

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 9, 2024

Evan Davis
Sunlight Properties LLC
3100 San Joaquin SE
Albuquerque, NM 87106

Re: Jefferson/ Silver Townhomes/ 140 Jefferson St. SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 12-15-22 (K17-D099A)
Certification dated 05-02-24

Dear Mr. Davis,

Based upon the information provided in your submittal received 05-06-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

May 2, 2024

Evan Davis
Sunlight Properties LLC
3100 San Joaquin SE
Albuquerque, NM 87106



Project: Jefferson/Silver Townhomes

Address: Lots 11-22, Block 30, Valley View Addition, Albuquerque, Bernalillo County, New Mexico

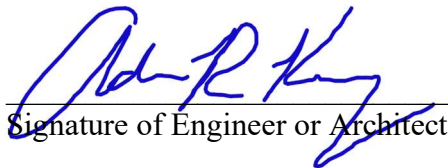
KE Project #2670

TRAFFIC CERTIFICATION

I, Adam R. King, NMPE NUMBER 19897, OF THE FIRM King Engineering LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9.21.22. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Evan Davis OF THE FIRM Sunlight Properties LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON May 2, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

EXCEPTIONS: The handicap space and associated striped 'No Access Aisle', shown on the approved plan in spaces 12 & 13, occur in the first two spaces from Silver Ave.

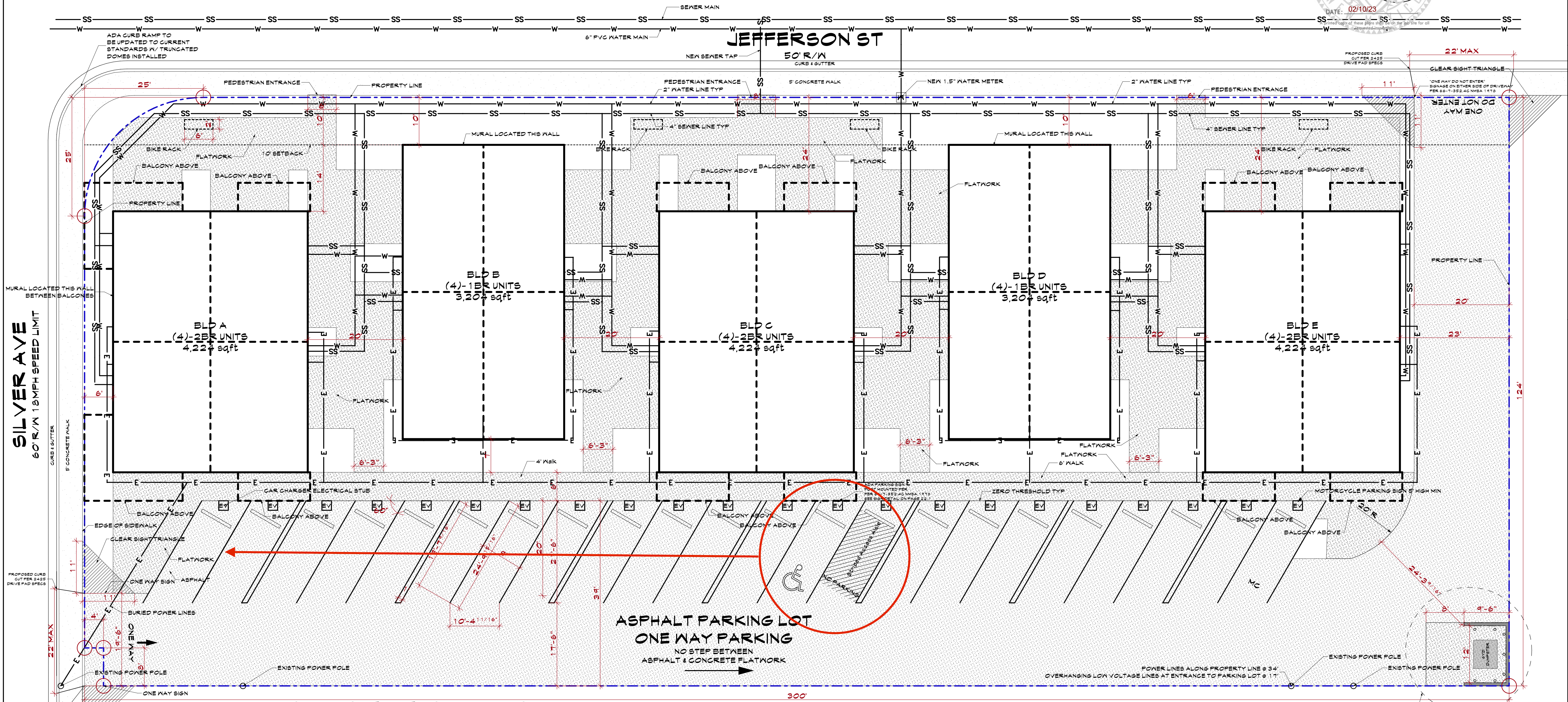
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

