

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 20, 2022

Evan Davis  
Sunlight Homes  
3100 San Joaquin SE  
Albuquerque, NM 87XXX

Re: **Jefferson Townhomes**  
**99999 Jefferson St. SE**  
**Traffic Circulation Layout**  
Engineer's Stamp 09-21-22 (K17-D099A)

Dear Mr. Davis,

Based upon the information provided in your submittal received 09-28-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of Motorcycle and Bicycle parking spaces required by the IDO.
2. ADA parking spaces need to be provided. See attached Accessible Parking requirements.
3. The width for the 60 degree angled parking should be min. 9.8 ft.
4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
5. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. ADA curb ramp at the corner of Jefferson and Silver Ave. SE, must be updated to current standards and have truncated domes installed.
7. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
8. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
9. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
  - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

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- e. The user is not required to lift the bicycle onto the bicycle rack.
- f. Each bicycle parking space is accessible without moving another bicycle.
- 10. Bicycle racks shall be sturdy and anchored to a concrete pad.
- 11. A 1-foot clear zone around the bicycle parking stall shall be provided.
- 12. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
- 13. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
- 14. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- 15. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
- 16. Define ADA pathways by labeling of ramps, flush pavement, dimensioning of pathways, doorways, etc.
- 17. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
- 18. Please provide a copy of Fire Marshal approval.
- 19. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
- 20. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
- 21. Please specify the City Standard Drawing Number when applicable.
- 22. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
- 23. Please provide a letter of response for all comments given.
- 24. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout

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2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293  
Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Albuquerque

ma      via: email  
C:      CO Clerk, File

NM 87103

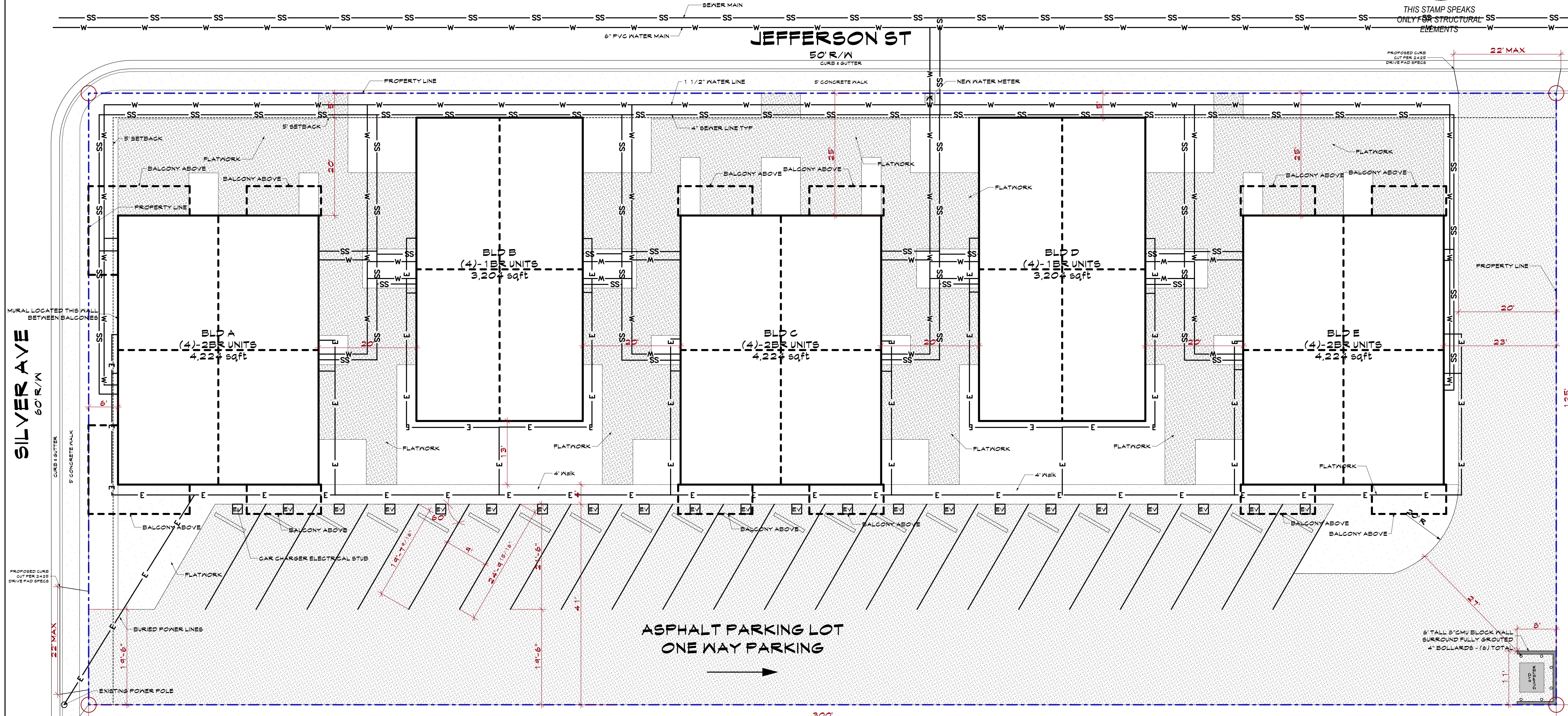
[www.cabq.gov](http://www.cabq.gov)





