

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 19, 2014

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

Richard J. Berry, Mayor

**RE: O'Niell's Addition & Remodel, 4310 Central Ave SE
Request For Permanent Certification of Occupancy
Engineer's Stamp Date 3-27-2014 (K17D100)
Certification Stamp Date 8-13-2014**

Dear Mr. Arfman:

Based on the Certification received 8/13/2014, the site is acceptable for a release of a Final Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file

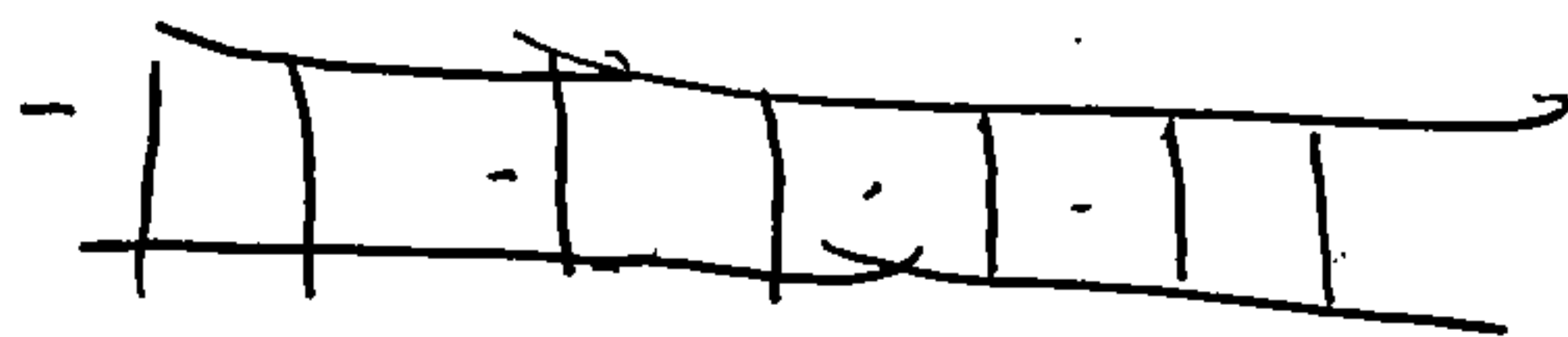
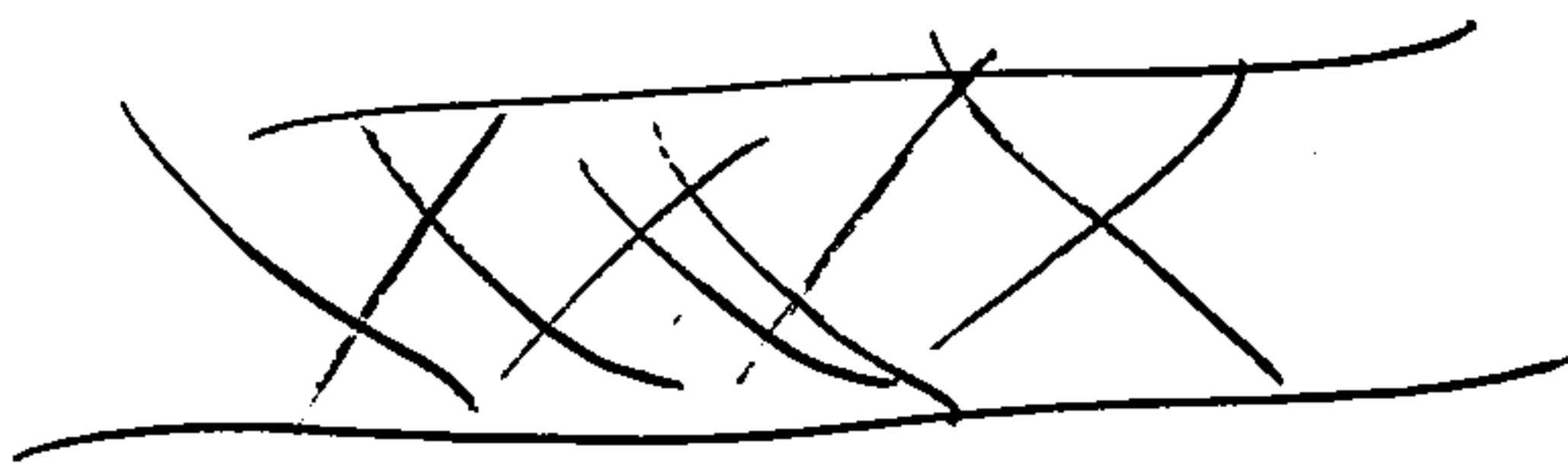
c.pdf: via Email: recipient, CO Clerks—Katrina Sigala, Francis Connor, Carol Quintana

