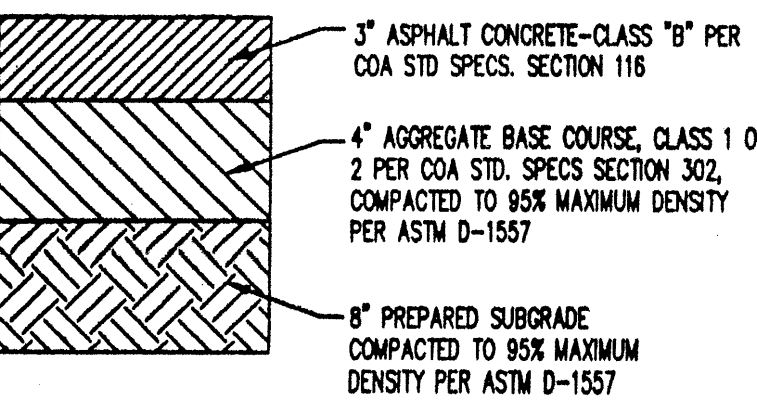


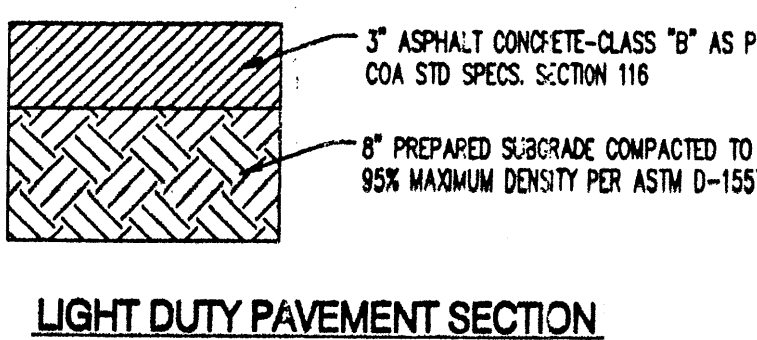
ACS BRASS TABLET STAMPED "6-K18A ACS"  
GEOGRAPHIC POSITION (NAD 1927)  
NAD STATE PLANE COORDINATES (CENTRAL ZONE)  
NAD 3608.545.00 Y=1483.892.49  
GROUND TO GRID FACTOR = 0.99988021  
DELTA ALPHA = -0.01142  
SLD 1928 ELEVATION = 5247.329

**AS-BUILT**  
CELIA S. TOMLINSON, NMP# 4895 OF THE FIRM WHOMUS P.A., INC.,  
HEREBY CERTIFIES THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH  
AND IN ACCORDANCE WITH THE APPROVED PLANS DATED 9/15/03. THE RECORD  
INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN  
OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND  
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY  
COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH  
THE APPROVED PLANS. THOSE RELYING ON THIS RECORD DOCUMENT ARE  
ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE  
USING IT FOR ANY OTHER PURPOSE.  
CELIA S. TOMLINSON, P.E. DATE: 9/24/03

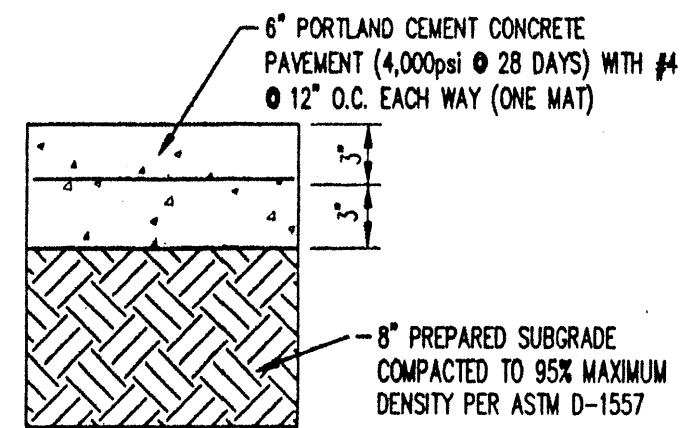
**CONCRETE PAVEMENT NOTES:**  
1. MAXIMUM DISTANCE BETWEEN JOINTS, L, SHALL NOT EXCEED 15'.  
2. THE RATIO OF THE LONG SIDE, L, TO THE SHORT SIDE, S, OF A PAVEMENT  
PANEL SHALL RANGE FROM 1.1 TO 1.5:1.  
3. JOINT LENGTH SHALL NOT BE SHORTER THAN 1.5'.  
4. THE CONTRACTOR SHALL SUBMIT A PAVEMENT JOINT PLAN TO THE ENGINEER FOR  
HIS REVIEW AND APPROVAL PRIOR TO THE PLACEMENT OF ANY CONCRETE PAVEMENT.  
THE JOINT PLAN SHALL INCLUDE THE LOCATIONS OF MANHOLES, VALVE BOXES AND  
DROP INLETS.  
5. CONCRETE PLACEMENT SHALL TERMINATE AT A PAVEMENT JOINT.  
6. JOINTS SHALL BE SAWED AS SOON AS THE CONCRETE WILL CUT WITHOUT LEAVING A  
RAVELED EDGE. SAW CUTS SHALL BE CURED SAME AS THE ADJACENT CONCRETE.  
7. PLACE 1/2" EXPANSION JOINT FILLER ADJACENT TO BUILDING FOUNDATION AND  
CONCRETE CURB.



