

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 15, 2022

Evan Davis
Sunlight Homes
3100 San Joaquin SE
Albuquerque, NM 87106

Re: Jefferson Townhomes
99999 Jefferson St. SE
Traffic Circulation Layout
Architect's Stamp 12-15-22 (K17-D099A)

Dear Mr. Davis,

The TCL submittal received 12-12-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

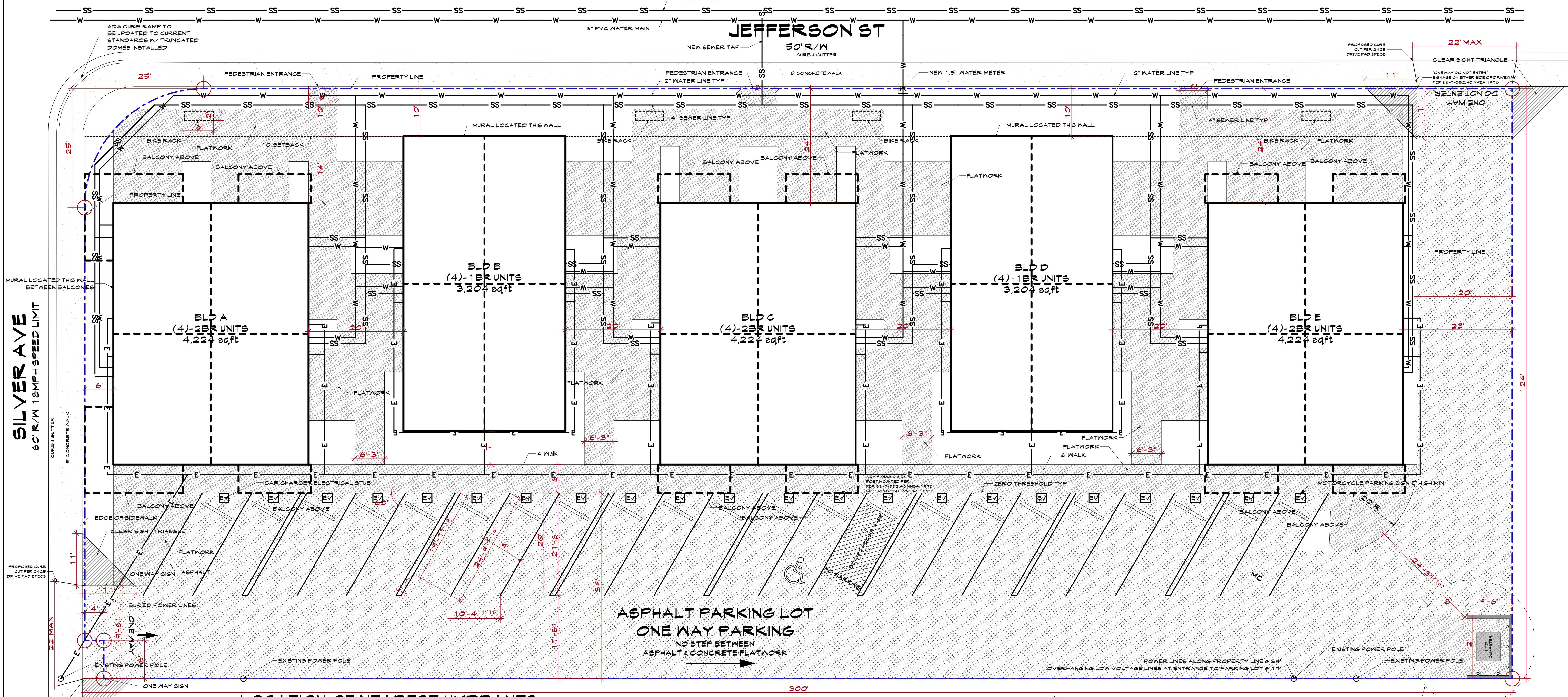
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



