

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 24, 2026

Ron Bohannon, P.E.  
Tierra West, LLC  
5571 Miniway Park Pl NE  
Albuquerque, NM 87109

**RE: 5210 Central Ave SE  
PERMANENT C.O. – Accepted  
Engineer’s Certification Date: 02/09/2026  
Engineer’s Stamp Date: 10/11/2022  
Hydrology File: K17D080  
Case # HYDR-2026-00058**

Dear Mr. Bohannon,

PO Box 1293

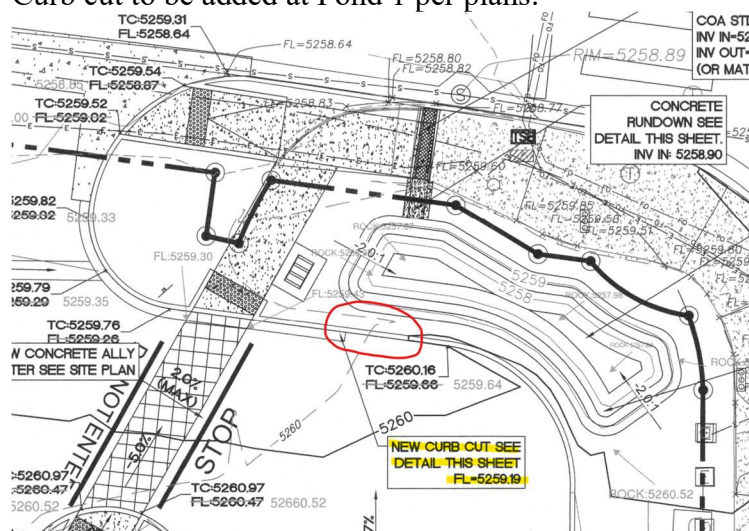
Albuquerque

NM 87103

www.cabq.gov

Based on the Certification received on 02/19/202 site visit on 02/24/2026, this letter serves as a conditional approval from the Hydrology Section for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25.00 make out to “Bernalillo County” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza del Sol. Additionally, please submit the Drainage Covenant to ABQ-Plan.
2. Curb cut to be added at Pond 1 per plans:



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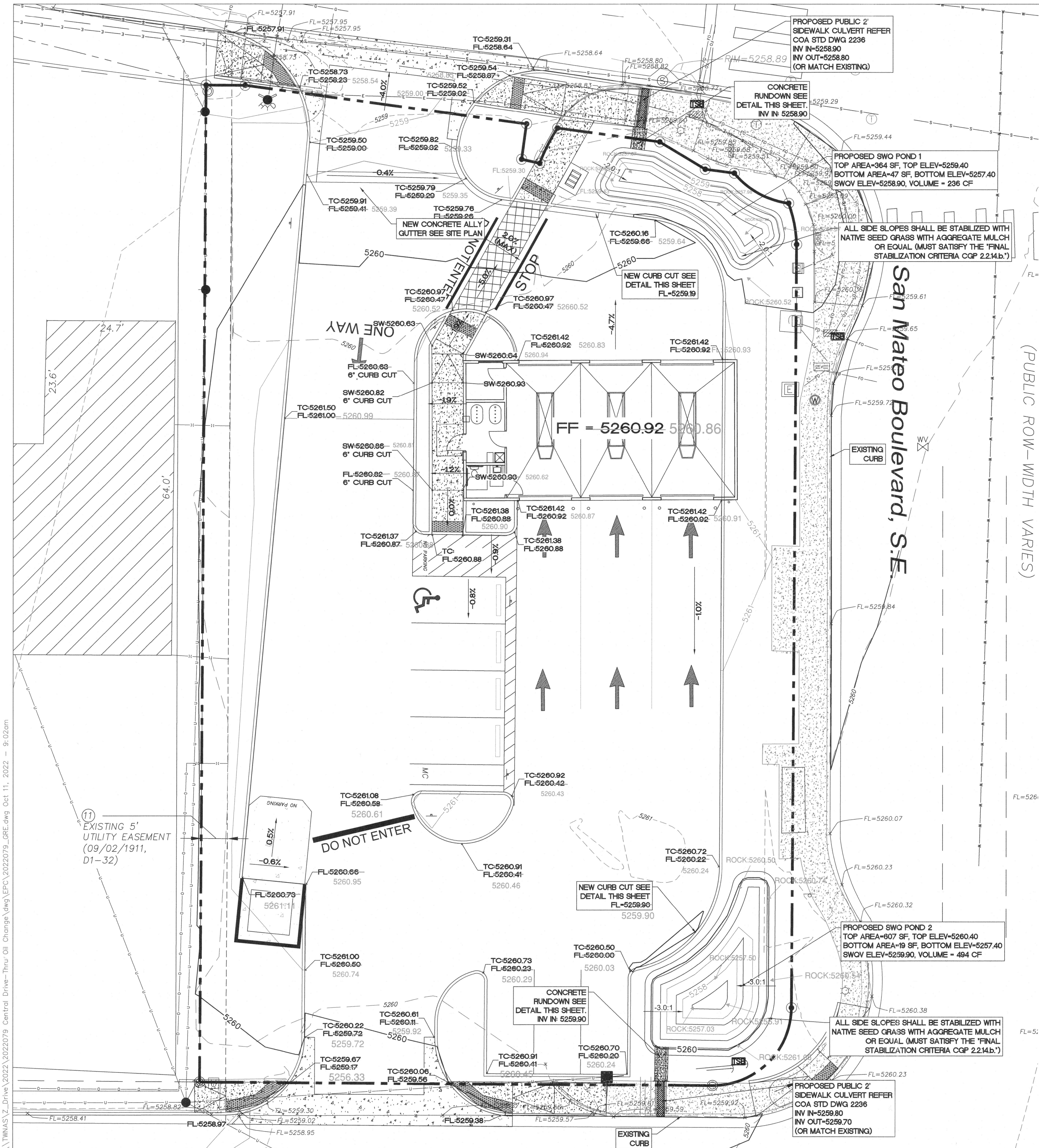
NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 505-924-3995 or [baileythompson@cabq.gov](mailto:baileythompson@cabq.gov).