**HEAVY DUTY PAVEMENT SECTION**  
NOTE: ALL AREAS NOT INDICATED AS LIGHT DUTY PAVEMENT OR  
PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE HEAVY DUTY  
PAVEMENT.



**LIGHT DUTY PAVEMENT SECTION**



**PORTLAND CEMENT CONCRETE PAVEMENT SECTION**

**NOTICE TO CONTRACTORS (SO 19)**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, 1986.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE TO ARTERIAL STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

DESIGN APPROVAL:

HYDROLOGY SECTION DATE

INSPECTION APPROVAL:

TRANS/STREET MAINT. DATE

ACCEPTANCE:

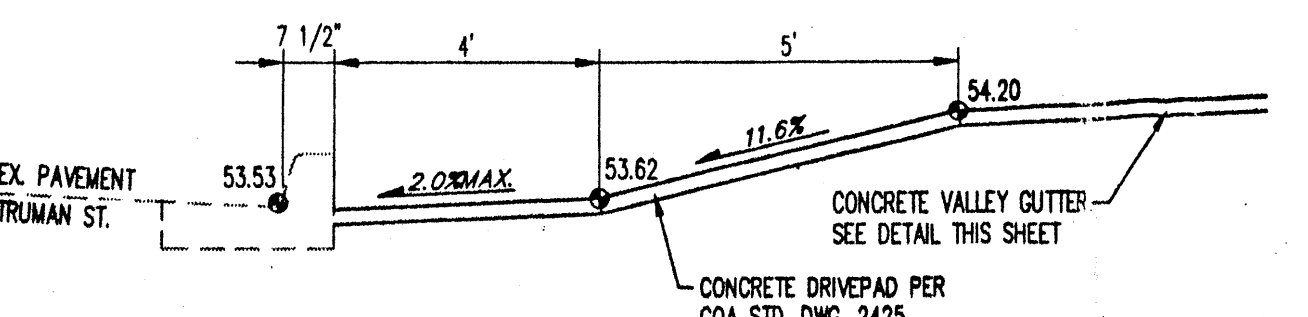
CONSTRUCTION MGT. DIV. DATE

**GRADING NOTES**

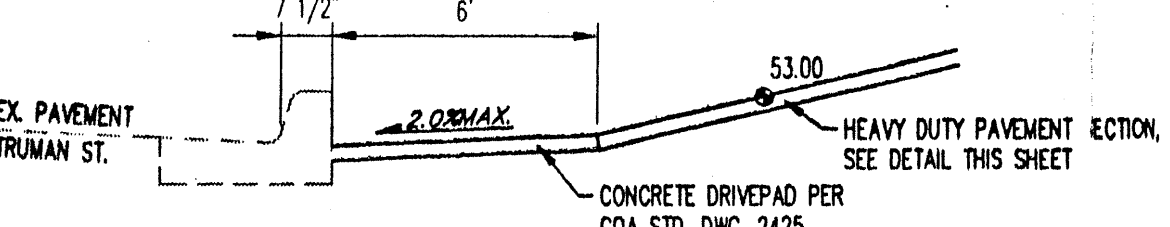
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AT THE PROPERTY LINES PER DETAIL ON SHEET C203 AND METTING THE SOIL TO PROTECT IT FROM EROSION.
7. A DISPOSAL SITE FOR ANY EXCESS EXCAVATION MATERIAL, AND/OR A BORROW SITE CONTAINING ADEQUATE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAIN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING FIN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PAVING AREA AND MUST BE ADJUSTED FOR MEDIAN AND JUNCTIONS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**GRADING KEYED NOTES**

