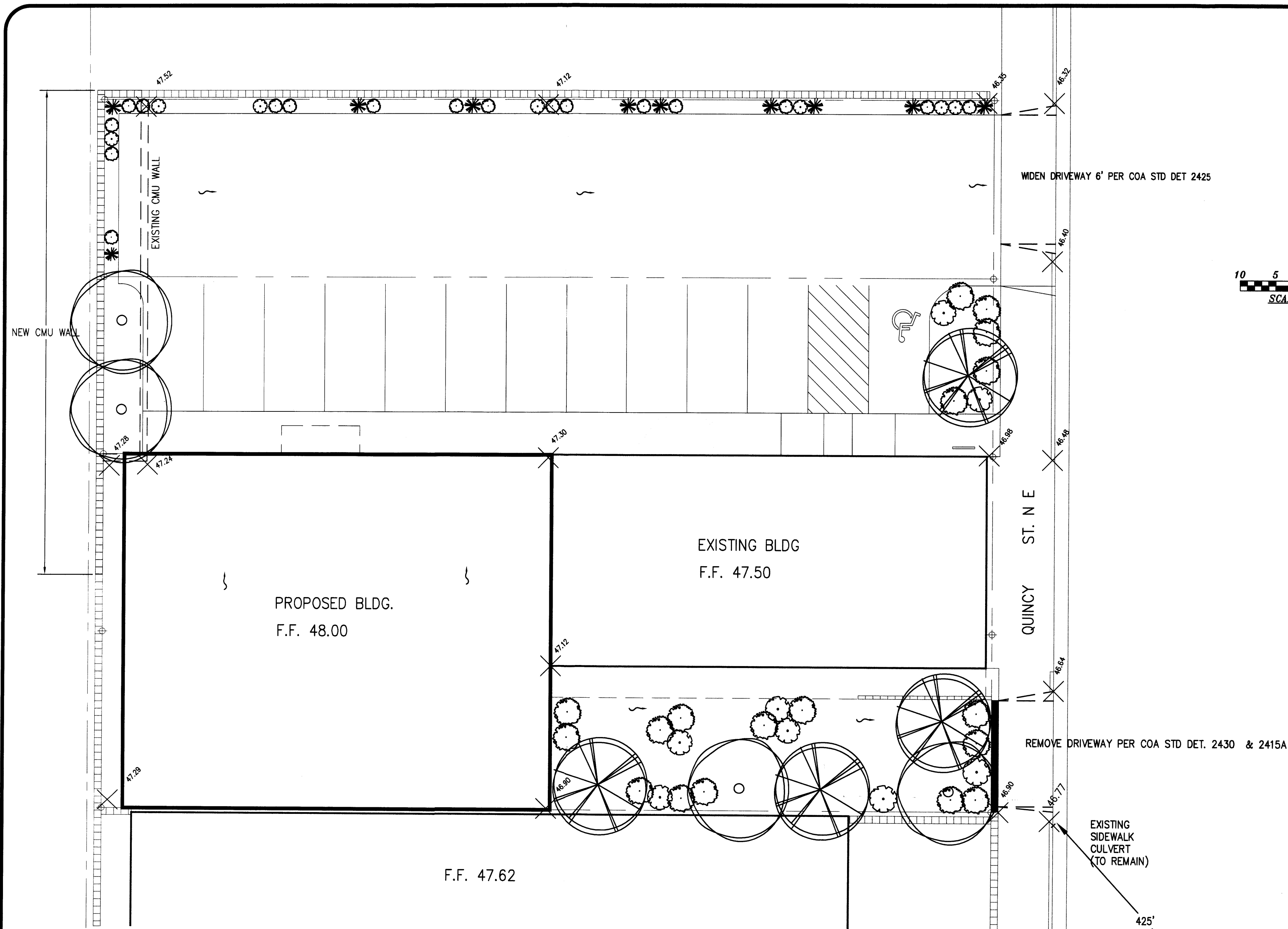




Design Criteria:

- A. ZONING DESIGN CRITERIA
1. LEGAL DESCRIPTION: LOTS 13-16, BLOCK 41, VALLEY VIEW ADDITION, BERNALILLO COUNTY, NEW MEXICO
2. LOT SIZE: 12,500 S.F. (0.29 ACRES)
3. ZONING CLASSIFICATION: C-2
4. PERMITTED AND ACTUAL USE: OFFICE AND CONDITIONAL USE - SELF STORAGE
5. SETBACKS:
 - A. REQUIRED
 - FRONT - 5 FEET
 - SIDE - 0 FEET
 - REAR - 0 FEET
 - B. PROVIDED
 - FRONT - .60 FEET
 - SIDE - .0 FEET
 - REAR - .5 FEET
6. HEIGHT:
 - A. ALLOWED - 26 FEET
 - B. ACTUAL - 24 FEET
7. PARKING
 - A. EXISTING BUILDING - 1,800 NSF / 200 = 9
 - B. NEW BUILDING - 6,000 NSF / 2000 = 3

