



City of Albuquerque

February 17, 2000

Levi J. Valdez, P.E.
G.T. Rodriguez Development
12800 San Juan NE
Albuquerque, NM 87123

RE: ARCADIA HOMES (K17-D84). GRADING AND DRAINAGE PLAN FOR PAVING PERMIT APPROVAL. ENGINEER'S STAMP DATED JANUARY 9, 2000.

Dear Mr. Valdez:

Based on the information provided on your submittal of January 10, 2000, the above referenced project is approved for Paving Permit.

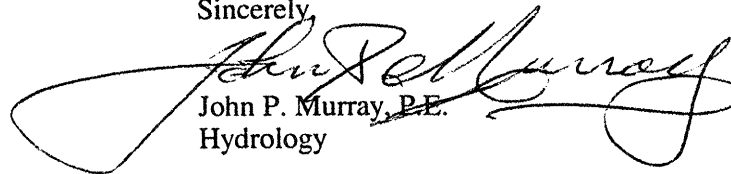
Transportation has commented this date on the T.C.L. The G&D Plan and the Site Plan (T.C.L.) should be congruous.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: WR
File

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: ARCADIA HOMES
MIKE FROST ZONE ATLAS/DRNG. FILE #: K-17/084

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 48 & 49, BLK. 37, VALLEY VIEW ADDITION

CITY ADDRESS: 142 TRUMAN N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E.
GEORGE T. RODRIGUEZ CONTACT: MR. VALDEZ
DEVELOPMENT CONSULTANT MR. RODRIGUEZ

ADDRESS: 12800 SAN JUAN N.E. 87123 PHONE: 294-0320

OWNER: ? APPLICANT AGENT CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: ENGINEER CONTACT: SAME AS ABOVE

ADDRESS: _____ PHONE: _____

CONTRACTOR: ? CONTACT: _____

ADDRESS: _____ PHONE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION
 - OTHER _____

