

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 19, 2014

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St NE  
Albuquerque, NM 87108

Richard J. Berry, Mayor

**RE: O'Niell's Addition & Remodel, 4310 Central Ave SE  
Request For Permanent Certification of Occupancy  
Engineer's Stamp Date 3-27-2014 (K17D100)  
Certification Stamp Date 8-13-2014**

Dear Mr. Arfman:

Based on the Certification received 8/13/2014, the site is acceptable for a release of a Final Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

Orig: Drainage file

c.pdf: via Email: recipient, CO Clerks—Katrina Sigala, Francis Connor, Carol Quintana

**From:** [Rodriguez, Jason T.](#)  
**To:** [Cherne, Curtis](#); [Harmon Rita T.](#)  
**Cc:** [Sims, Timothy E.](#)  
**Subject:** 4310 central Ave. SE  
**Date:** Tuesday, August 19, 2014 7:51:08 AM

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The two PVC curb penetrations at O'Niells Pub are a pass document K17-D100 if you need any more let me know.

Thanks Jason C.O.A. storm maintenance





DRAINAGE CERTIFICATION

I, Fred C. Arfman PE, NMPE No. 7322, of the firm Isaacson & Arfman, PA, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated March 27, 2014. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The restaurant requires the placement of the two sidewalk drain pipes per the S.O. 19 as found on the Approved G&D Plan. The contractor is securing the Barricading Permits required to perform the installation and will be completed by 08-18-14. A Final Cert will then be submitted for the Permanent CO.

Any back up for storm water would be 100% contained onsite will not adversely affect the public welfare or safety.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

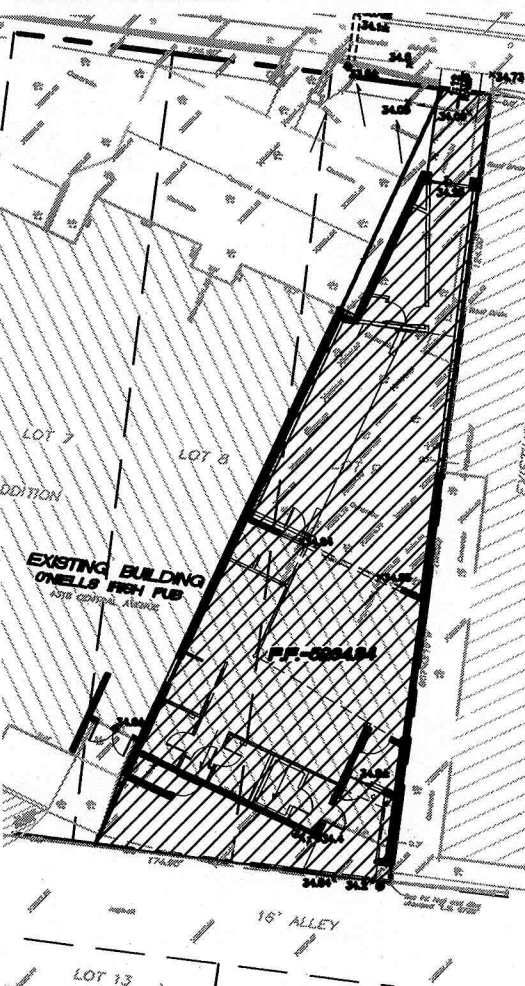
**FRED C. ARFMAN**  
Professional Engineer  
NMPE No. 7322  
August 13, 2014  
Date

### S.O.19 : NOTICE TO CONTRACTORS

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL '811') FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

### AREA INCLUDED IN CALCULATIONS



### CALCULATIONS: O'Neill's Addition & Remodel : March 20, 2014

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE					
AREA OF SITE:	3327	SF	=	0.1	
100-year, 6-hour					
ALLOWABLE DISCHARGE:			DEVELOPED FLOWS:		
Treatment	SF	%	Treatment	SF	%
Area A	0	0%	Area A	0	0%
Area B	0	0%	Area B	0	0%
Area C	399.24	12%	Area C	333	10%
Area D	2927.76	88%	Area D	2994	90%
Total Area	3327	100%	Total Area	3327	100%

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Allowable E	2.00 in.	Developed E	2.02 in.
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On-Site Volume of Runoff: V<sub>360</sub> = E \* A / 12

Allowable V <sub>360</sub>	555 CF	Developed V <sub>360</sub>	560 CF
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On-Site Peak Discharge Rate: Q<sub>p</sub> = Q<sub>pA</sub> A<sub>A</sub> + Q<sub>pB</sub> A<sub>B</sub> + Q<sub>pC</sub> A<sub>C</sub> + Q<sub>pD</sub> A<sub>D</sub> / 43,560

For Precipitation Zone 2

Q <sub>pA</sub>	1.56	Q <sub>pC</sub>	3.14
Q <sub>pB</sub>	2.28	Q <sub>pD</sub>	4.70

Allowable Q <sub>p</sub>	0.3 CFS	Developed Q <sub>p</sub>	0.3 CFS
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### GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN AND DEMOLITION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S / ENGINEER'S INTENT BEFORE PROCEEDING.
- FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS.
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '+', TRANSITIONS SHALL BE SMOOTH.