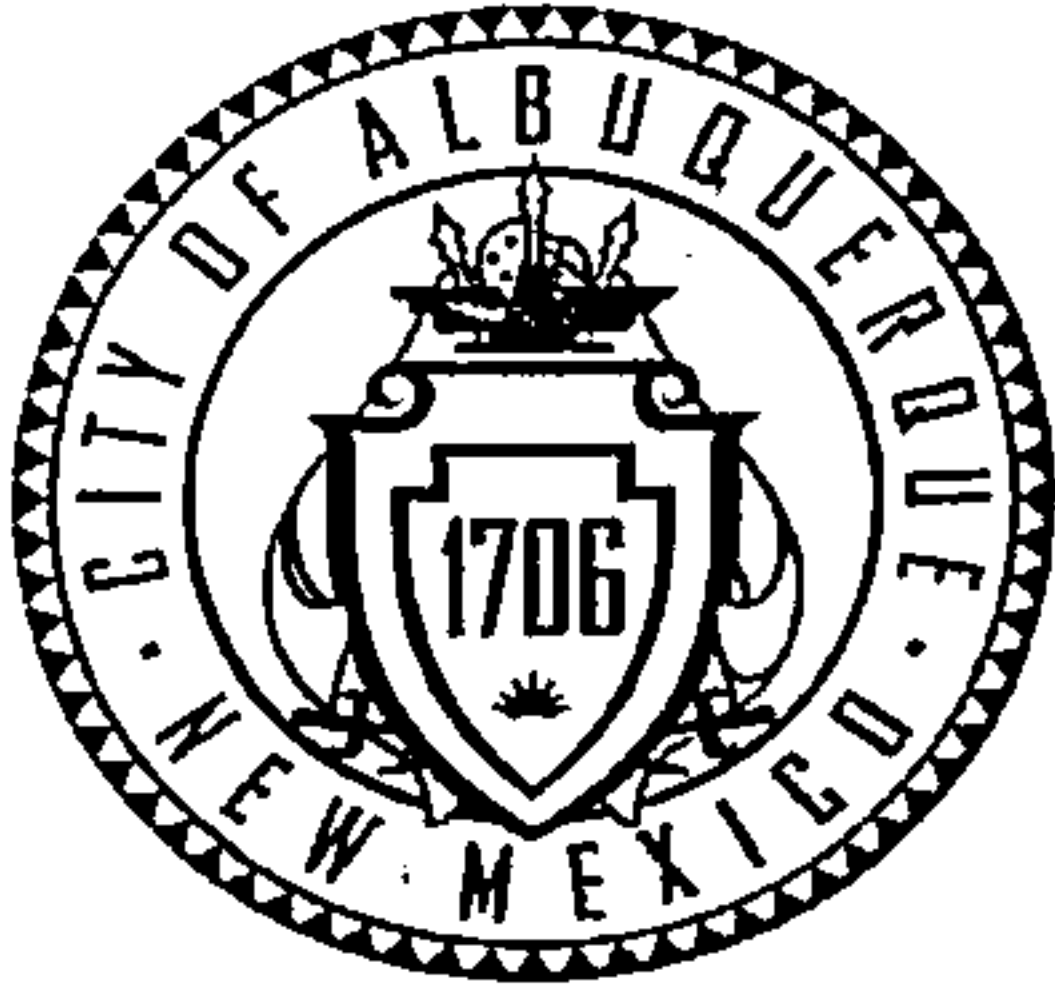
Cherne, Curtis

From: Rodriguez, Jason T.
Sent: Tuesday, August 19, 2014 7:51 AM
To: Cherne, Curtis; Harmon Rita T.
Cc: Sims, Timothy E.
Subject: 4310 central Ave. SE

The two PVC curb penetrations at O'Niells Pub are a pass document K17-D100 if you need any more let me know.