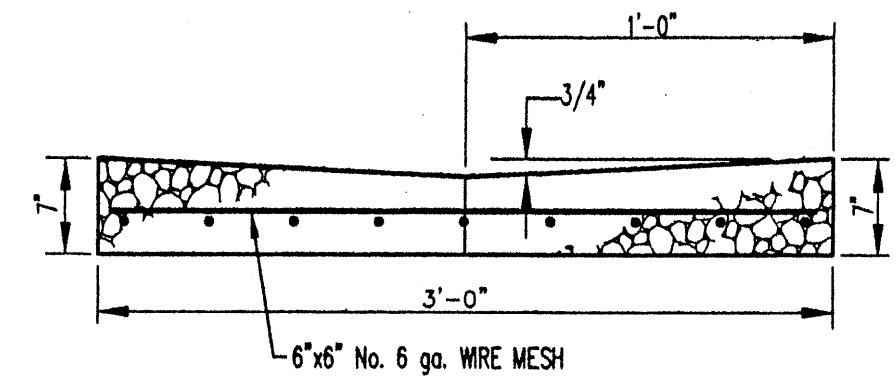
1. HEAVY DUTY PAVEMENT SECTION, SEE DETAIL THIS SHEET
2. REMOVE EXISTING DROP INLET AND INSTALL TYPE "D" INLET, PER COA STD. DWS. 2206. (THIS WORK TO BE PERFORMED UNDER COA PUBLIC WORK ORDER)
3. RETAINING WALL, SEE SHEET C200 FOR DETAIL. WALL SHALL BE SPLITFACE CMU TO MATCH SCREEN WALL. TOP OF WALL ELEVATION SHALL BE 6" MIN ABOVE FGH ELEVATION SHOWN.
4. INSTALL NEW TYPE C DROP INLET AS PER COA STD DWS 2205. CONNECT TO NEW TYPE D INLET W/ 18" SL IN RCP INV. = 50.85. (THIS WORK TO BE PERFORMED UNDER COA PUBLIC WORK ORDER)
5. 22" WIDE SIDEWALK CULVERT PER COA STD. DETAIL 2236. (THIS WORK REQUIRES AN SO 19 PERMIT)
6. REMOVE EXISTING INLET & SOTRM DRAIN PIPE. CAP PIPE AT BACK OF INLET, CONTRACTOR TO VERIFY LOCATION
7. 3' WIDE CONCRETE VALLEY GUTTER, SEE DETAIL THIS SHEET