PARKING REQUIRED (10%) - 12
TRANSIT REDUCTION REQUIRED - 11
TOTAL PARKING REQUIRED - 11

TOTAL PARKING PROVIDED:
1. VAN ACCESSIBLE SPACES - 1
2. STANDARD PARKING SPACES - 11
TOTAL - 12
8. LANDSCAPING
 - A. NET LOT AREA - 2,700 S.F.
 - B. REQUIRED (15% OF NET LOT AREA) - 4,150 S.F.
 - C. PROVIDED - 1,500 S.F. (18%)
9. BICYCLE SPACES
 - a. REQUIRED - 22 / 20 = 2 NO LESS THAN 2
 - b. PROVIDED - 2
10. ZONE ATLAS PAGE NO. - K-17-Z
11. REFUSE: SHARED WITH ADJACENT PROPERTY

HYDROLOGY:

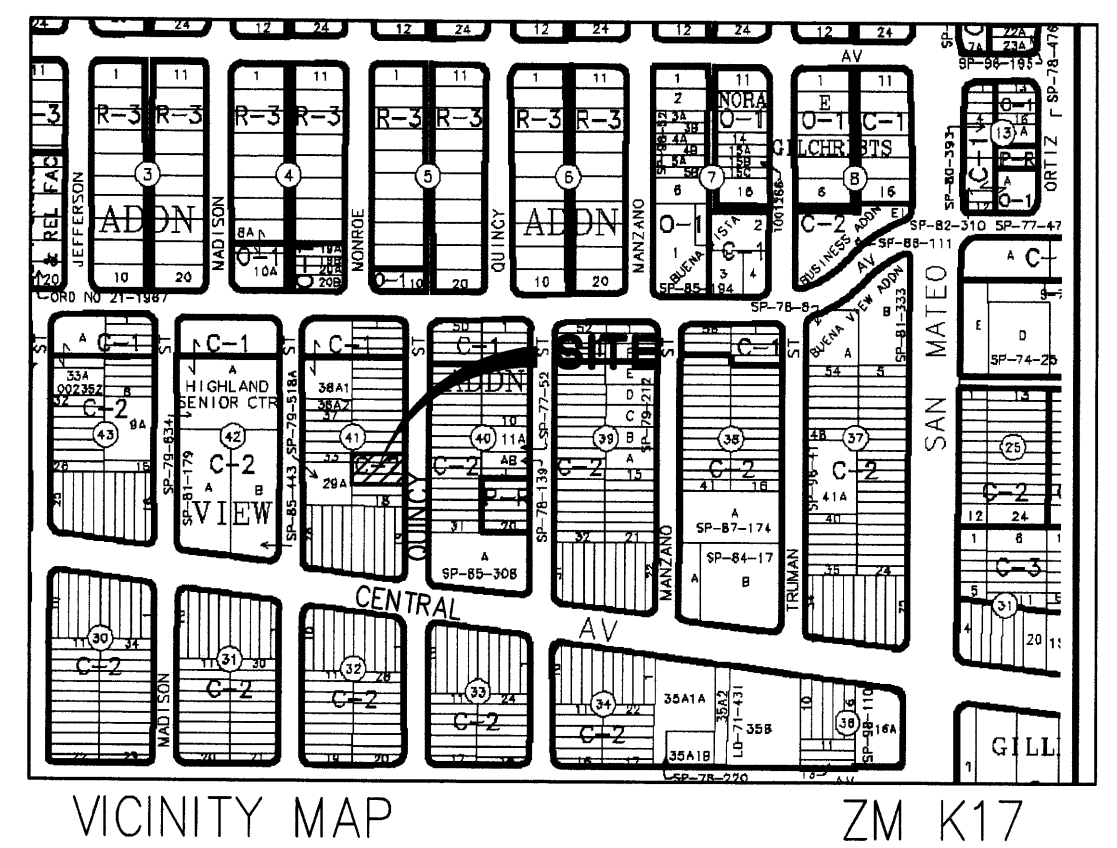
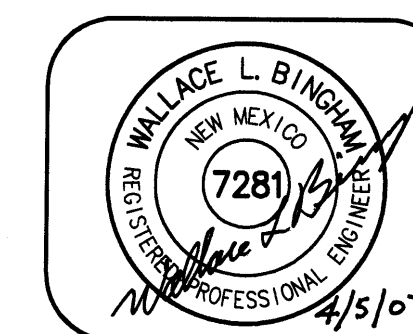
START TIME=0.0 CODE 0 LINES 80
 *S COMPUTE 100 YR. HYDROGRAPHS FOR THE DEVON SELF STORAGE
 *S
 *S DEVIN.DAT - AHYMO PER JAN 1993 DPM REVISIONS
 RAINFALL TYPE=1 RAIN QUAR=0.0 RAIN ONE= 2.01
 RAIN SIX= 2.35RAIN DAT=2.75 DT=0.0333
 *S EXISTING CONDITION
 COMPUTE NM HYD ID=1 HYD NO= 101.1 DA=0.0005 SQ MI
 PER A 0 PER B 0 PERC 0 PER D 100 TP=-.13
 RAIN=-1 DT=0.0
 ID=1 CODE=10
 PRINT HYD
 *S PROPOSED
 COMPUTE NM HYD ID=2 HYD NO= 102.1 DA=0.0005 SQ MI
 PER A 0 PER B 10 PERC 0 PER D 90 TP=-.13
 RAIN=-1 DT=0.0
 ID=2 CODE=10
 PRINT HYD
 *S
 FINISH

