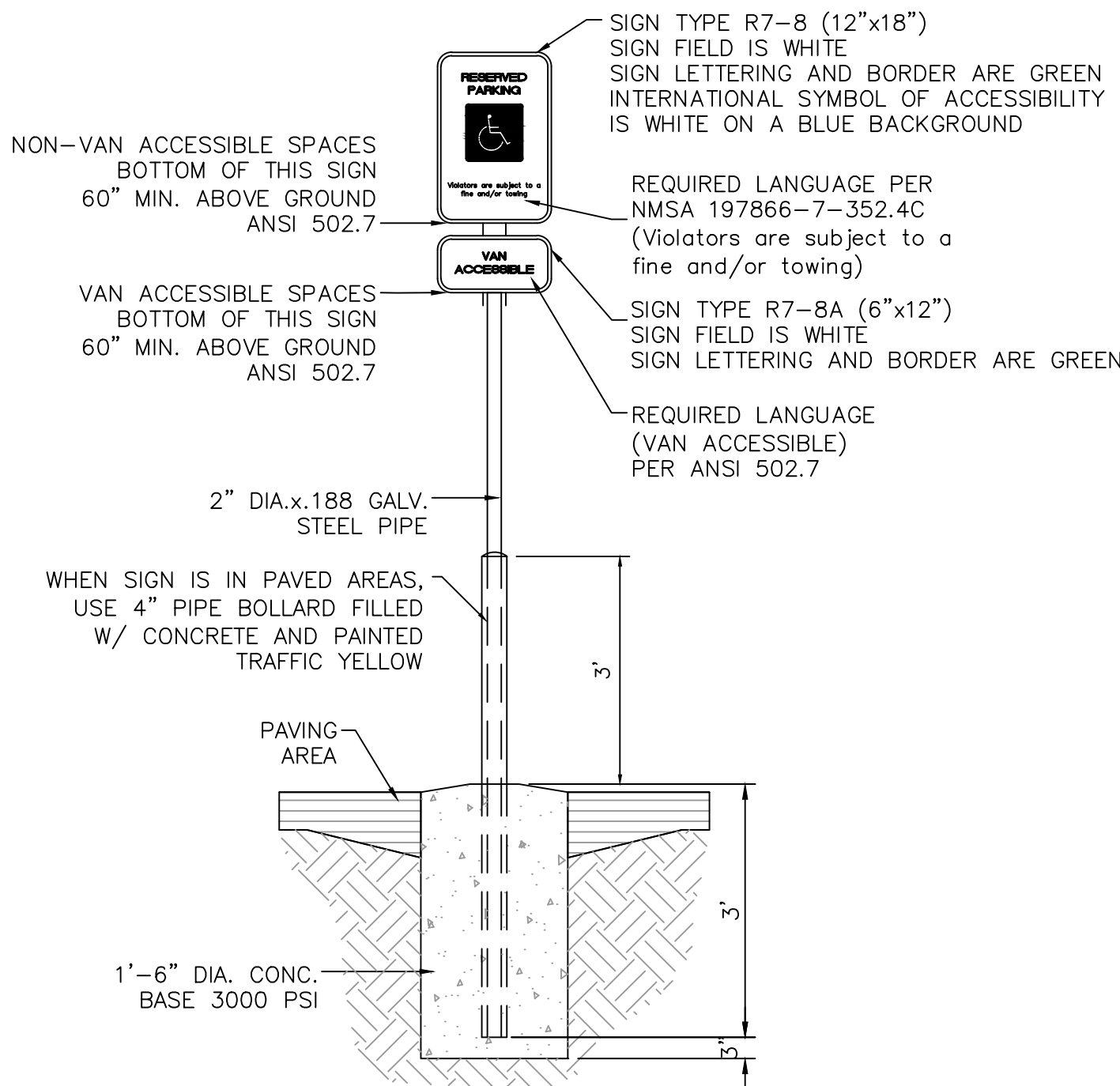
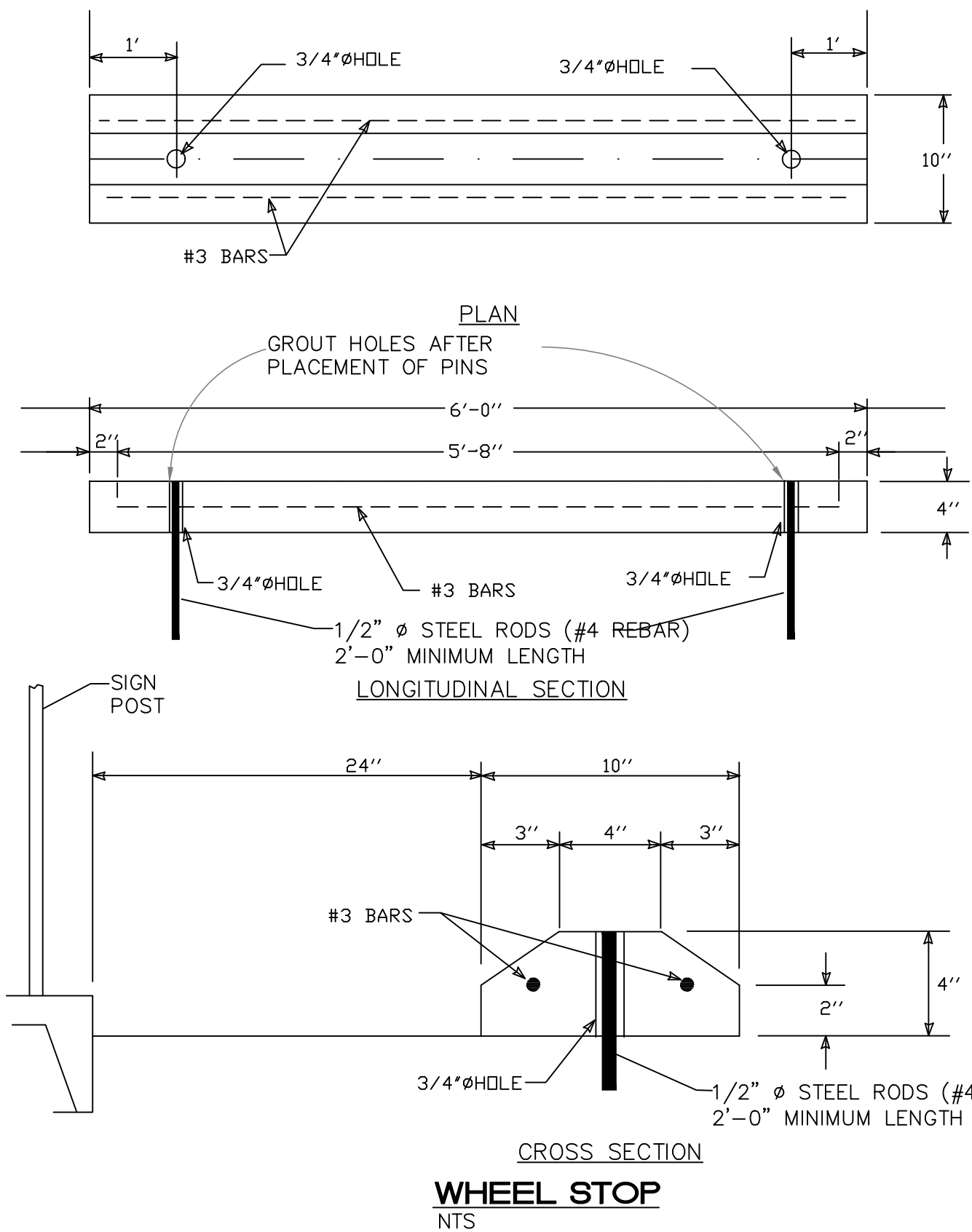
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
- 2) Parking space lines and diagonal striping to be painted blue and shall be 4" wide. Diagonal lines shall be spaced 2' center to center.
- 3) Access aisle shall have the words "NO PARKING" in blue, capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