Thanks Jason C.O.A. storm maintenance





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: O'Niell's Addition & Remodel Building Permit #: _____ City Drainage #: K-17/D100

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lots 9A (Proposed Replat), Block 5, Mesa Grande Addition

City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street, NE - Albuquerque, NM 87120

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: O'Niell's Pub Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Studio Southwest Architects, Inc. Contact: Saige Cox

Address: 2101 Mountain Road NW - Albuquerque, NM 87104

Phone#: (505) 843-9639 Fax#: _____ E-mail: _____

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg

Address: 9384 Valley View Drive NW - Albuquerque, NM 87114

Phone#: (505) 897-3366 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ SECTION CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: August 13, 2014 By: Fred C. Arfman, PE For: Isaacson & Arfman, PA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

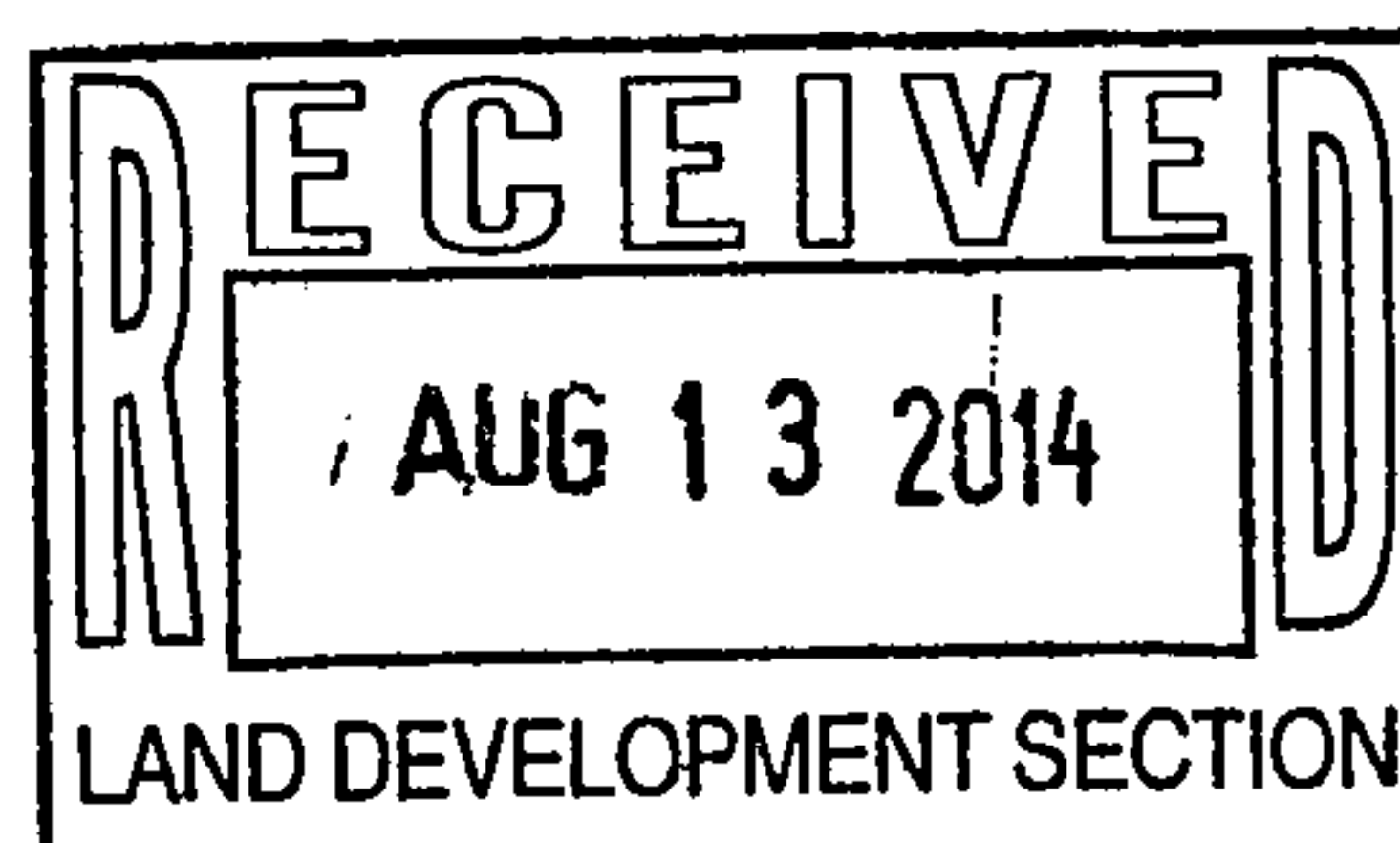
Fred Arfman

From: Sims, Timothy E. [tsims@cabq.gov]
To: Fred Arfman
Sent: Wednesday, August 13, 2014 12:07 PM
Subject: Read: O'Niell's Addition

Your message

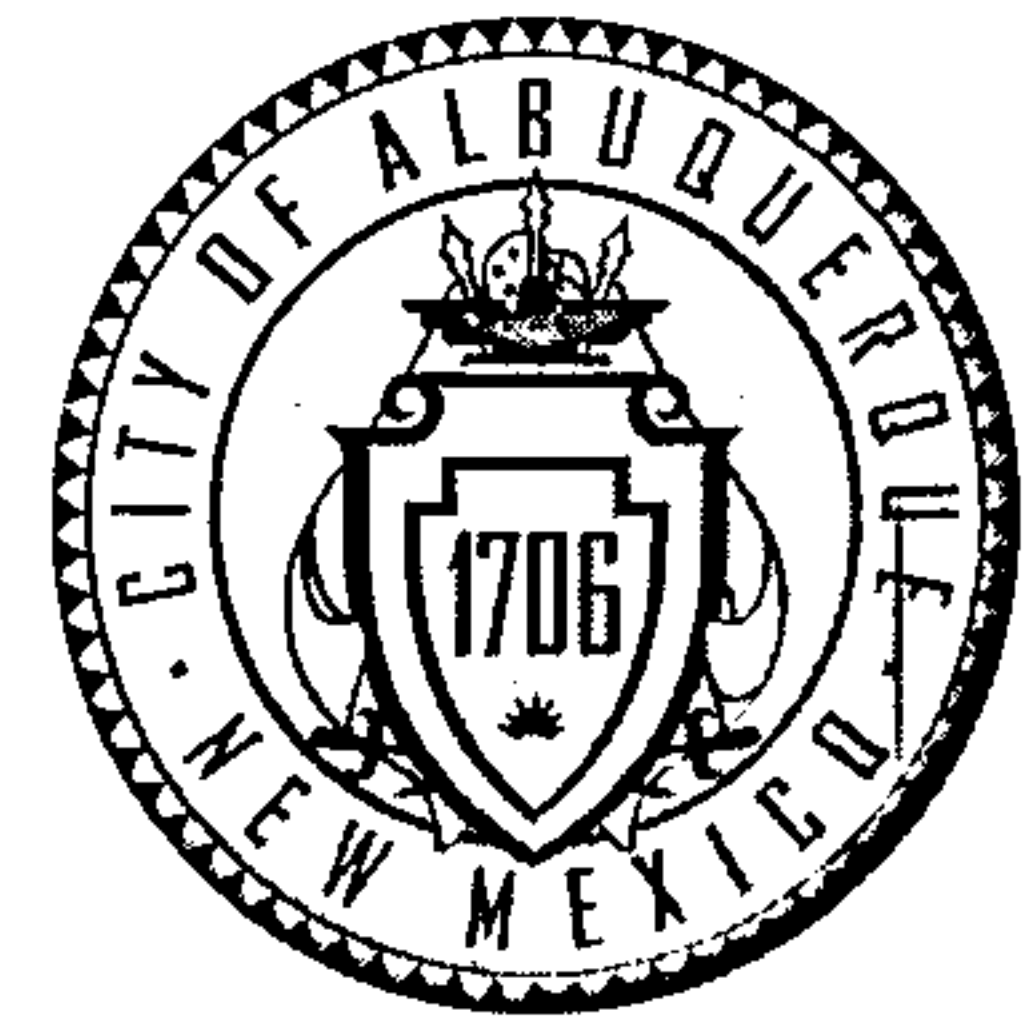
To: Sims, Timothy E.
Subject: O'Niell's Addition
Sent: Wed, 13 Aug 2014 12:05:57 -0600