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
 INPUT FILE = E:\ahymo\WALRAYN.txt

- VERSION: 1997.02a RUN DATE (MON/DAY/YR) = 01/19/2007
 USER NO. = AHYMO-I-9702a01000070-SH

COMMAND	HYDROGRAPH ID	NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE
START									1
*S COMPUTE 100 YR. HYDROGRAPHS FOR THE DEVON SELF STORAGE									
*S	DEVIN.DAT								
*S									
RAINFALL TYPE= 1									
*S EXISTING CONDITION									
COMPUTE NM HYD	101.10	1	.00050	1.37	.052	1.95775	1.499	4.285 PER IMP= 100.00	
*S PROPOSED									
COMPUTE NM HYD	102.10	2	.00050	1.31	.049	1.82591	1.499	4.083 PER IMP= 90.00	
FINISH									

BINGHAM ENGINEERING
 6344 Belcher NE
 Albuquerque, New Mexico 87109
 505 797 4699



NARRATIVE:

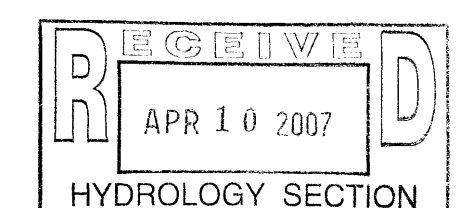
THE EXISTING CONDITION CONSISTS OF ONE STORY OFFICE BUILDING AND A SMALL PORTABLE STORAGE BUILDING. THE UPGRADE WILL REMOVE THE PORTABLE BUILDING AND CONSTRUCT A TWO STORY PERMANENT STORAGE BUILDING. THE LANDSCAPING WILL OCCUPY ABOUT 11% OF THE LOT.

DRAINAGE WILL REMAIN AS BEFORE, DIRECT DISCHARGE TO THE STREET. BECAUSE THERE IS LANDSCAPING PROPOSED, THE PEAK DISCHARGE WILL BE REDUCED SLIGHTLY.

THE SITE IS NOT IN A FLOOD PLAIN.

SYMBOL LEGEND

CURB AND GUTTER	□
SQUARE STEEL TUBE POST	□
TREE	✱
SPOT ELEVATION	⊙
LUMINAIRE STANDARD	⊙
CONTOUR	— 4854 —
SHRUBS	⊙
SINGLE POST SIGN	⊙
STORM INLET	⊙
PROPERTY LINE	—
PROPOSED CONTOUR	—
PROPOSED SPOT ELEVATIONS	32
DOWN SPOUT	⊙
FLOW DIRECTION	—
HEC RAS WATER'S EDGE	—
ENERGY GRADE LINE	—
TOP OF CON. PAD	— TP —
TOP OF CURB	— TC —
TOP OF ASPHALT	— TA —
FLOWLINE	— FL —
TOP OF WALL	— TW —
ROOF FLOWS	— RF —
TOP OF SIDEWALK	— TS —
STORM INLET	— STI —



GRADING AND DRAINAGE PLAN
Self Storage Building
 119 Quincy Street NE
 Albuquerque, New Mexico