5/2/2024

Date





SILVER AVE
60' R/W 15MPH SPEED LIMIT

JEFFERSON ST
50' R/W
CURB & GUTTER

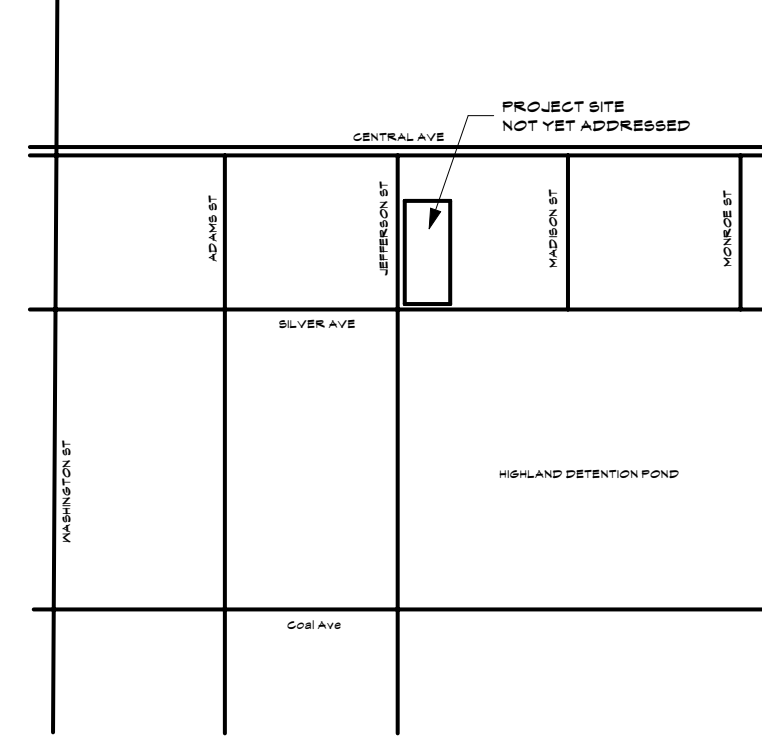
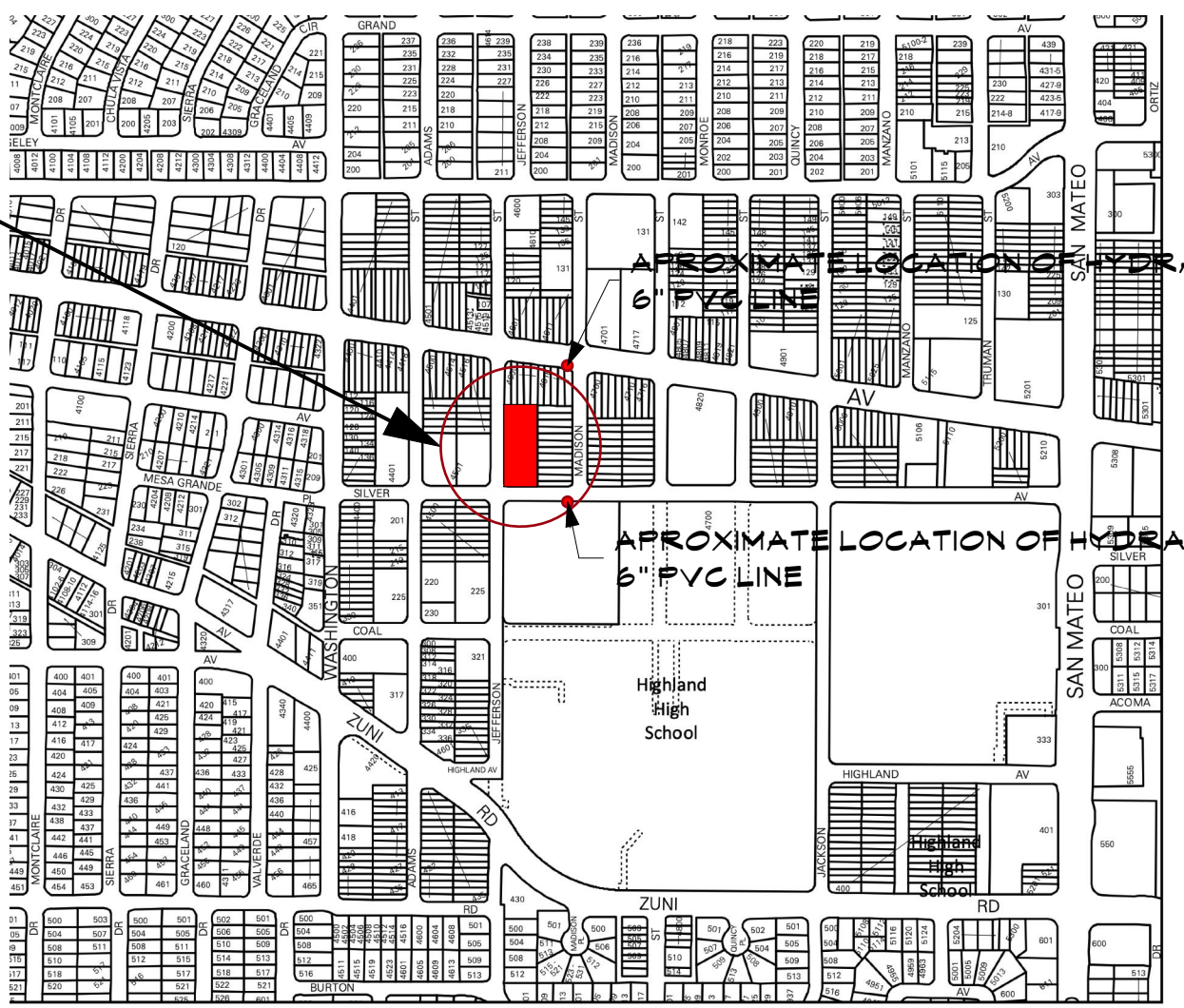
HYDRANT APPROX 133' SOUTHEAST
ON OPPOSITE SIDE OF SILVER FED
BY 6" PVC MAIN FROM MADISON ST