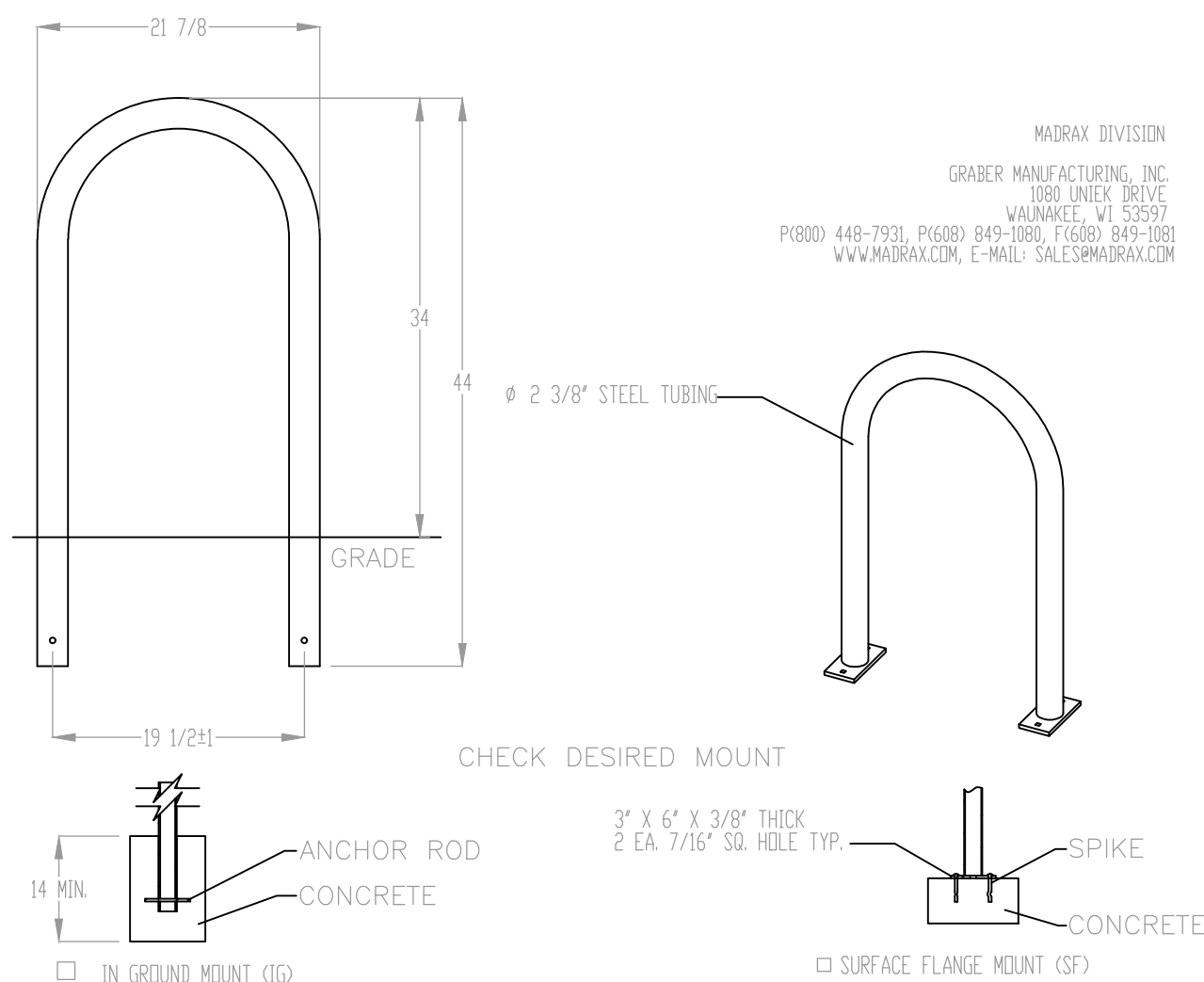
#### ACCESSIBLE PARKING SYMBOL

NTS



#### ACCESSIBLE PARKING SIGN

NTS



#### PRODUCT: U238-1G(SF)

DESCRIPTION: U' BIKE RACK

2 BIKE, SURFACE OR IN GROUND MOUNT

DATE: 10-4-18

ENG: SNC