was read on Wed, 13 Aug 2014 12:06:46 -0600



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 11, 2014

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

Richard J. Berry, Mayor

**RE: O'Niell's Addition & Remodel, 4310 Central Ave SE
Grading and Drainage Plan
Engineer's Stamp Date 3-27-2014 (K17D100)**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 3-27-14, the above referenced plan is approved for Building Permit and SO-19 Permit based on the following condition:

- Plat indicates there is a cross-lot drainage easement through replatted Lot 4A prior to Certificate of Occupancy.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Albuquerque

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Martin Pacheco at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

New Mexico 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file: ~~K17D100~~
c.pdf: via Email: RECIPENT

K17100 RTH

CALL INTO FRED: (Curtis

- what is status of plat? ~~is~~ ^{is} ~~in~~ ⁱⁿ ~~progress~~ ^{progress}

Does it show X-LOT
DRAINAGE EASEMENT?

- WE COULD APPROVE w/
CONDITION THAT EASEMENT
IS OBTAINED PRIOR TO
C.O.

4-11-14 11:00 AM call fr. Fred

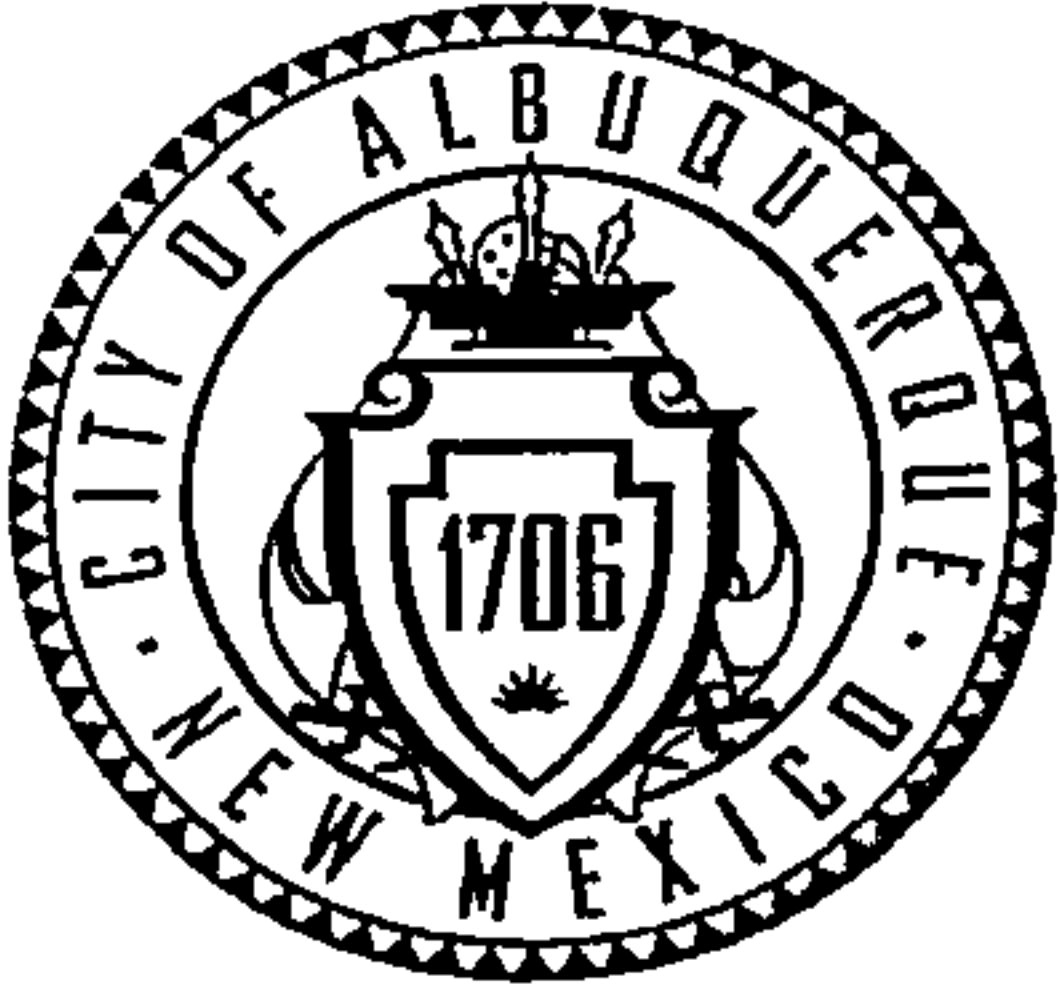
Plat is being developed

- w/

Russ Hugg

understand its going to be a
condition of Building Peron

268-8828 - Fred
Antman



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

1470100

Project Title: O'Niell's Addition & Remodel Building Permit #: _____ City Drainage #: ~~1470100~~

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lots 9A (Proposed Replat), Block 5, Mesa Grande Addition

City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street, NE - Albuquerque, NM 87120

Phone#: (505) 268-8828 Fax#: N/A E-mail: freda@iacivil.com

Owner: O'Niell's Pub Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Studio Southwest Architects, Inc. Contact: Saige Cox

Address: 2101 Mountain Road NW - Albuquerque, NM 87104

Phone#: (505) 843-9639 Fax#: _____ E-mail: _____

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg

Address: 9384 Valley View Drive NW - Albuquerque, NM 87114

Phone#: (505) 897-3366 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

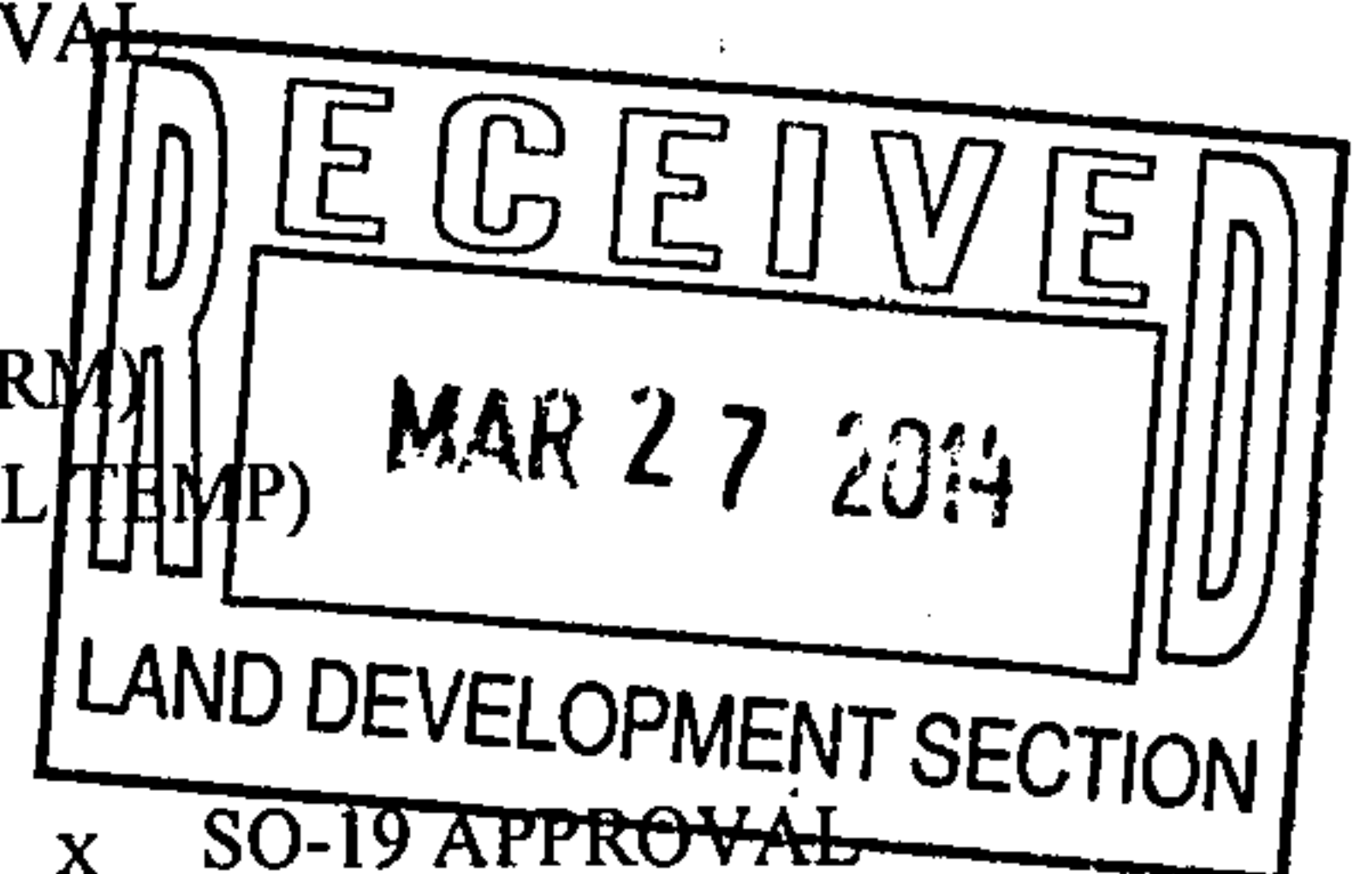
TYPE OF SUBMITTAL:

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- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☒ SO-19
- ☐ OTHER (SPECIFY) _____

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- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

paid \$50.00



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: March 27, 2014 By: Fred C. Arfman, PE For: Isaacson & Arfman, PA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



January 11, 2008

Wallace L. Bingham, P.E.
Bingham Engineering
6344 Belcher NE
Albuquerque, NM 87109

**Re: O'Niell's Pub, 4310 Central Ave. SE,
(K-17/D100)**

**Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Date 8/17/2007
Certification dated: 1-09-07**

Mr. Bingham:

P.O. Box 1293

Based upon the information provided in your submittal received 1/11/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Timothy Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE INFORMATION SUBMITTAL SHEET

PROJECT TITLE: O'NEILL'S PUB K17 ZONE MAP/DRG. FILE #: K-17/D100
DRB#: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: _____

CITY ADDRESS: 4310 CENTRAL SE _____

ENGINEERING FIRM: BINGHAM ENGINEERING CONTACT: MONTE
ADDRESS: 6344 BELCHER AVE. NE PHONE: 797 4699
CITY, STATE: ALB., NM ZIP CODE: 87109

OWNER: ROBERT O'NEILL CONTACT: ROB
ADDRESS: 4310 CENTRAL SE PHONE: 463 6617
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DEVIN CANADY CONTACT: DEVIN
ADDRESS: 332 ADAMS PHONE: 205 1309
CITY STATE: _____ ZIP CODE: _____

SURVEYOR: LORENZO DOMINGUEZ CONTACT: WAYNE FENCKE
ADDRESS: _____ PHONE: 249 2585
CITY, STATE: MORARTY, NM ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL,
REQUIRES TCL or equal
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERT (DRB APPR. SITE PLAN)
☐ OTHER