**SECTION A-A**

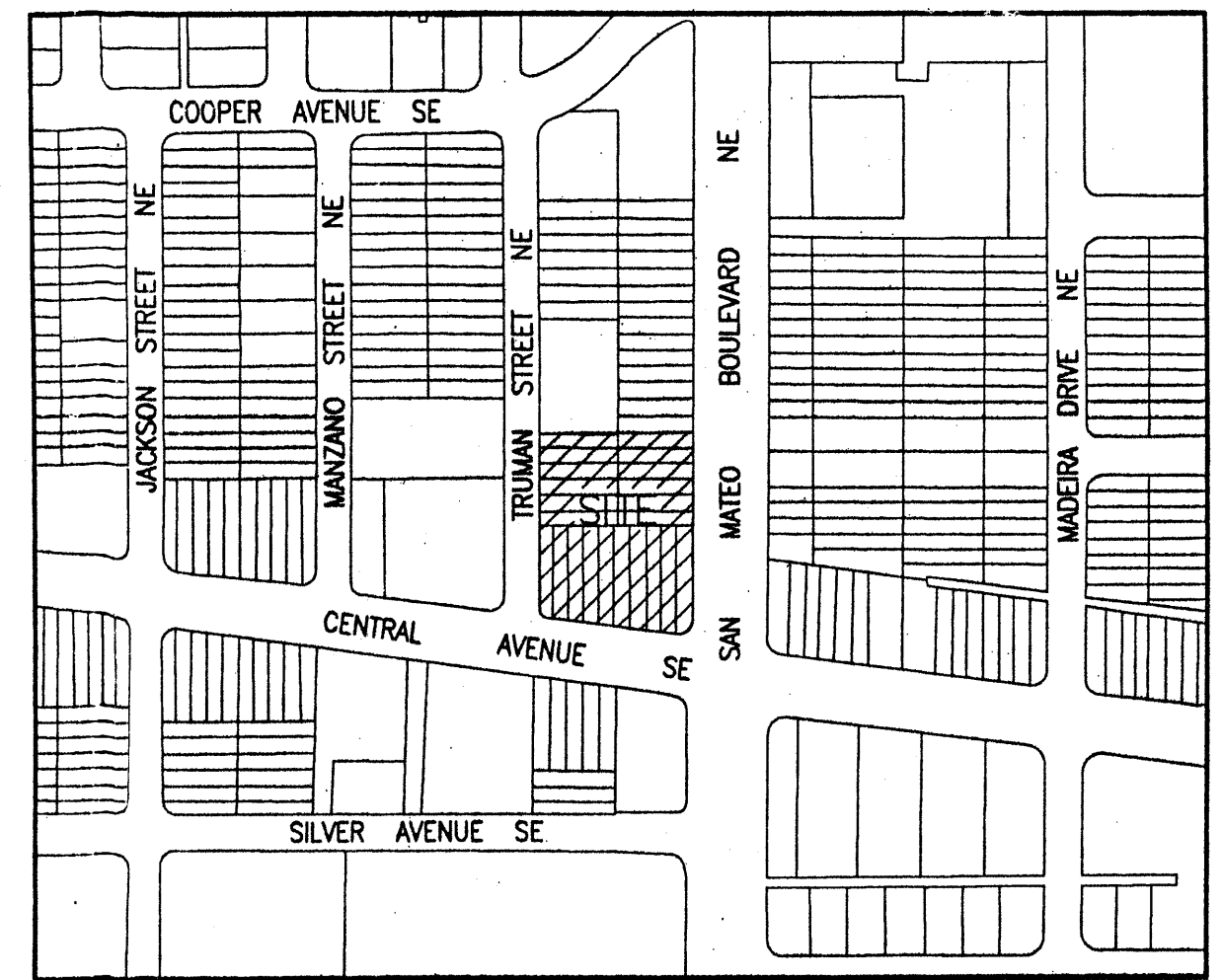


**SECTION B-B**



**TYPICAL VALLEY GUTTER SECTION**

CONCRETE FOR ALL VALLEY GUTTERS WILL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI IN 24 HOURS.



**LOCATION MAP**  
ZONE ATLAS INDEX MAP No. K-17-Z

**LEGAL DESCRIPTION**

A certain tract of land situated within the southeast one-quarter of Section 23, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico. Said tract being Lots 19 thru 40 of Block 37 as the same are shown on the Plot of the VALLEY VIEW ADDITION, recorded in the office of the County Clerk of Bernalillo County, New Mexico on September 2, 1911 in Book 01, page 32.

**LEGEND**

- ALTA BOUNDARY LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE
- EXISTING WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING OVERHEAD ELECTRIC LINE
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND CHISELED MARK AS NOTED
- FOUND IRON PIPE AS NOTED
- FOUND NAIL & SHINER AS NOTED
- FOUND 60D NAIL WITH BRASS WASHER AS NOTED
- FOUND CAPPED REBAR AS NOTED
- FOUND REBAR AS NOTED
- EXISTING GAS METER
- EXISTING METAL LIGHT POLE
- EXISTING POWER POLE
- EXISTING ELECTRIC TRANSFORMER
- EXISTING GUY & ANCHOR
- EXISTING TELEPHONE PEDESTAL
- EXISTING CABLE TV BOX
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEAN OUT
- EXISTING STORM DRAIN DROP INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING TRAFFIC SIGNAL POLE
- FINISH GRADE HIGH
- FINISH GRADE LOW

- PORTLAND CEMENT CONCRETE PAVEMENT  
SEE DETAIL, THIS SHEET
- HEAVY DUTY PAVEMENT  
SEE DETAIL, THIS SHEET

**5245 AS-BUILT ELEV.**

55.37

**ARCHICON, L.C.**  
Architecture & Interiors  
401 N. CENTRAL, SUITE C-101  
PHOENIX, ARIZONA 85012  
(602) 272-0265  
FAX (602) 279-4066  
WWW.ARCHICON.COM

**ECKERD**  
ECKERD DRUG STORE  
NWC CENTRAL AVE. & SAN MATEO BLVD.  
ALBUQUERQUE, NM.

**GRADING PLAN**

C100



H:\1-Eckerd\Truman & San Mateo\CD\Arch\1 sp-1.dwg Oct. 20, 2003 - 8:51pm

PARCEL B 0.556 ACRES

EXIST. ADJACENT  
COMMERCIAL PARCEL - NOT  
A PART

S89°43'16"E 250.00'

PARCEL A  
1.269 ACRE

LOADING AREA

ECKERD DRUG STORE  
# 5403

"2002" PROTOTYPE  
(SOUTHWEST CONTEMPORARY)  
WEB DOWNLOAD 2002 PROTO:  
2/25/03

TOTAL S.F. 13,813 (GROSS FLR. AREA)

TOTAL PARKING REQUIRED: 69

TOTAL PARKING PROVIDED: 75

FINISH FLOOR: 57.00'

5201 Central Ave NE

125'-4" INTERIOR  
125'-4" 1/2" EXTERIOR

TRUMAN STREET NE

SAN MATEO BLVD.