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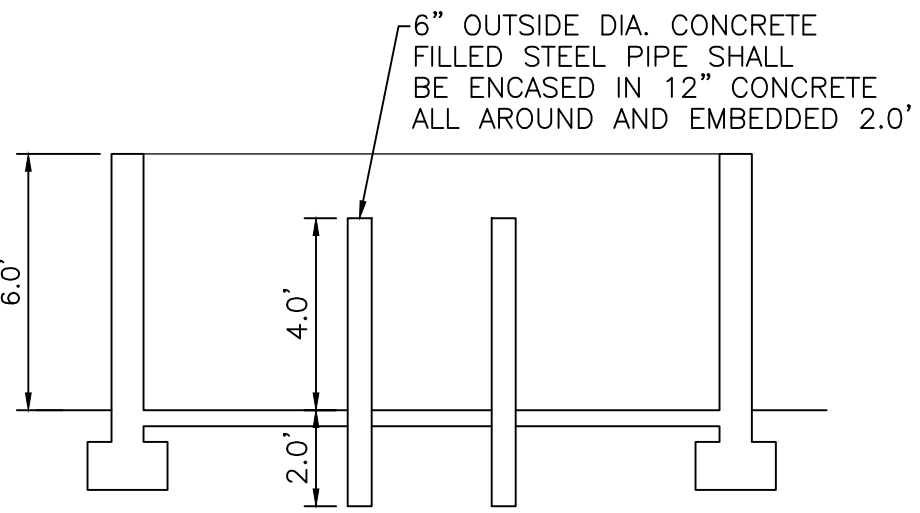
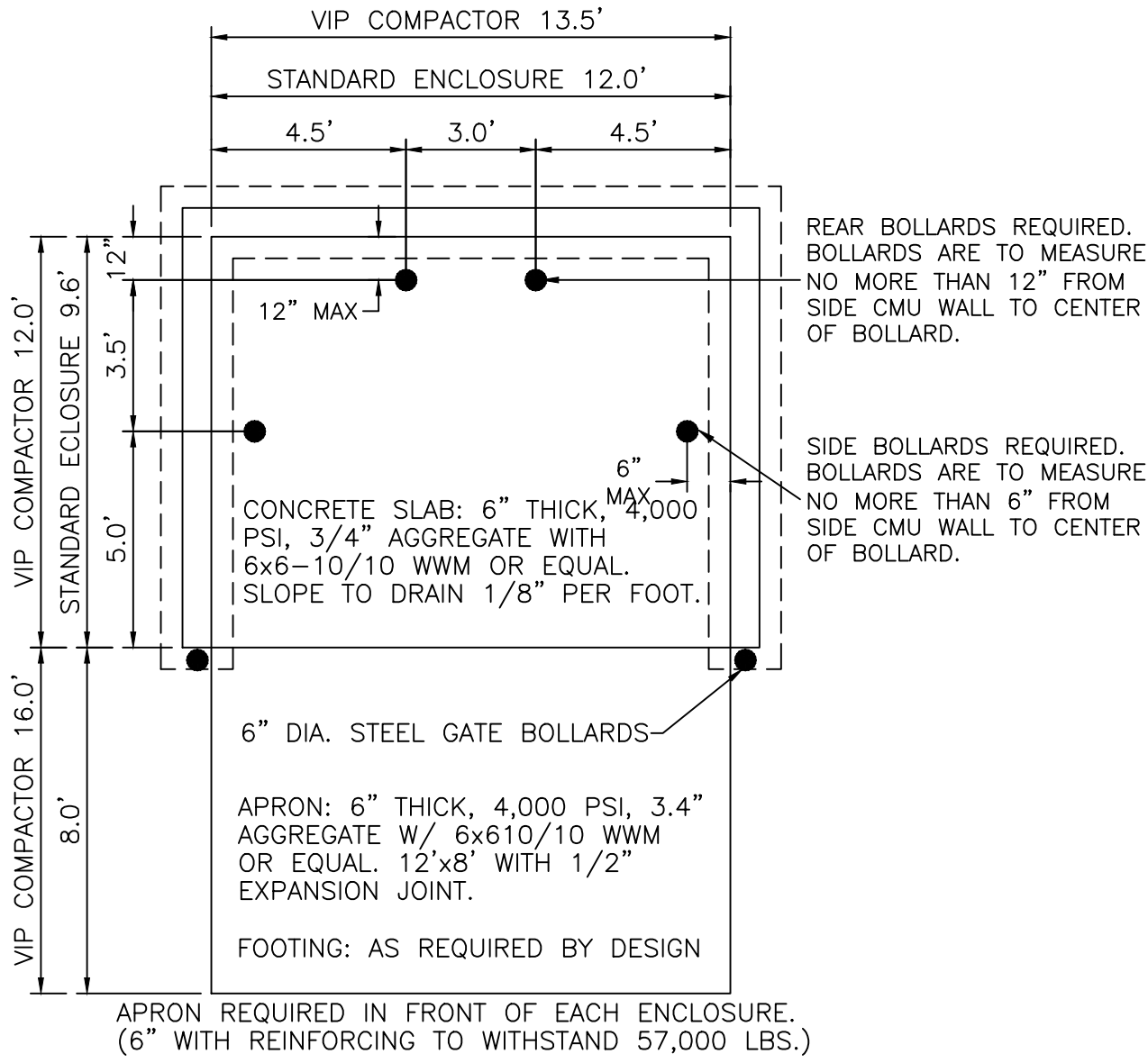
#### NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. BIKE RACK SHALL HAVE A 1'-0" CLEAR ZONE ALL AROUND.
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