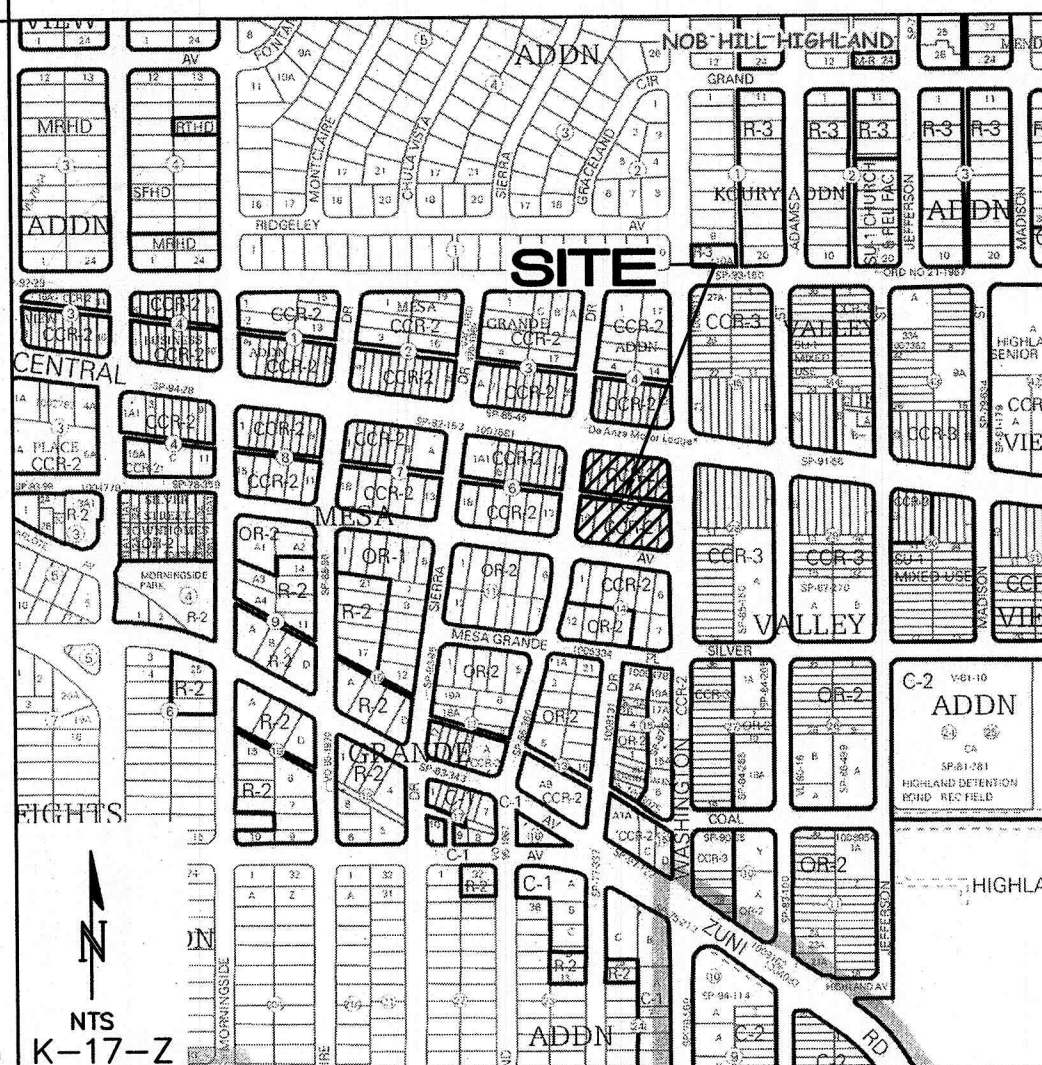
### LEGEND

34.4	PROPOSED SPOT ELEVATION
34.4±	TRANSITION TO EXISTING ELEVATION
-0.2	EXISTING SPOT ELEVATION
→	FLOW ARROW
TC	TOP OF CURB ELEVATION
FL	FLOWLINE ELEVATION
F.F.	FINISH FLOOR ELEVATION