(NMP U-034-1(6)  
(ROW VARIES)

CENTRAL AVENUE SE

ACS BRASS TABLET STAMPED "6-K18A ACS"  
GEOGRAPHIC POSITION (NAD 1927)  
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)  
X=398,545.00 Y=1,483,892.49  
GROUND TO GRID FACTOR = 0.99986021  
DELTA ALPHA = -00°11'42"  
SLD 1929 ELEVATION = 5247.329

POINT OF  
BEGINNING  
PARCEL "A"

19 SITE PLAN

- EXIST. CURB, SIDEWALK AND VALLEY GUTTER TO BE REMOVED.
- NEW 6" WIDE CONC. PEDESTRIAN ACCESS PATH.
- NEW 6" WIDE CONC. PUBLIC SIDEWALK.
- NEW 5' WIDE CONC. RAMP.
- NEW CONCRETE ACCESSIBLE RAMP MAX. 1:12 SLOPE.
- NEW PAINTED ACCESSIBILITY STRIPING.
- NEW CONC. PAVING AT LOADING AREA, REFER TO CIVIL DWG'S.
- LIMITS OF CONSTRUCTION.
- EXIST. ASPHALT PAVING TO REMAIN, NOT A PART.
- NEW 25' HIGH SITE LIGHTING, LIGHT POLE BASE AND COLOR TO MATCH EXIST. ADJACENT COMMERCIAL PARCEL.
- NOT USED
- NOT USED
- NEW 25' HIGH PYLON SIGNAGE WITH READER BOARD.
- EXIST. CURB AND GUTTER TO REMAIN.
- NEW CAST-IN PLACE CURBING.
- NEW CONC. CURB AND VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAILS.
- ASPHALT PAVING, REFER TO CIVIL DWG'S.
- 10'X20' VISIBILITY TRIANGLE.
- 16' HIGH MONUMENT MARQUEE SIGN.
- LIMITS OF CONSTRUCTION/PROPERTY LINE.
- NEW LANDSCAPING AND IRRIGATION, REFER TO LANDSCAPE DWG'S.
- THE CONTRACTOR SHALL COORDINATE WITH PNM FOR REMOVAL AND RELOCATION OF THE STREETLIGHT. THIS WORK SHALL BE PERFORMED BY PNM FORCES.
- NOT USED
- NEW TRASH ENCLOSURE PER CITY OF ALBUQUERQUE/ ECKERD STANDARD DETAILS. REFER TO DETAIL 1/SP4. CONTRACTOR TO COORDINATE WITH THE CITY OF ALBUQUERQUE SOLID WASTE DISPOSAL DEPT. TO VERIFY ENCLOSURE ANGLE IS CORRECT PRIOR TO CONSTRUCTION
- NEW CONC. TIRE STOPS- LOCATED AT FRONT AND SIDE OF BLDG. REFER TO DETAIL 3 / SP3.
- NOT USED.
- NOT USED.
- NEW ELECTRICAL TRANSFORMER- REFER TO ELECT. DWG'S.
- NEW ELECTRICAL SERVICE ENTRANCE SECTION - REFER TO ELECT. DWG'S.
- NOT USED.
- EXISTING MEDIAN TO REMAIN.
- NEW 6" HIGH CONCRETE PAD AT S.E.S.
- NEW 3' HIGH SPLIT-FACE MASONRY SCREEN WALL. INTEGRAL COLOR. REFER TO STRUCTURAL DWG'S.
- NOT USED.
- 6" HIGH CONCRETE PAD AT NEW TRANSFORMER.
- NOT USED.
- DRIVE-THRU LANE SIGNAGE, 14'-0" MAXIMUM CLEARANCE.
- BIKE RACK- PAINT TO MATCH FIELD COLOR OF BLDG, REFER TO DTL. 8/SP4.
- 6" CONC. PIPE BOLLARDS, DTL. 1/AB.1.
- "ONE-WAY SIGNAGE".
- NEW STRIPING

## 12 KEYNOTES

- PAINT SERVICE ENTRANCE SECTION TO MATCH THE BUILDING AND/OR SCREEN FROM VIEW.
- NO EXTERIOR PUBLIC SPEAKER SYSTEM SHALL BE ALLOWED.
- ALL MECHANICAL AND COMMUNICATION EQUIPMENT SHALL BE FULLY SCREENED BY A PARAPET THAT MATCHES THE BUILDING IN COLOR AND TEXTURE.
- EXTERIOR SIGN REQUIRE SEPARATE APPROVALS AND PERMITS.
- FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.