#### BIKE RACK

SCALE: NONE

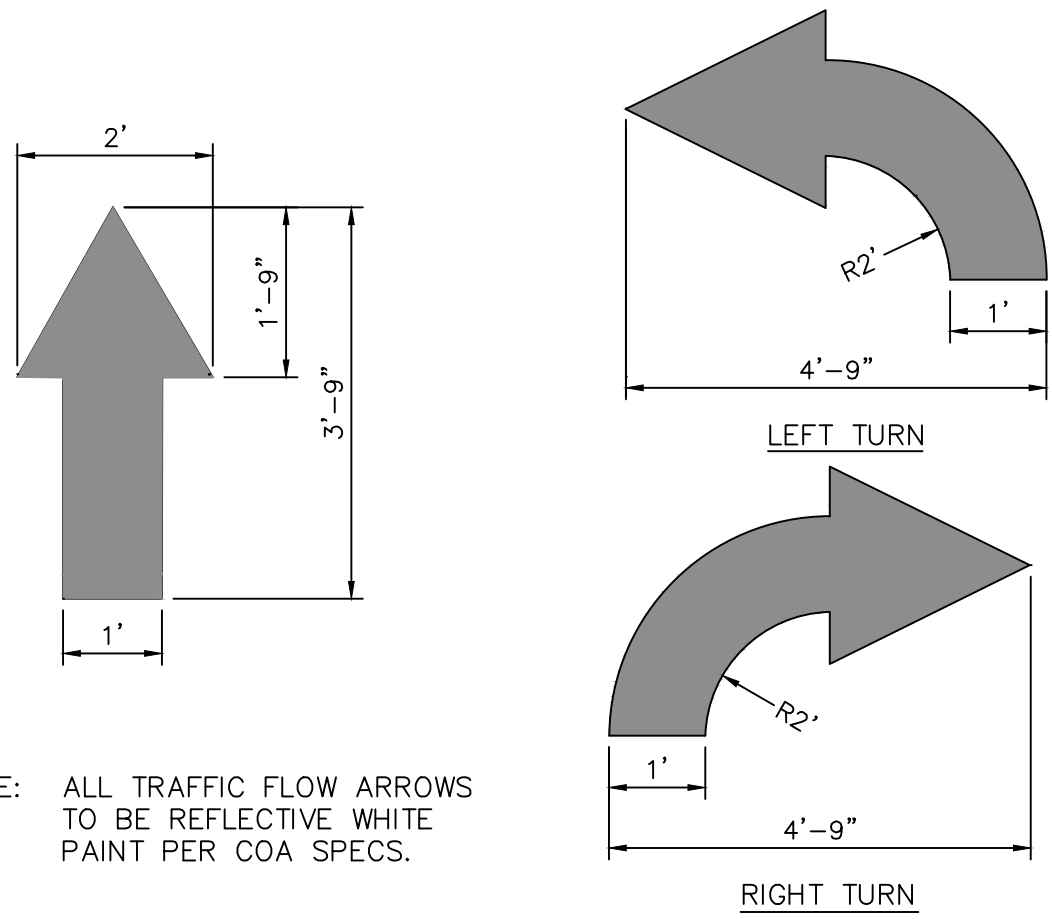
<div>ENGINEER'S SEAL</div> <div></div> <div>10/11/2022</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	<b>CENTRAL TAKE 5</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY BF
	<b>CONSTRUCTION DETAILS</b>	DATE 08/24/2022
	<div><b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	2022079_DTE
		SHEET # <b>C3.1</b>
		JOB # 2022079



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

#### DUMPSTER ENCLOSURE DETAIL (MINIMUM REQUIREMENTS)

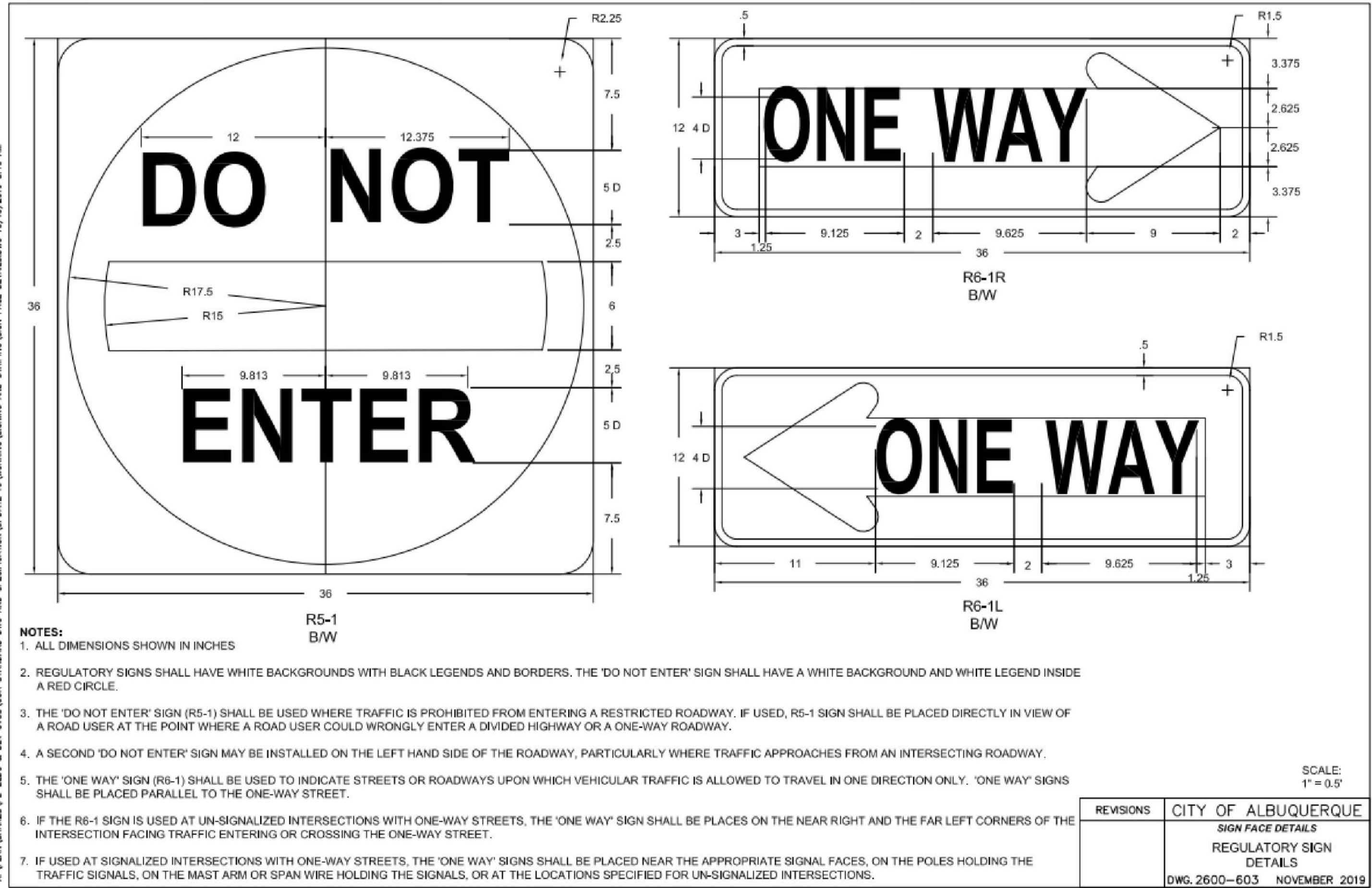
NTS NOTE: ACTUAL DIMENSIONS PROVIDED BY DEVELOPER/OWNER (REFER ARCHITECTURAL PLANS/DETAILS)



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER COA SPECS.