Sincerely,

Bailey Thompson, E.I.T.  
Engineer Associate, Hydrology  
Planning Department, Development Review Services



**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▩ RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 5010 - - - EXISTING CONTOUR MAJOR
- - - 5011 - - - EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION

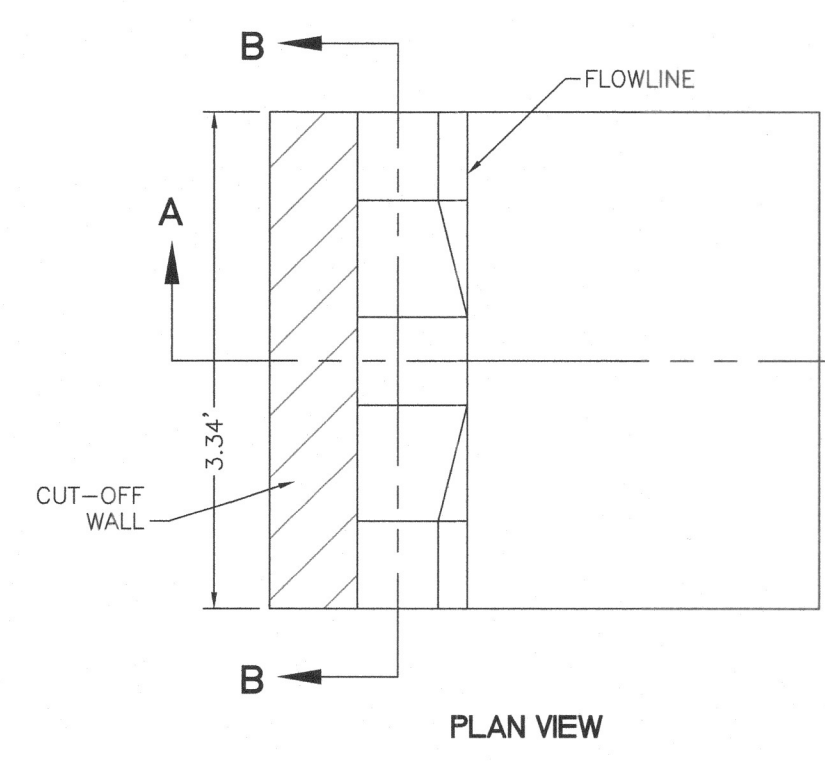
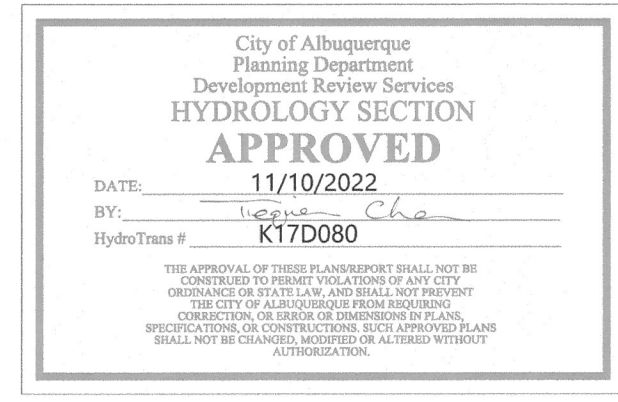
**SPOT ELEVATION LEGEND**