## 15 GENERAL NOTES

TOTAL S.F. 13,813 (GROSS FLR. AREA) ÷ 200 = 69 SPACES REQUIRED  
TOTAL PARKING PROVIDED: 75

TOTAL HANDICAPPED REQUIRED: 4  
TOTAL HANDICAPPED PROVIDED: 4

## 18 PARKING CALCS.

ALBUQUERQUE  
BUILDING & SAFETY  
OCT 2 8 2003  
U.S.C.  
PLAN CHECK  
SECTION

REGISTERED  
OCT 23 2003  
HYDROLOGY SECTION

CENTRAL AVENUE SE

PROPOSED SITE

Zone Atlas Map K-17-Z

## 24 LOCATION MAP

ARCHICON, L.C.  
Architecture & Interiors  
401 N. CENTRAL AVE. SUITE C-100  
PHOENIX, ARIZONA 85012  
(602) 272-4066  
FAX (602) 279-4068  
WWW.ARCHICON.COM

STATE OF NEW MEXICO  
JERE W. PLANCK  
NO. 2819  
REGISTERED ARCHITECT

DATE	BY/CHK	REVISION	DESCRIPTION

ECKERD DRUG STORE  
STORE # 5403  
NWC CENTRAL AVE. & SAN MATEO BLVD.  
5201 CENTRAL AVE NE ALBUQUERQUE, NM 87108

DATE	INITIAL	REVIEW

Scale: 1" = 20'-0"  
Drawn: [Signature]  
Checked: [Signature]  
Drawing Start Date: 12/6/02  
ARCHICON Job No: 0310181-03  
Day's File Name:

Sheet:  
SITE PLAN  
SP-1



CONSTRUCTION ADDRESS 5201 Central Avenue NE

APPLICANT TO PROVIDE ALL INFORMATION BELOW:

TYPE OF APPLICATION

- ☒ NEW BUILDING ☐ REMODEL  
☐ SHELL-ONLY ☐ REPAIR  
☐ ADDITION ☐ OTHER

LEGAL DESCRIPTION

LOT NO. 19-40 BLOCK NO. 39  
SUBDIVISION Valley View Addition  
TRACT PARCEL UNIT   
UNIFORM PROPERTY CODE 101905751921043915

OWNER Texas Southwest Corporation PHONE (800) 945-5500  
ADDRESS 6340 E. Thomas Road, Suite 100  
Phoenix, AZ ZIP 85012

ARCHITECT, ENGINEER

OR DESIGNER Architect, L.L. PHONE (602) 222-4266  
ADDRESS 4041 N. Central Avenue, Suite 1-100  
Phoenix, AZ ZIP 85012

CONTRACTOR JAVAS Corp

ADDRESS 2906 Broadway NE PHONE 3458591  
Albuquerque, NM ZIP 87107  
NM STATE LICENSE NO. 4866  
LICENSE CLASSIFICATION   
NM STATE TAX NO. 01-712047-00  
ALB. BUSINESS REG. NO. 42177

CONSTRUCTION DATA:

NUMBER OF STORIES 1 AUG 25 2003  
U.B.C. PART CHECK SECTION  
SQUARE FOOTAGE 13,814  
VALUATION OF WORK \$1,008,422

NO. OF APT. OR MOTEL UNITS  NO. OF BUILDINGS 1

OWNERSHIP

- ☒ PRIVATE  
☐ PUBLIC

DESCRIPTION OF WORK:

Site improvements and new retail building.

- ☐ PUBLIC (BUILT WITH PUBLIC FUNDS)  
☒ COMMERCIAL  
☐ TRIPLEX  
☐ FOURPLEX  
☐ APARTMENT COMPLEX GREATER THAN FOUR UNITS  
☐ FOUNDATION ONLY  
☐ FOUNDATION FOR MODULAR BUILDING  
☐ OTHER (DESCRIBE)

CERTIFICATE OF OCCUPANCY REQUIRED?

SHELL CERTIFICATE OF COMPLETION REQUIRED? ☐ ☒

APPROVALS REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE:

- ☒ ENVIRONMENTAL HEALTH  
☒ FIRE MARSHAL  
☒ HYDROLOGY  
☒ MECHANICAL  
☒ PLUMBING  
☒ ELECTRICAL  
☐ BOILER  
☐ ELEVATOR  
☒ REFUSE  
☒ TRANSPORTATION DEVELOPMENT  
☐ BUILDING CODE  
☒ ZONING

NOTE: Final inspections are required on all permitted work whether a Certificate of Occupancy is required or not.

PLAN CHECK APPLICATION NO. 0312714  
PLAN CHECK APP. FEE \$1649.05 ADJUSTED  
ZONING 40.00 F.P.O. 31.00  
VALUATION OF WORK 1,008,422.00  
BUILDING PERMIT NO. 0312714  
BUILDING PERMIT FEE \$1,076.36

IS THIS DEVELOPMENT WITHIN 1000 FT. OF A FORMER LANDFILL SITE?