#### TRAFFIC FLOW ARROW (OR SIMILAR)

NTS



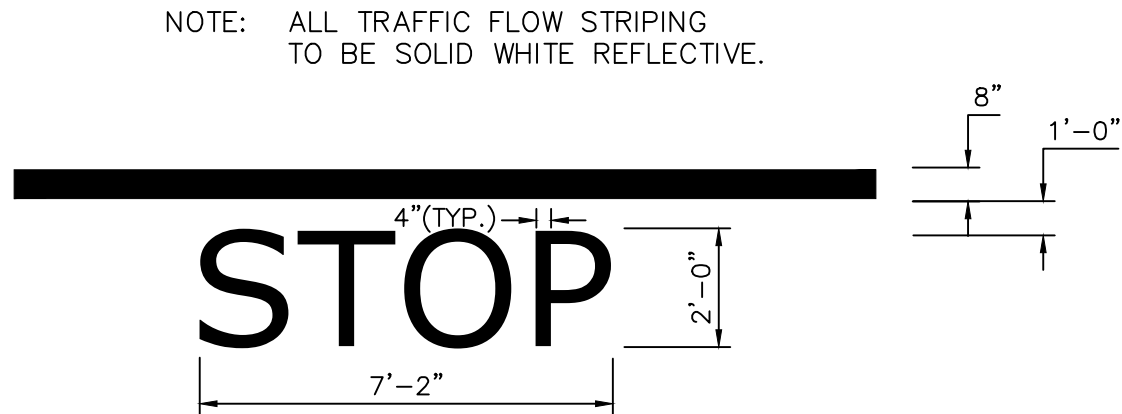
- NOTES:**
1. ALL DIMENSIONS SHOWN IN INCHES
  2. REGULATORY SIGNS SHALL HAVE WHITE BACKGROUNDS WITH BLACK LEGENDS AND BORDERS. THE 'DO NOT ENTER' SIGN SHALL HAVE A WHITE BACKGROUND AND WHITE LEGEND INSIDE A RED CIRCLE.
  3. THE 'DO NOT ENTER' SIGN (R5-1) SHALL BE USED WHERE TRAFFIC IS PROHIBITED FROM ENTERING A RESTRICTED ROADWAY. IF USED, R5-1 SIGN SHALL BE PLACED DIRECTLY IN VIEW OF A ROAD USER AT THE POINT WHERE A ROAD USER COULD WRONGLY ENTER A DIVIDED HIGHWAY OR A ONE-WAY ROADWAY.
  4. A SECOND 'DO NOT ENTER' SIGN MAY BE INSTALLED ON THE LEFT HAND SIDE OF THE ROADWAY, PARTICULARLY WHERE TRAFFIC APPROACHES FROM AN INTERSECTING ROADWAY.
  5. THE 'ONE WAY' SIGN (R6-1) SHALL BE USED TO INDICATE STREETS OR ROADWAYS UPON WHICH VEHICULAR TRAFFIC IS ALLOWED TO TRAVEL IN ONE DIRECTION ONLY. 'ONE WAY' SIGNS SHALL BE PLACED PARALLEL TO THE ONE-WAY STREET.
  6. IF THE R6-1 SIGN IS USED AT UN-SIGNALIZED INTERSECTIONS WITH ONE-WAY STREETS, THE 'ONE WAY' SIGN SHALL BE PLACES ON THE NEAR RIGHT AND THE FAR LEFT CORNERS OF THE INTERSECTION FACING TRAFFIC ENTERING OR CROSSING THE ONE-WAY STREET.
  7. IF USED AT SIGNALIZED INTERSECTIONS WITH ONE-WAY STREETS, THE 'ONE WAY' SIGNS SHALL BE PLACED NEAR THE APPROPRIATE SIGNAL FACES, ON THE POLES HOLDING THE TRAFFIC SIGNALS, ON THE MAST ARM OR SPAN WIRE HOLDING THE SIGNALS, OR AT THE LOCATIONS SPECIFIED FOR UN-SIGNALIZED INTERSECTIONS.

SCALE:  
1" = 0.5'