LOCATION OF NEAREST HYDRANTS

SITE PLAN	
Building Outline	
Set Back	
Property Line	
E	Power
T	Telephone
G	Gas
W	Water
SS	Sewer
○	Property Corner

- SITE PLAN NOTES**
1. REFER TO GRADING AND DRAINAGE PLAN FOR FINISHED FLOOR AND LANDSCAPING GRADES
 2. 1 OFF STREET PARKING SPACE PER DWELLING UNIT REQUIRED PER TABLE
 3. 5-5-1 OF THE I.D.O. TOTAL REQUIRED PARKING - 20 SPACES
 4. 10' MIN BETWEEN NEW CONSTRUCTION AND EXISTING DWELLINGS TYP.
 5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 6. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH THE SIDEWALK AND CURB & GUTTER. REFER TO THE CITY STANDARD DRAWINGS 2430 (SIDEWALK) 2415 (CURB & GUTTER).
 7. PROVIDE ADA PARKING SPACES WITH SIGN PER 66-7-352.4C NMSA 1978 WHICH STATES "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PROVIDE ADA ACCESSIBLES WITH THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSEST TO WHERE THE ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED (66-1-4-1.B NMSA 1978)
 8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
 9. BUILDINGS TO BE UNSPRINKLED, 2HR FIRE WALL BETWEEN UNITS
 10. TOTAL BUILDING HEIGHT - 22'-9"
 11. UNUSED CURB CUTS TO BE REPLACED WITH CURB & GUTTER PER CITY STANDARD 2415A & 2430
 12. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SECOND LEVEL FLOOR PLAN
SCALE: 1" = 10'



HEATED FLOOR AREA:
TOTAL 20-UNIT FLOOR AREA = 19,020 SQ. FT.
2BR UNIT FLOOR AREA = 1,056 SQ. FT. (X12)
1BR UNIT FLOOR AREA = 801 SQ. FT. (X8)

BIKE RACK DETAIL
1'-6" x 6'-0"

REQUIRED PARKING SPACES PER
IDO = 20
SPACES PROVIDED = 20

REQUIRED MOTORCYCLE
PARKING SPACES PER IDO = 1
SPACES PROVIDED = 1

REQUIRED BICYCLE PARKING
SPACES PER IDO = 3
SPACES PROVIDED = 3

TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Armijo
Signed
12/15/2022
Date

Legal Description:
LOTS 11 THRU 22, BLOCK 30 VALLEY VIEW ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
.85 AC