YES ☐  
NO ☒



CITY OF  
**ALBUQUERQUE**  
BUILDING SAFETY DIVISION  
600 Second Street N.W.  
Albuquerque, New Mexico 87102

## GENERAL NOTES

- One set of approved plans shall be kept on the site of the building or work at all times during which the work authorized thereby is in progress.
- Separate permits are required for plumbing, gas and electrical work.
- For foundation-only permits, a separate set of plans must be submitted. Plumbing, mechanical and electrical work in/under the slab shall be inspected and approved before any concrete is poured.
- The issuance of a permit does not guarantee that the permit holder (owner) will receive a Certificate of Occupancy upon completion of construction. It is the permit holder's responsibility to comply with all of the requirements for a Certificate of Occupancy including obtaining water and sanitary sewer service, electrical service and natural gas service.
- The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the Utility Development Division of the Public Works Department.
- City-approved street and alley top-of-curb elevations shall be used when establishing lot grades and rear property lines. In the event that these approved elevations are not used, the City assumes no responsibility for loss of access to property or damage to property-line walls upon construction of streets, alleys, curbs and gutters.
- Separate permits are required for retaining walls, garden walls and fences.
- Gates in walls or fences on private or public property shall not swing over sidewalks, streets, alleys or other public rights-of-way.
- Toilet facilities for the workers shall be provided at all construction sites.

## ZONING ENFORCEMENT

(505) 924-3849

CITY ZONE C2 ZONING MAP K17 LOT ACREAGE 1.63  
CASE/FILE NO.   
USE Drug Store (New Building)

CAUTION ON LOCATION OF STRUCTURE: City approval is contingent upon correct information being received from the owner's agent (architect, engineer, etc.). Zoning approval is for structures sited exactly as specified on these plans. Setbacks are measured from the lot lines. The lot line at the street right-of-way is not necessarily the curb or the edge of the sidewalk.

S. Park Development Fee, Park Dedication and Development Ordinance, Sections 14-9-3(A) and (B), ROA 1994.

Landscaping and irrigation shall be designed, installed, maintained and operated as required by the Water Conservation, Landscaping and Water Waste Ordinance, 6-1, ROA 1994.

All construction shall be in compliance with the Solar Permit Ordinance, 14-11, ROA 1994. City approval of plans is not a guarantee of compliance with any private solar rights which may be recorded with the County Clerk pursuant to Section 14-9-1, NMSA, 1978.

Proposed construction complies with the Comprehensive City Zoning Code, 14-16, ROA 1994.

PLANS DISAPPROVED 10/14/03 DATE 10/14/03  
PLANS APPROVED 10-12-2003 DATE 10-12-2003

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

See city code

## ENVIRONMENTAL HEALTH

### CONSTRUCTION SERVICES SECTION

(505) 924-3623

E-Mail: aehdconstserv@cabq.gov

PLANS DISAPPROVED  DATE   
PLANS APPROVED  DATE 09/04/04  
CONDITIONAL APPROVAL  DATE

PLEASE NOTE: Environmental Health administers programs which are not in the general construction permit review process. If the Construction Services Section has determined that your project is regulated by such a program, you will be granted **CONDITIONAL APPROVAL**. The specifics of the approval condition(s) will be provided below, along with appropriate contact information. While the **CONDITIONAL APPROVAL** will not impede the issuance of your general construction permit, failure to observe the approval conditions will prevent Construction Services personnel from conducting a final inspection of your project.

PLANS CORRECTIONS REQUIRED:

CONDITIONAL APPROVAL REQUIREMENTS:

Any additional documentation which may be required for the granting of a conditional approval is in addition to, and separate from, the general construction permitting process. The required documentation must be submitted independently, by the applicant, to the cited Environmental Health program administration personnel. Verification of the approval condition(s) have been met will be required by Construction Services personnel at the time of inspection.

## TRANSPORTATION DEVELOPMENT

(505) 924-3620

PLANS DISAPPROVED 10/21/03 DATE 10/21/03  
PLANS APPROVED 10/28/03 DATE 10/28/03

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

Need DBB approved site plan or approved T.C.L.  
Need approved T.C.L.

## SOLID WASTE DISPOSAL

(505) 761-8100

A final inspection by the plan checker of the Solid Waste Management Department (SWMD) is required. Required refuse container(s) shall be in place before a Certificate of Occupancy will be issued.

An inspection by the SWMD plan checker is required before the concrete slab or apron is poured.

Each customer shall provide their own refuse container(s).

Contact the SWMD at least thirty (30) days prior to occupancy to start service.