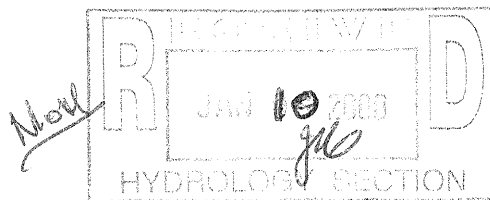
- PRE-DESIGN MEETING:
- YES
 - NO
 - COPY PROVIDED

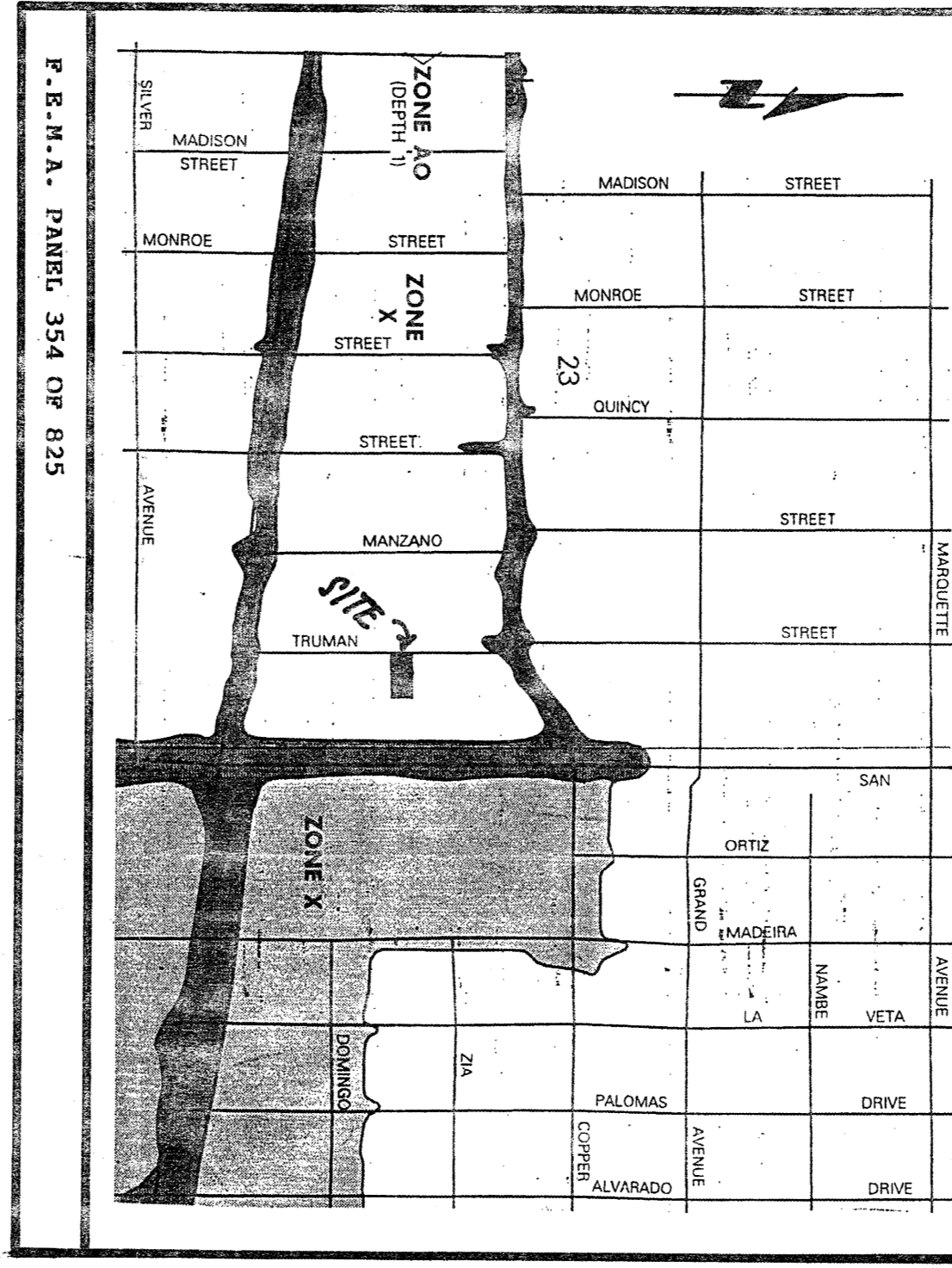
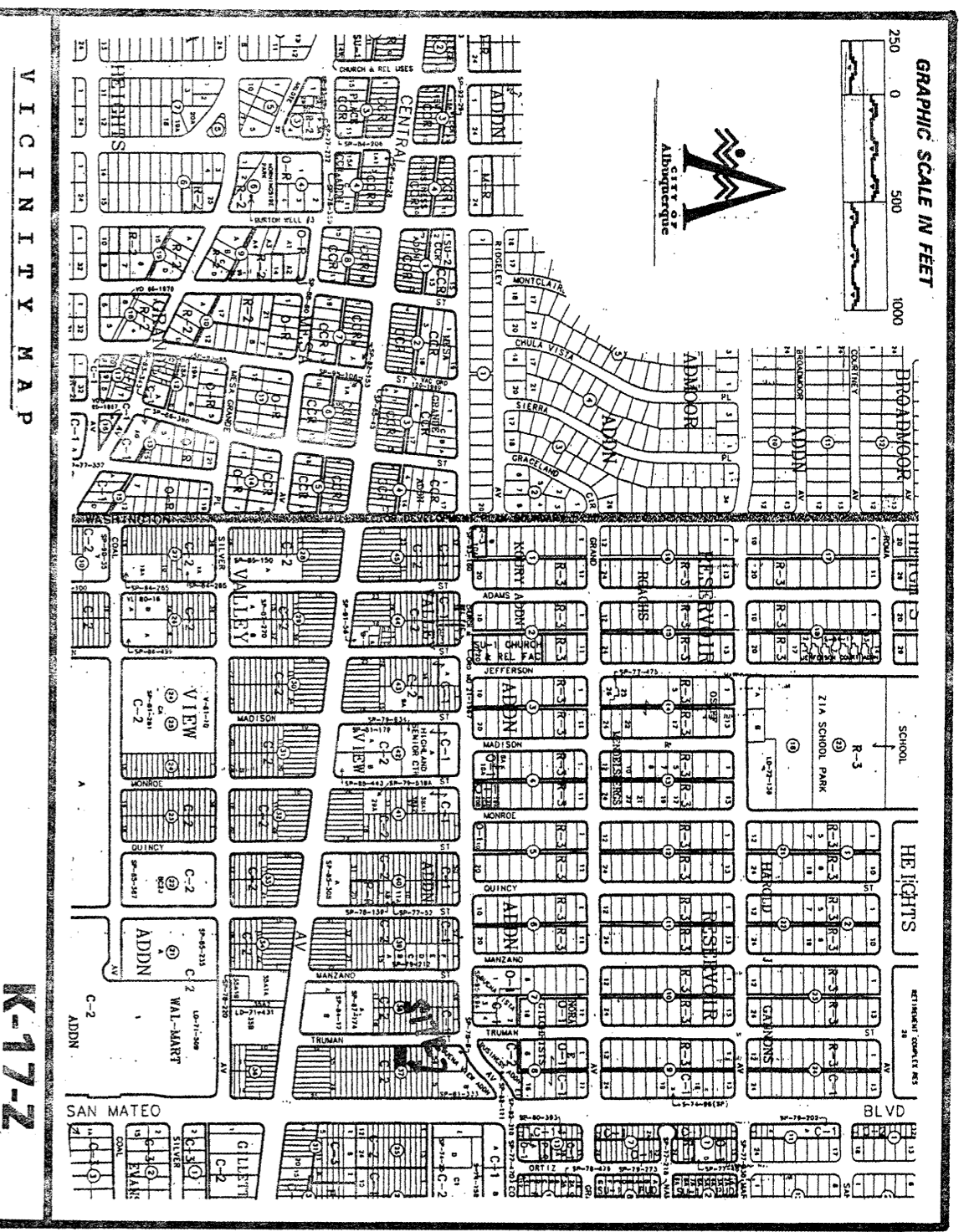
- CHECK TYPE OF APPROVAL SOUGHT:
- SKETCH PLAT APPROVAL
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY APPROVAL
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL (NO BUILDING PERMIT)
 - S.A.D. DRAINAGE REPORT
 - DRAINAGE REQUIREMENTS
 - SUBDIVISION CERTIFICATION
 - OTHER _____ (SPECIFY)