REVISIONS	CITY OF ALBUQUERQUE
	SIGN FACE DETAILS
	REGULATORY SIGN
	DETAILS
	DWG. 2600-603 NOVEMBER 2019

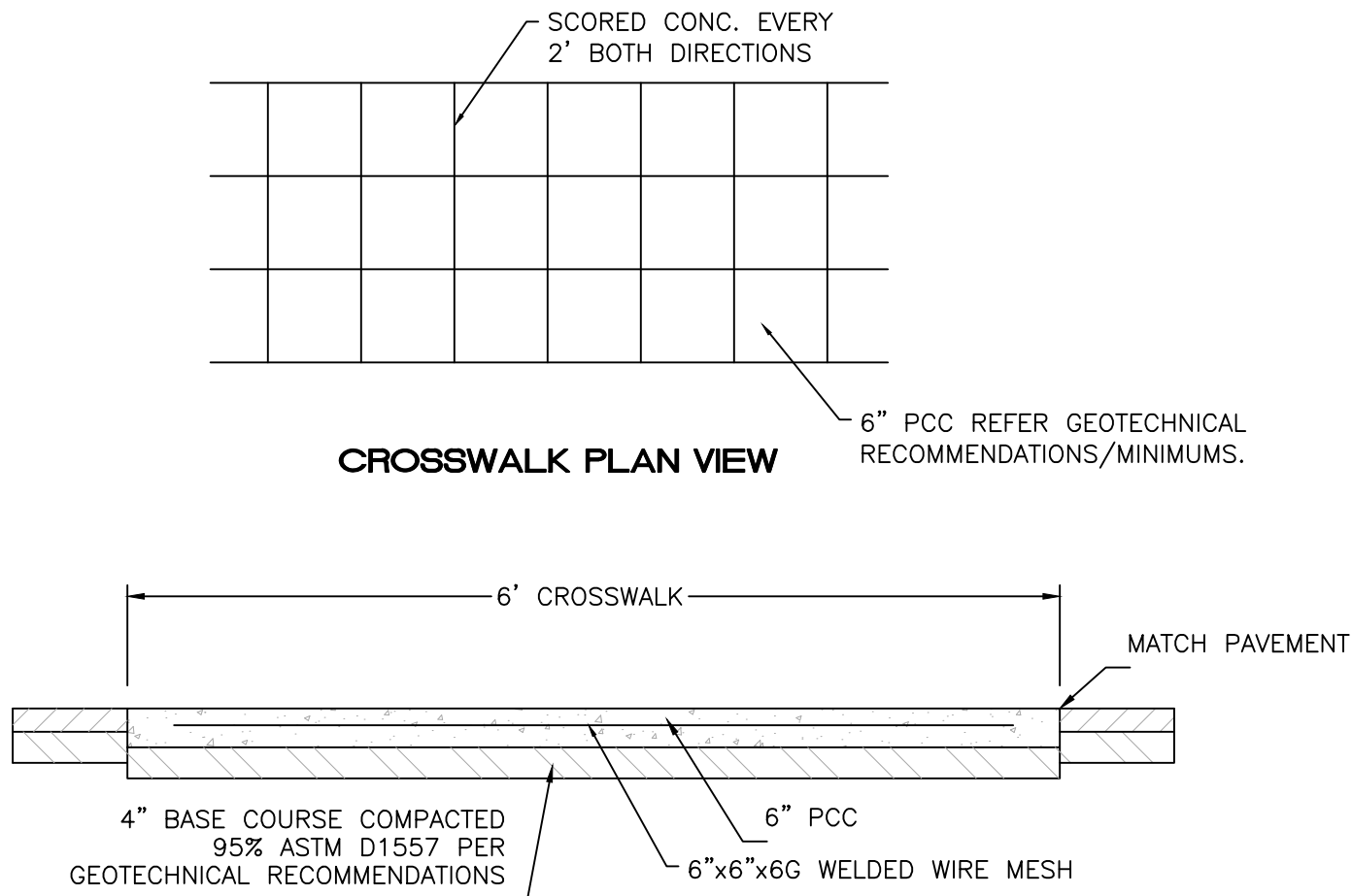
#### DO NOT ENTER SIGN

NTS



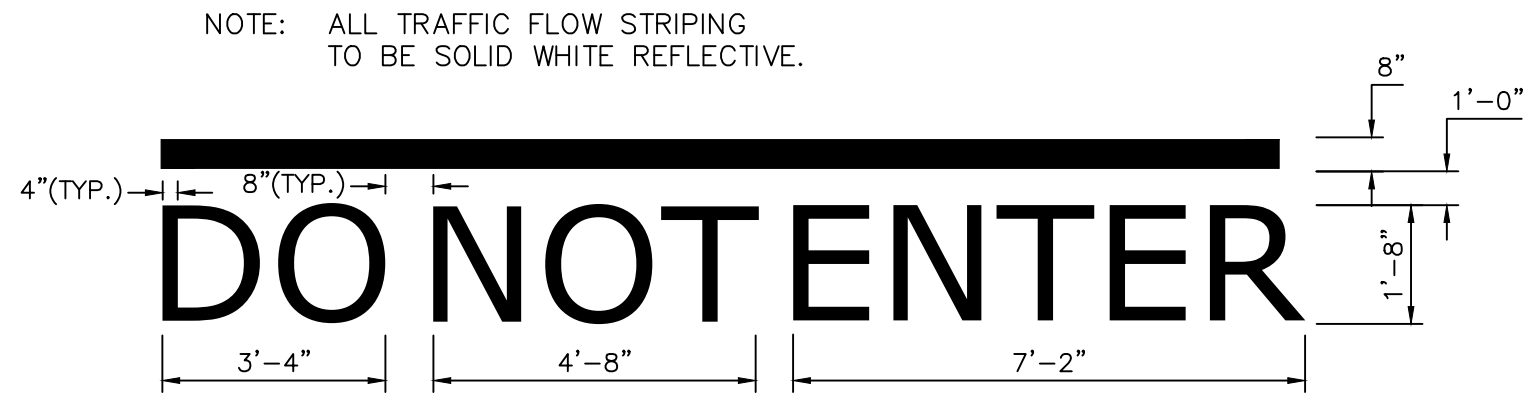
#### 'STOP' PAVEMENT MARKER (OR SIMILAR)

NTS



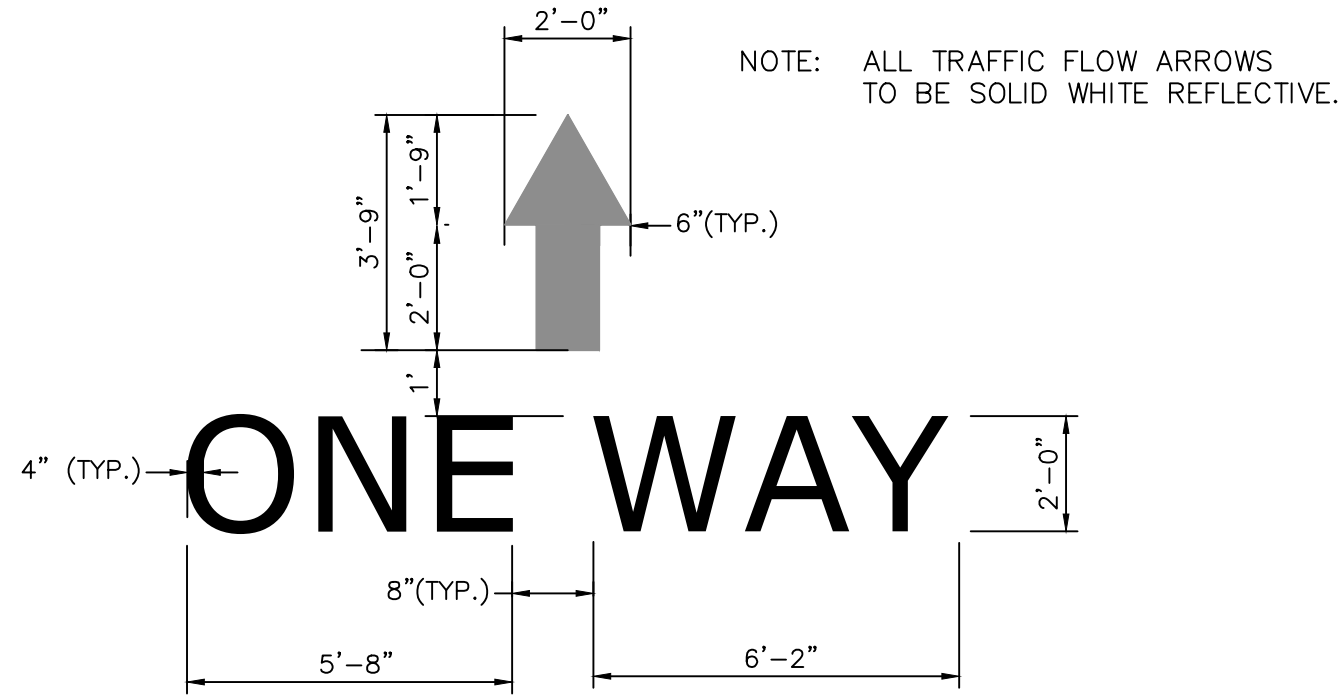
#### CONCRETE CROSSWALK (OR SIMILAR)