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THIS STAMP SPEAKS  
ONLY FOR STRUCTURAL  
ELEMENTS



HYDRANT APPROX 133' SOUTHEAST  
ON OPPOSITE SIDE OF SILVER FED  
BY 6" PVC MAIN FROM MADISON ST

**SITE PLAN**

Building Outline

Set Back

Property Line

E Power

T Telephone

G Gas

W Water

SS Sewer

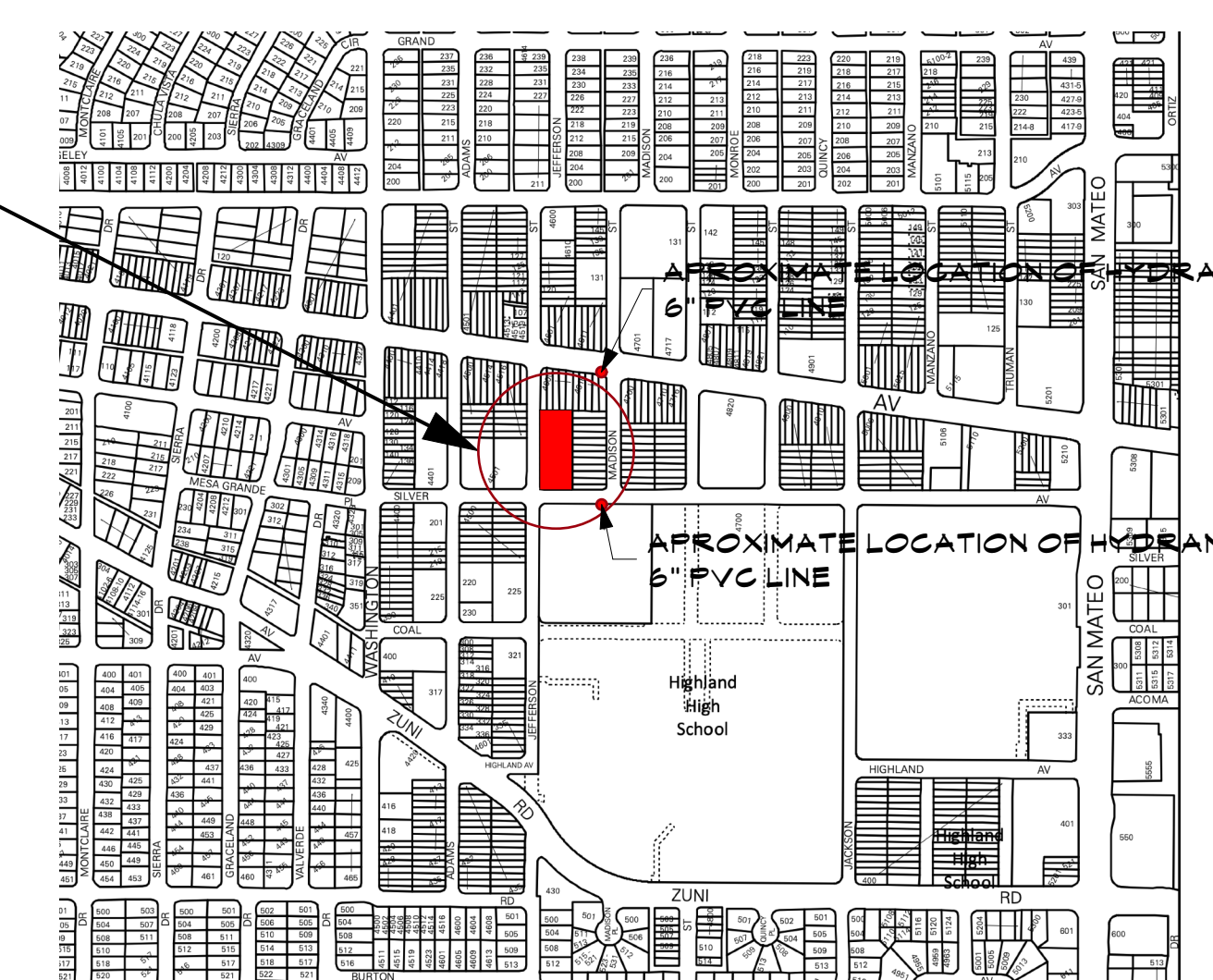
Property Corner

**FIRE 1 NOTES**

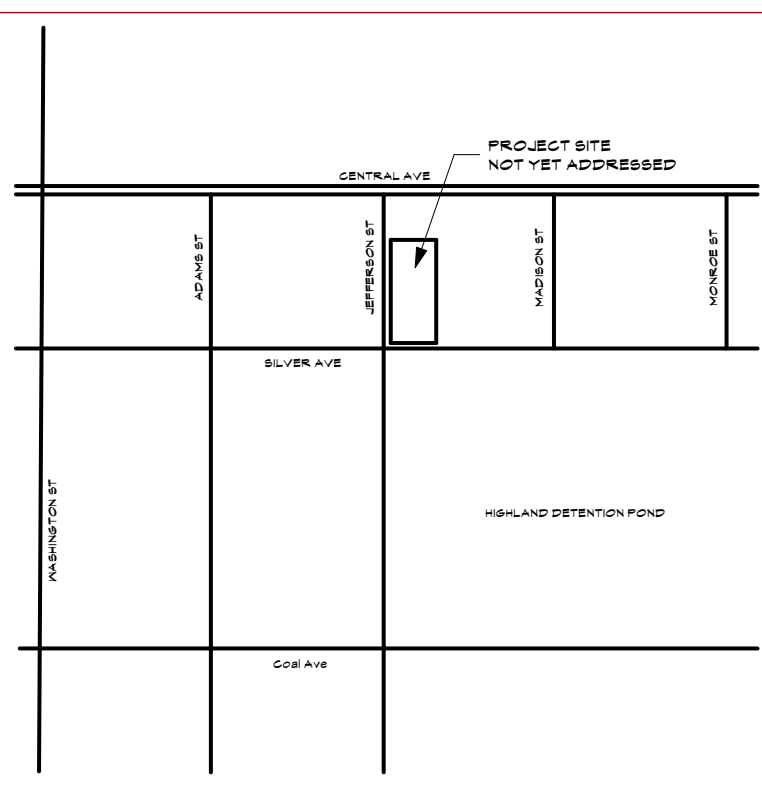
1. FOR PURPOSES OF FIRE 1 PROJECT TO BE REVIEWED UNDER IRC
2. 10' MIN BETWEEN NEW CONSTRUCTION AND EXISTING DWELLINGS TYP.
3. BUILDINGS TO BE UNSPRINKLED, 2HR FIRE WALL BETWEEN UNITS
4. TOTAL BUILDING HEIGHT = 22'-9"
5. POWERLINES ABOVE SIDEWALK ADJACENT TO PROPERTY ON SILVER & JEFFERSON ARE 3'-4" FROM THE GROUND
6. MAXIMUM DISTANCE FROM EAST END OF BUILDING TO JEFFERSON IS 9'-5"
7. STICK FRAME TYPE VS CONSTRUCTION
8. 1.50GPM FIRE FLOW REQUIRED
9. ADDRESS NUMBER TO BE PLAINLY LEGIBLE FROM STREET. EACH BUILDING TO DISPLAY A SPECIFIC NUMERICAL DESIGNATION AND BE CLEARLY DISTINGUISHABLE FROM THE FIRE APPARATUS ROAD