Proposed construction complies with the Albuquerque Municipal Refuse Collection Service Ordinance (Ordinance 42-1980, as amended).

PLANS DISAPPROVED  DATE   
PLANS APPROVED Michael Holten 701-8142 DATE 8-28-03

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

Approved on condition - slight sample of encumbrances suggested for better truck approach, tail fin clearance, also 10' air bed behind.

## HYDROLOGY

(505) 924-3983

PLANS DISAPPROVED 10/21/03 DATE 10/21/03  
PLANS APPROVED 10/28/03 DATE 10/28/03

PLANS DISAPPROVED FOR THE FOLLOWING REASONS:

☒ Drainage report/plan required for new construction and for additions of 500 square feet or more to existing structures. See Section 14-5-2-12 of the City's Drainage Ordinance. A pre-design conference with this office is recommended.

☒ Follow procedures for drainage submittals as outlined on page 1, Section 17, Volume 1 of the City's Development Process Manual.

☒ Attach a copy of the approved drainage report/plan to each set of building plans.

☐ Pending approval of drainage report/plan submitted.

## FIRE MARSHAL

(505) 924-3611

THIS WORK WILL REQUIRE A FIRE INSPECTION BY THIS OFFICE.

- All items listed below shall be installed in accordance with applicable fire codes prior to a building (or portion of a building) being occupied.
- All required fire hydrants shall be installed and operable before any building (or portion of the building) is occupied.
- An approved and adequate water supply shall be provided before any combustible materials are delivered to the building site.

NAME OF BUSINESS 5201 CENTRAL AVE NE STORE OR SPACE NO. 142254  
OCCUPANCY GROUP M CONSTRUCTION TYPE SPRINK  
FIRE FLOW REQ'D. 1610 GPM FIRE HYDRANTS REQ'D.

PLANS DISAPPROVED 9-19-03 DATE 9-19-03  
PLANS APPROVED 10-21-03 DATE 10-21-03

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

VERIFY LOCATION OF TWO REQUIRED FIRE HYDRANTS FOR THIS PROJECT.  
REQUIRED HYDRANTS SHALL BE WITHIN 450 FT. OF THE FURTHEST POINT OF THE BUILDING AS THE TRUCK ROOLS.  
FIRE SPRINKLER SHOP DRAWINGS SHALL BE SUBMITTED & APPROVED PRIOR TO INSTALLATION.  
PROVIDE SIGNAGE TO ACCESS DOOR LEAD FIRE RISER (TO ROOM FIRE SPRINKLER RISER).  
VERIFY LOCATION OF 5 REQUIRED EXTINGUISHERS RATED 2A TO 10 BC.  
VERIFY PREMISE ID.  
PROVIDE KEY BOX FOR 24 HR FIRE DEPT. EMERGENCY ACCESS.

## UNIFORM BUILDING CODE

(505) 924-39

Premises shall not be occupied until a Certificate of Occupancy has been issued in accordance with Section 309 of the Uniform Administrative Code.

DESCRIPTION OF WORK Pharmacy Store  
SIZE OF BLDG. (SQ. FT.) 14,225 OCCUPANCY GROUP M  
CONSTRUCTION TYPE SPRINK BUILDING CODE EDITION (YR) 97

PLANS DISAPPROVED 10/15/03 DATE 10/15/03  
PLANS APPROVED 10/28/03 DATE 10/28/03

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

1 Provide two copies of certified structural calculations & seismic bracing details for use in Storage racks over eight feet in height.  
2 Fire rated underlayment protection UFG-100-43.3.9  
3 Provide two copies of a Storage Rack Report  
4 Provide a copy of any door  
5 Provide clearances & sections of one check out counter and one of each type of service counter which shows full unobstructed maneuvering clearances for both the customer and employee.  
6 Review the Structural Code & Design Date is reflect the following 75 mph wind speed 1 seismic zone and 10 psf roof live load non-removable.  
8 Review the Correction Procedures Attachment

Pending 10/14/03

## UPC, UMC, NEC

(505) 924-3957

CODE EDITIONS (YR.):

UPC 1997 UMC 1997 NEC 2002

PLANS DISAPPROVED 10/16/2003 DATE 10/16/2003  
PLANS APPROVED 10/16/2003 DATE 10/16/2003

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

- Provide calculations / MEC
- Provide perimeter insulation / MEC Re address
- Resolve conflict between roof drains P1.0 and scuppers A2.2.
- Provide a backflow preventer the water meter for containment purposes with hotbox / the City of Albuquerque Building Ordinance.
- Provide a backflow device serving the film processor for isolation purposes / the City of Albuquerque Building Ordinance. RE ADDRESS