NTS



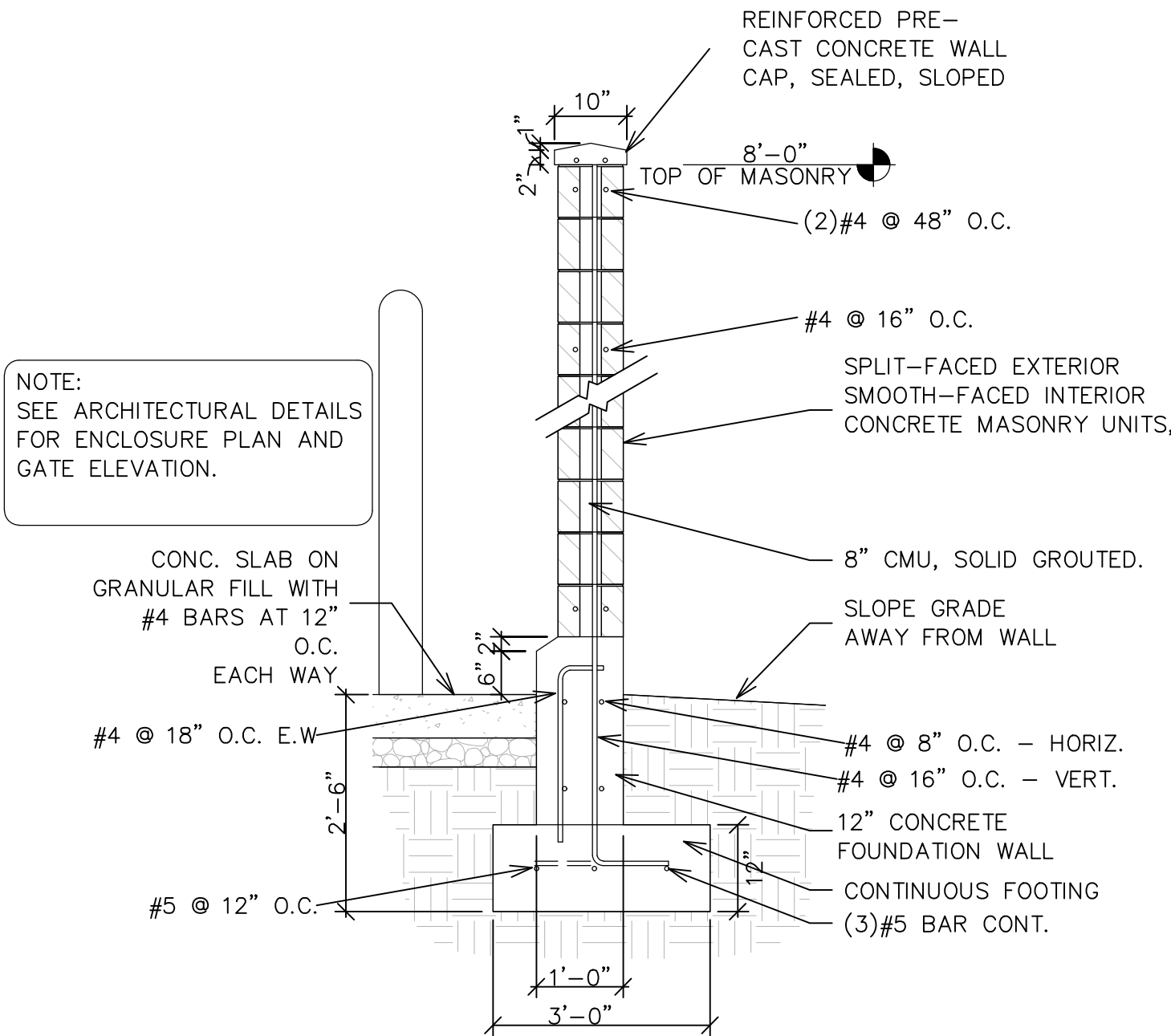
#### 'DO NOT ENTER' PAVEMENT MARKER (OR SIMILAR)