**SITE PLAN**  
SCALE: 1" = 10'

- SITE PLAN NOTES**
1. REFER TO GRADING AND DRAINAGE PLAN FOR FINISHED FLOOR AND LANDSCAPING GRADES
  2. 1 OFF STREET PARKING SPACE PER DWELLING UNIT REQUIRED PER TABLE 5-5-1 OF THE IDO. TOTAL REQUIRED PARKING = 20 SPACES
  3. 10' MIN BETWEEN NEW CONSTRUCTION AND EXISTING DWELLINGS TYP.
  4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH THE SIDEWALK AND CURB & GUTTER. REFER TO THE CITY STANDARD DRAWINGS 2430 (SIDEWALK) 2415 (CURB & GUTTER).
  6. PROVIDE ADA PARKING SPACES WITH SIGN PER 66-7-352.4C NMSA 1978 WHICH STATES "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PROVIDE ADA ACCESS AISLES WITH THE WORDS "NO PARKING" IN CAPITAL LETTERS. EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSEST TO WHERE THE ADJACENT VEHICLES REAR TIRE WOULD BE PLACED (66-1-4.1.B NMSA 1978)
  8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
  9. BUILDINGS TO BE UNSPRINKLED, 2HR FIRE WALL BETWEEN UNITS
  10. TOTAL BUILDING HEIGHT = 22'-9"



VICINITY MAP  
ZONE ATLAS PAGE K-17-Z



Area Map

**Legal Description:**  
LOTS 11 THRU 22, BLOCK 30 VALLEY VIEW ADDITION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
.85 AC

**HEATED FLOOR AREA:**  
TOTAL 20-PLEX FLOOR AREA = 19,000 SQ. FT.  
2BR UNIT FLOOR AREA = 1,056 SQ. FT. (X12)  
1BR UNIT FLOOR AREA = 801 SQ. FT. (X8)

**REQUIRED PARKING SPACES PER IDO = 20  
SPACES PROVIDED = 22**

**SOLID WASTE NOTES:**  
CONCRETE SLAB 4" THICK  
3000 PSI WITH 3/4"  
AGGREGATE AND 4X4X1  
WAF. 6-4" BOLLARDS 6" 2  
ON THE SIDE 2 IN THE REAR  
AND FROM WALL TO CENTER  
ENCASED IN 6" THICK  
CONCRETE MINIMUM ALL  
AROUND BELOW GRADE.

SUNLIGHT  
PROPERTIES  
LLC

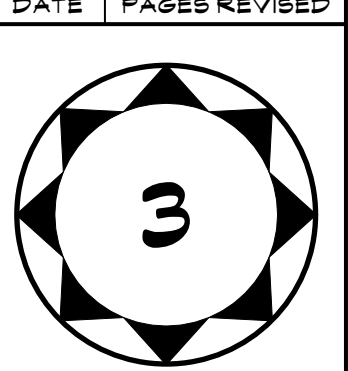
JEFFERSON/SILVER  
TOWNHOMES

SITE PLAN & TCL

9.21.22

Revisions

DATE	PAGES REVISED







# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Jefferson Townhomes Building Permit #: BP-2020-35234 Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOTS 11 THRU 22 BLOCK 30 VALLEY VIEW ADDITION ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO MAY 2022

City Address: 99999 JEFFERSON ST SE

Applicant: EVAN DAVIS Contact: EVAN DAVIS

Address: 3100 SAN JOAQUIN SE

Phone#: 505-220-7952 Fax#: \_\_\_\_\_ E-mail: EVANDAVIS@SUNLIGHTHOMES.COM

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 9/27/22 By: EVAN DAVIS

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_