DATE SUBMITTED: JAN. 09, 2000 ✓ *Sunday?*

BY: GEORGE T. RODRIGUEZ

Revised 02/98





- CONSTRUCTION NOTES:**
- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
 - 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
 - 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - 4.) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.
- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM DICES, SMALL SLOPES, AND OTHER EROSION CONTROL MEASURES AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
 - 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
 - 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN BRODDED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

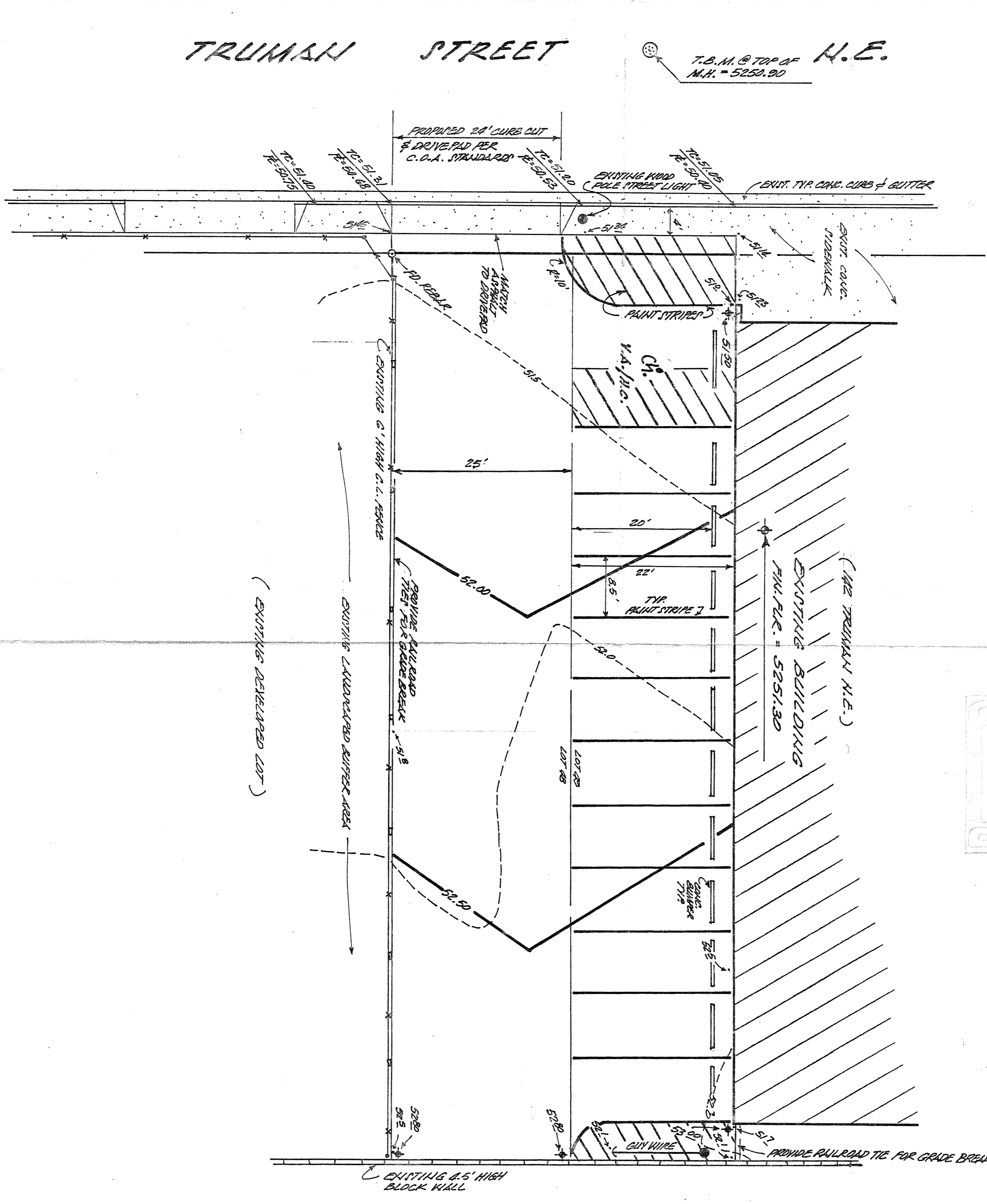
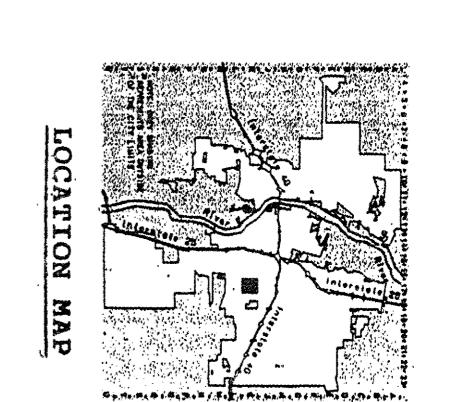
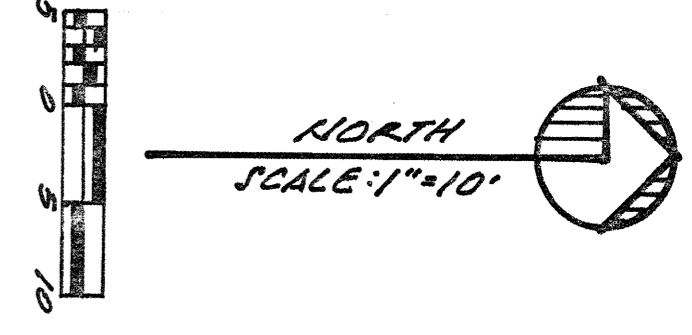


TABLE A-6. PEAK DISCHARGE (cfs)