NTS





#### 'ONE WAY' PAVEMENT MARKER W/ARROW (OR SIMILAR)

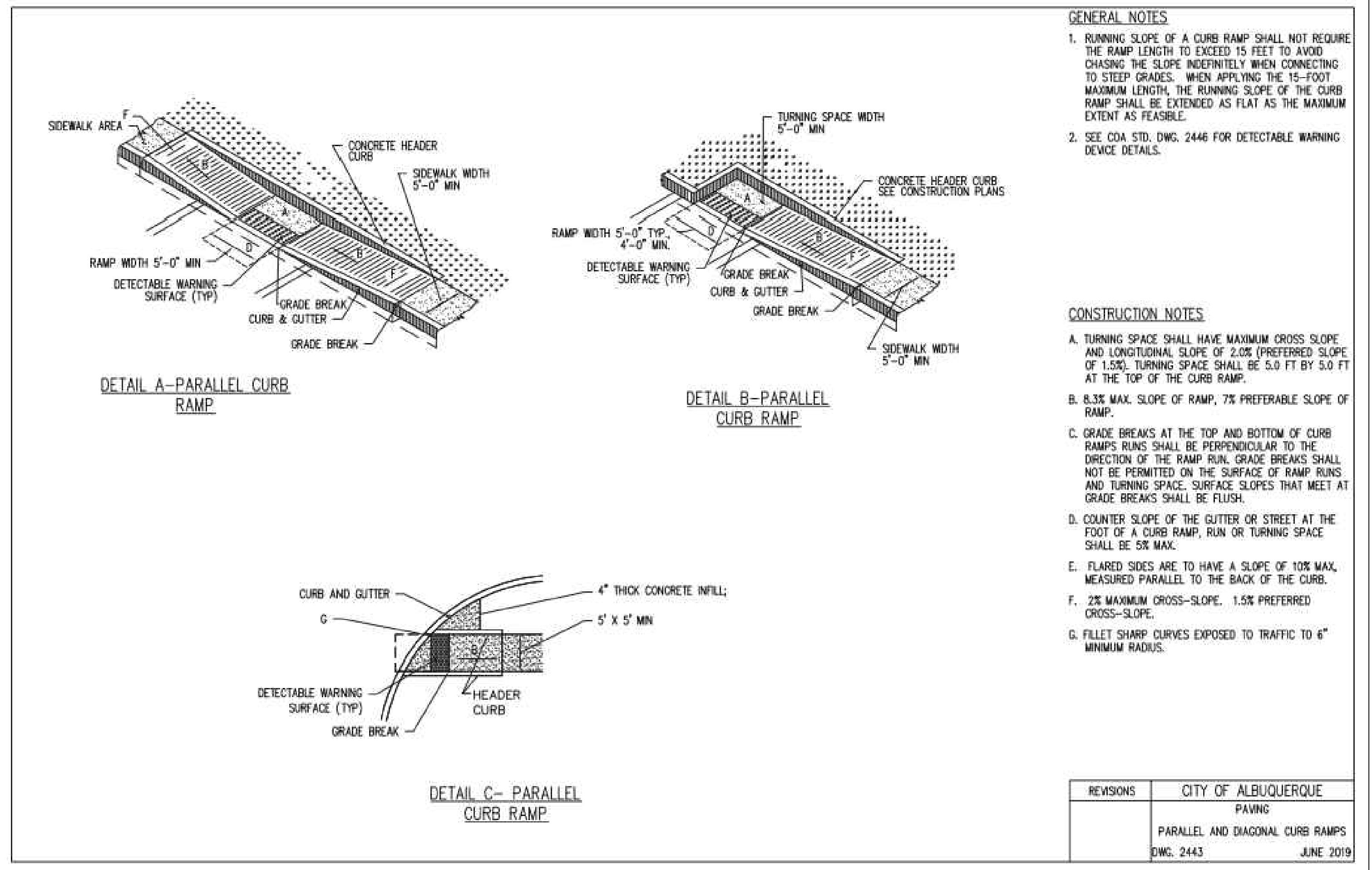
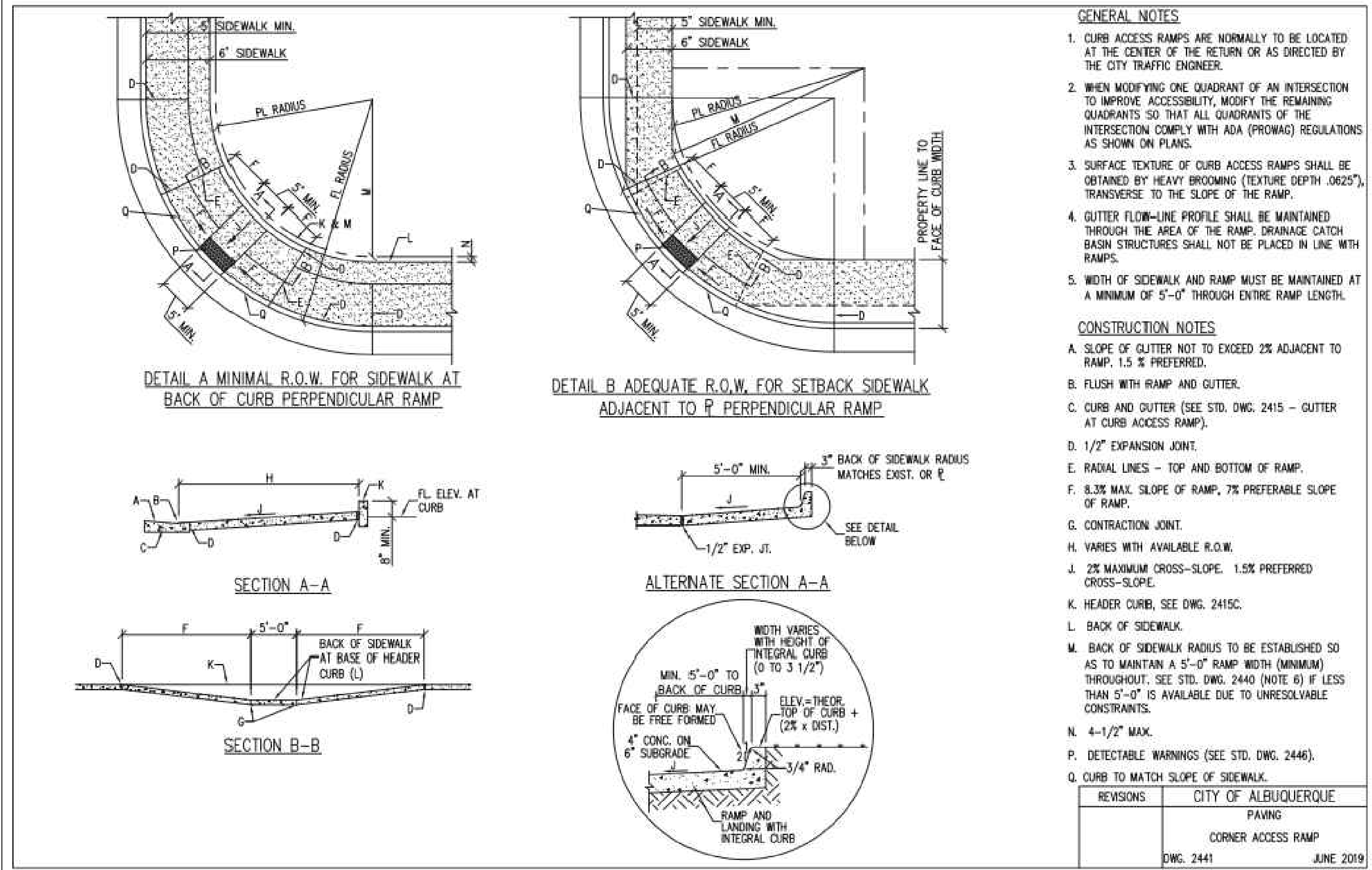
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


#### DUMPSTER ENCLOSURE WALL/FOUNDATION DETAIL

SCALE: NONE

 10/11/2022 RONALD R. BOHANNAN P.E. #7868	CENTRAL TAKE 5 ALBUQUERQUE, NM	DRAWN BY BF
	CONSTRUCTION DETAILS	DATE 08/24/2022
	 <b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2022079_DTE
		SHEET # <b>C3.2</b>
		JOB # 2022079



<div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div></div> <div>10/11/2022</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	CENTRAL TAKE 5 ALBUQUERQUE, NM	DRAWN BY BF
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		SHEET # <b>C3.3</b>
		JOB # 2022079