SW= TOP OF SIDEWALK  
 TC= TOP OF CURB  
 C= TOP OF CONCRETE  
 P= POINT ELEVATION  
 FL= FLOW LINE  
 FF= FINISHED FLOOR  
 BW= BOTTOM OF WALL AT FINISHED GRADE  
 TW= TOP OF WALL

**SPOT ELEVATION NOTE:**

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (SO-19)**
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
  - CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
  - AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
  - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
  - CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.



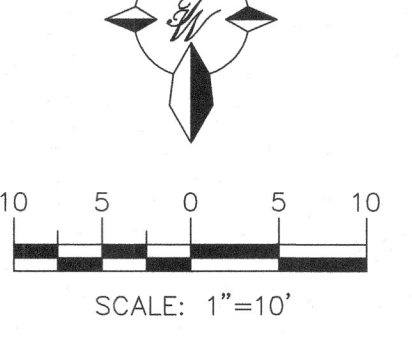
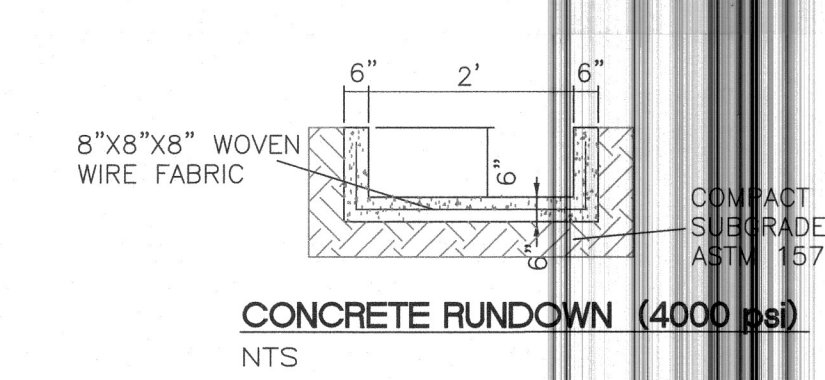
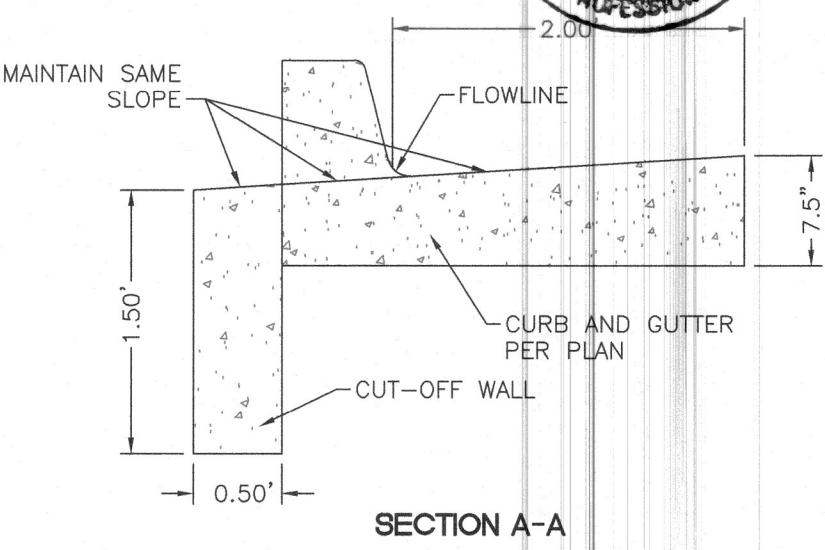
**DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR**

I, RONALD R. BOHANNAN, NMPE # 7868 OF THE FIRM, TIERRA WEST LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/10/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LORENZO E DOMINGUEZ NMPS # 10461.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/10/2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

EXCEPTIONS:

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD INFORMATION ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



**CAUTION**

ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	<b>CENTRAL TAKE 5</b> ALBUQUERQUE, NM	DRAWN BY BF
	<b>GRADING &amp; DRAINAGE PLAN</b>	DATE 08/24/2022
10/11/2022		2022079_GRE
RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # <b>C4.2</b>
		JOB # 2022079

\\TMSAS\_V\_Drive\_2022\2022079\_Central Drive-Thru Oil Change\dwg\EPC\2022079\_GRE.dwg Oct 11, 2022 - 9:02am