Zone	A	B	C	D
1	1.28	0.20	2.87	4.37
2	0.00	0.00	0.00	0.00
3	1.87	2.89	3.45	5.02
4	0.00	0.00	0.00	0.00

TABLE A-1. PRECIPITATION ZONES

Zone	Location
1	West of Rio Grande
2	Between Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40 and between Interstate 40 and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

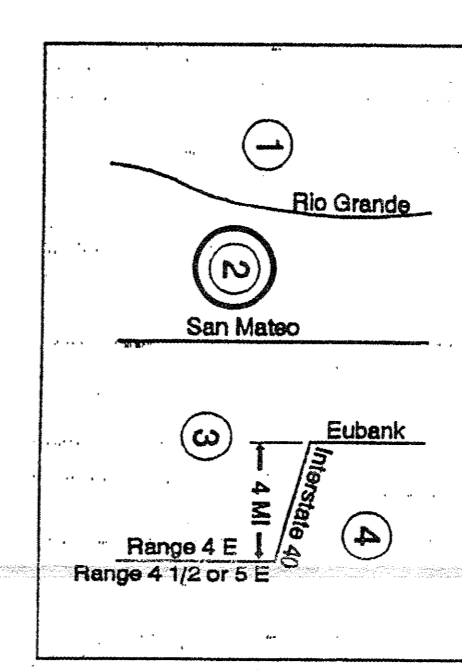


TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompacted by human activity, with 0 to 10 percent slope. Native grass, weeds and shrubs, and soil uncompacted by human activity. Disturbance to grading, groundwater, and infiltration capacity. Clogged, tilled areas.
B	Ingrated lawn, grass and golf courses with 0 to 10 percent slope. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent. Soil compacted by human activity. Minimal vegetation. Unpacked parking, roads, trails. Most vacant lots. Gravel or rock on public zone boundary.
C	Soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay lean soils and soil compaction. The soil contains the same amount of water as the watershed.
D	Impervious areas, pavement and roofs. Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective substrates. In lieu of specific measurement for treatment D, the total percentages in Table A-6 may be employed.

DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREIN, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF TRUMAN STREET, N.E. BETWEEN CENTRAL AVENUE AND COPPER AVENUE, N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS MAP "K-17-2").

THE SUBJECT SITE, (1.) IS PRESENTLY A VACANT INFILL SITE THAT IS TO BE PAVED AND USED FOR PARKING, (2.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. MAP SHOWN HEREON), (3.) DOES NOT ACCEPT FLOWS FROM ADJACENT PROPERTIES, (4.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.13 ACRE

PRECIPITATION ZONE: TWO (2), TABLE A-1.

PEAK INTENSITY: IN./HR. AT T_c = TWENTY (12) MINUTES, 100-YR. = 5.05

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.13	3.14	0.41

PROPOSED PAVED CONDITIONS:

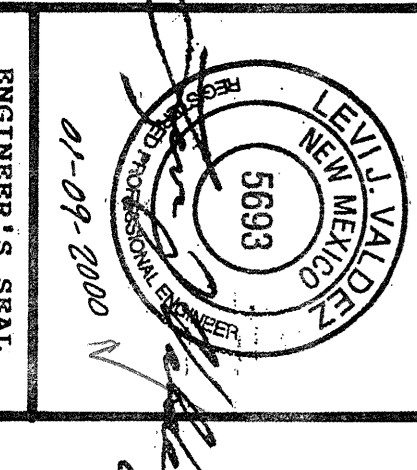
TREATMENT	AREA/ACRES	FACTOR	CFS
D	0.13	4.70	0.61

LEGAL DESCRIPTION:

LOTS 48 & 49, BLOCK 37, VALLEY VIEW ADDITION, ALBUQUERQUE, NEW MEXICO.

BERM MARK REFERENCE:

A.C.S. STATION "6-K18", N.S.L.D. ELEVATION = 5247.329, (PROJECT T.B.N. AS SHOWN ON THE PLAN HEREON).



PROPOSED PAVING PLAN

LOT 48 & 49, BLOCK 37, VALLEY VIEW ADDITION, ALBUQUERQUE, NEW MEXICO, TALLEY, AND