### KEYED NOTES

- EXISTING BUILDING AREA TO BE REMODELED.
- PROPOSED ADDITIONAL BUILDING AREA CONSTRUCTED ON EXISTING CONCRETE SLAB.
- F.F. ELEVATION AT EXISTING DOOR.
- EXISTING CONCRETE PATIO SLOPING AT APPROXIMATELY 1% TO REMAIN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- EXISTING BUILDING ROOF DISCHARGE LOCATIONS TO BE MODIFIED WITH DOWNSPOUTS. OVERFLOW CANALES TO REMAIN. PROVIDE PRECAST CONCRETE SPLASHBLOCK AT ROOF DRAIN SURFACE OUTLETS. GRADE LANDSCAPE TO DIRECT ROOF DRAINAGE AWAY FROM BUILDING.
- INSTALL TWO 4" DIA. DRAIN PIPES SPACED 12" APART PER C.O.A. STD. DWG. 2235. EXTEND SOUTH THROUGH EXISTING WALL TO DRAIN. GRADE INTERIOR LANDSCAPING TO MATCH NEW PIPE FLOWLINE. CONTRACTOR IS REQUIRED TO OBTAIN AN S019 PERMIT FOR DRAINAGE CONSTRUCTION WITHIN THE PUBLIC ROW. SEE FORM THIS SHEET.
- CONSTRUCT 6"± RAMP TRANSITION BETWEEN EXISTING CENTRAL AVE. WALK AND EXISTING COURTYARD PATIO PER ADA GUIDELINES. MAX. SLOPE = 1:12. SEE ARCHITECTURAL FOR PROPOSED GATE DETAILS.
- FLOW THIS AREA TO CONTINUE TO DRAIN TO LANDSCAPING.
- TRANSITION ENTRY WALK @ 12:1 MAX.
- EXISTING LANDSCAPING.
- EXISTING PAVED ALLEY / PARKING TO REMAIN.
- ADJACENT ROOF WILL CONTINUE TO DISCHARGE TO CONCRETE THIS AREA.
- PUB OWNER TO COORDINATE RELOCATION OF EXISTING ADJACENT PROPERTY ROOF DRAINS WITH ADJACENT PROPERTY OWNER.
- LOTS 4-9 TO BE REPLANTED TO TWO LOTS (LOT 4A AND LOT 9A). APPROXIMATE LOT LINE.

### VICINITY MAP



### PROJECT DATA

LEGAL DESCRIPTION: LOTS 9A (PROPOSED REPLAT), BLOCK 5, MESA GRANDE ADDITION FILED JULY 18, 1931.

ADDRESS: 4310 CENTRAL AVE SE, ALBUQUERQUE, NM 87108

PROPERTY: THE SITE IS A FULLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-17. THE SITE IS BOUND TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, TO THE SOUTH BY A PUBLIC ALLEY AND PAVED PARKING AND TO THE NORTH BY CENTRAL AVE. N.E.

FLOOD HAZARD: PER BERNAILLO COUNTY FIRM MAP 35001C0353H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ENGINEER: FRED C. ARFMAN  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, ABQ, NM 87108  
PHONE: (505) 268-8828

SURVEYOR: RUSS P. HUGG  
SURV-TEK, INC.  
9384 VALLEY VIEW DRIVE, N.W.ABQ. NM 87114  
PHONE: (505) 897-3366

BENCHMARK: ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K17A", ELEVATION = 5222.21 (NAVD 1988)

OFF-SITE DRAINAGE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY. EXISTING ROOF DRAINS FROM THE EXISTING BUILDING TO THE EAST WILL BE MODIFIED.

DRAINAGE PLAN CONCEPT: THE PROPOSED BUILDING ADDITION WILL BE CONSTRUCTED ON AN EXISTING PAVED PATIO AREA SUCH THAT THERE WILL BE ONLY A NEGLIGIBLE INCREASE IN OVERALL DISCHARGE (A MINOR AREA OF COMPACTED EARTH WILL BE REPLACED WITH NEW ENTRY WALK). THE NORTH PATIO AREA HISTORICALLY DRAINS TO CENTRAL AVE. (APPROX. 0.2 CFS). TWO PIPES THROUGH THE CENTRAL WALK WILL BE INSTALLED (S.O.19 PERMIT REQUIRED) TO DRAIN THIS AREA. THE BUILDING ROOF WILL CONTINUE TO DISCHARGE SOUTH VIA DOWNSPOUTS TO EXISTING GRADE TO CONTINUE ALONG HISTORIC FLOWPATH WEST.

**FRED C. ARFMAN**  
Professional Engineer  
NMPE No. 7322  
August 13, 2014  
Date

**ISAACSON & ARFMAN, P.A.**  
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### O'NEILL'S ADDITION AND REMODEL

STUDIO SW ARCHITECTS

### GRADING AND DRAINAGE PLAN

Date:	03-24-14	No.:	Revision:	Date:	Job No.
Drawn By:	BJB				2041
Chk By:	FCA				CG-101
					SH. OF