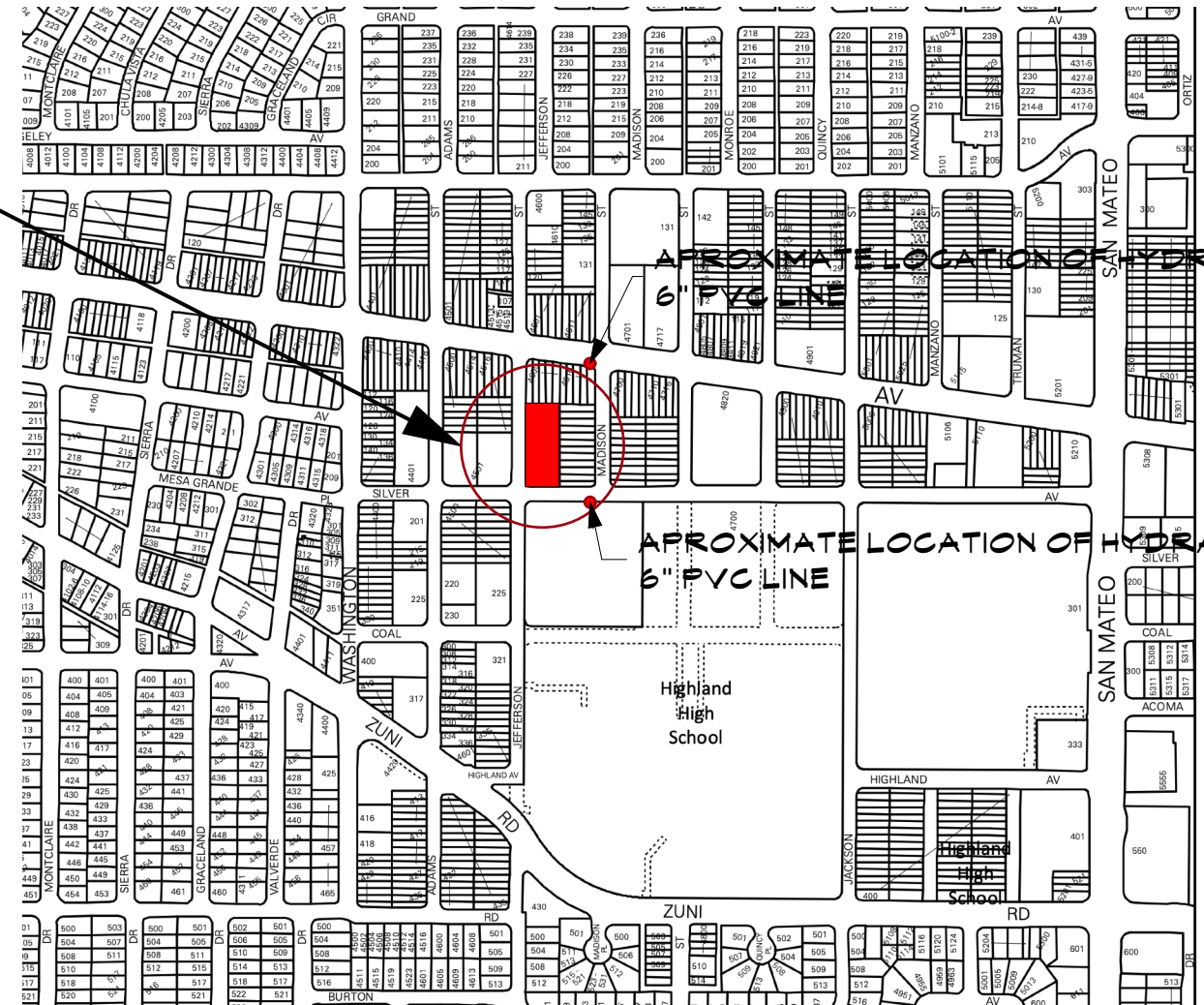
FIRE 1 NOTES

- FOR PURPOSES OF FIRE 1 PROJECT TO BE REVIEWED UNDER IRC
- 10' MIN BETWEEN NEW CONSTRUCTION AND EXISTING DWELLINGS TYP.
- BUILDINGS TO BE UNSPRINKLED, 2HR FIRE WALL BETWEEN UNITS
- TOTAL BUILDING HEIGHT = 22'-9"
- POWER LINES ABOVE SIDEWALK ADJACENT TO PROPERTY ON SILVER & JEFFERSON ARE 3'-4" FROM THE GROUND
- MAXIMUM DISTANCE FROM EAST END OF BUILDING TO JEFFERSON IS 9'
- STICK FRAME TYPE VS CONSTRUCTION
- 1.750GPM FIRE FLOW REQUIRED
- ADDRESS NUMBER TO BE PLAINLY LEGIBLE FROM STREET. EACH BUILDING TO DISPLAY A SPECIFIC NUMERICAL DESIGNATION AND BE CLEARLY DISTINGUISHABLE FROM THE FIRE APPARATUS ROAD

SITE PLAN

- Building Outline
- Set Back
- Property Line
- Power
- Telephone
- Gas
- Water
- Sewer
- Property Corner

- SITE PLAN NOTES**
- REFER TO GRADING AND DRAINAGE PLAN FOR FINISHED FLOOR AND LANDSCAPING GRADES
 - 1 OFF STREET PARKING SPACE PER DWELLING UNIT REQUIRED PER TABLE
 - 5-5-1 OF THE IDO, TOTAL REQUIRED PARKING - 20 SPACES
 - 10' MIN BETWEEN NEW CONSTRUCTION AND EXISTING DWELLINGS TYP.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH THE SIDEWALK AND CURB & GUTTER. REFER TO THE CITY STANDARD DRAWINGS 2430 (SIDEWALK) 2415 (CURB & GUTTER).
 - PROVIDE ADA PARKING SPACES WITH SIGN PER 66-7-352.4C NMSA 1978 WHICH STATES "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PROVIDE ADA ACCESSIBLES WITH THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSEST TO WHERE THE ADJACENT VEHICLES REAR TIRE WOULD BE PLACED (66-1-4.1.B NMSA 1978)
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
 - BUILDINGS TO BE UNSPRINKLED, 2HR FIRE WALL BETWEEN UNITS
 - TOTAL BUILDING HEIGHT = 22'-9"
 - UNUSED CURB CUTS TO BE REPLACED WITH CURB & GUTTER PER CITY STANDARD 2415A & 2430
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE



HEATED FLOOR AREA:
TOTAL 20-FLEX FLOOR AREA = 19,080 SQ. FT.
2BR UNIT FLOOR AREA = 1,056 SQ. FT. (X 12)
1BR UNIT FLOOR AREA = 801 SQ. FT. (X8)

BIKE RACK DETAIL

REQUIRED PARKING SPACES PER IDO = 20
SPACES PROVIDED = 20

REQUIRED MOTORCYCLE PARKING SPACES PER IDO = 1
SPACES PROVIDED = 1

REQUIRED BICYCLE PARKING SPACES PER IDO = 3
SPACES PROVIDED = 3

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Armijo 12/15/2022
Signed Date

Legal Description:
LOTS 11 THRU 22, BLOCK 30 VALLEY VIEW ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
.85 AC