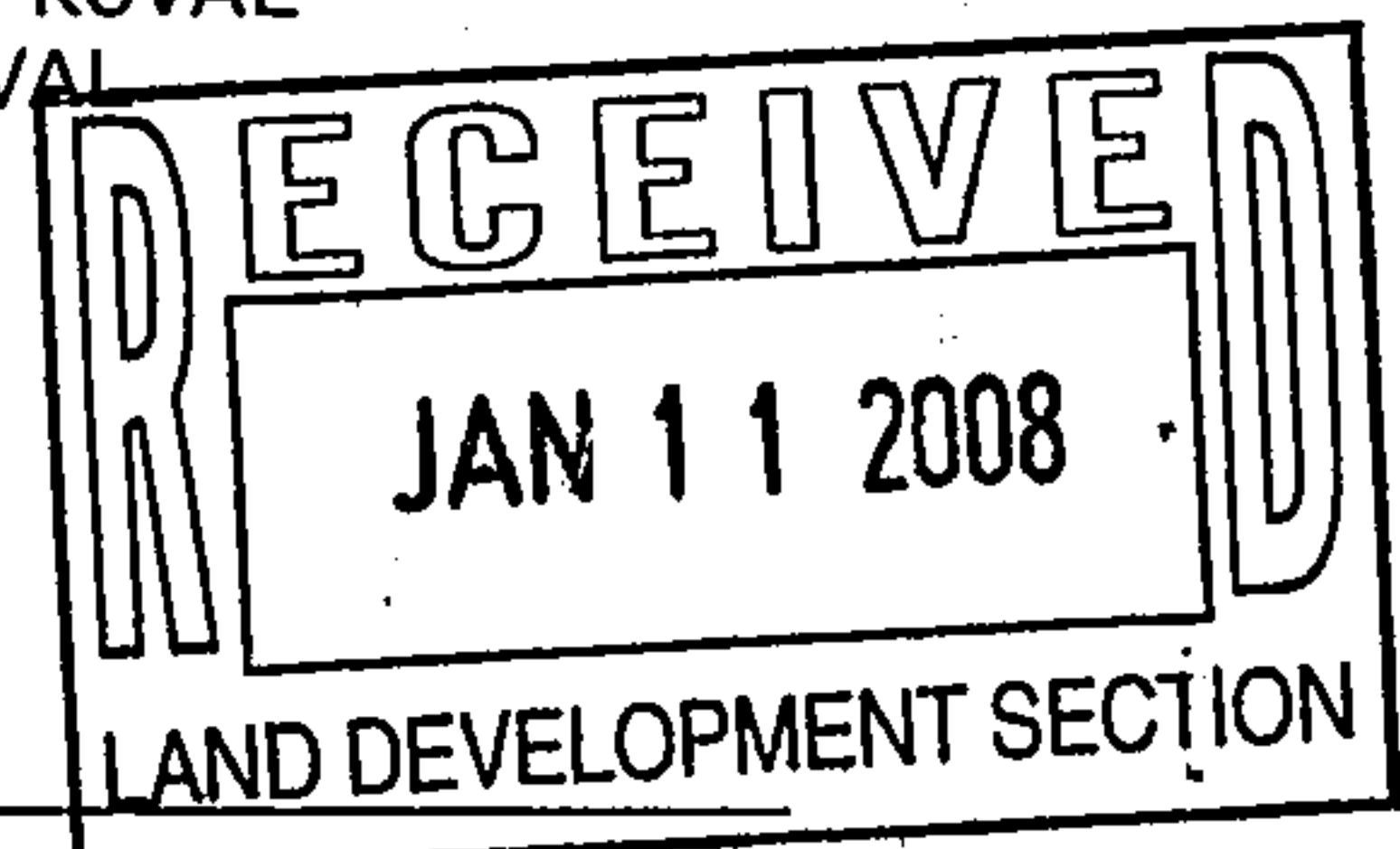
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

DATE SUBMITTED: 1/09/08 BY: Wallace Bingham



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 20, 2007

Wallace Bingham, PE
Bingham Engineering
6344 Belcher Ave NE,
Albuquerque, NM 87109

Re: O'Neill's Pub Grading and Drainage Plan
Engineer's Stamp dated 8-17-07, (K17/D100)

Dear Mr. Bingham,

Based upon the information provided in your submittal dated 8-20-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE INFORMATION SUBMITTAL SHEET

K-17/D100

PROJECT TITLE: O'NEILL'S PUB K17 ZONE MAP/DRG. FILE #: _____
DRB#: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: _____

CITY ADDRESS: 4310 CENTRAL SE _____

ENGINEERING FIRM: BINGHAM ENGINEERING CONTACT: MONTE
ADDRESS: 6344 BELCHER AVE. NE PHONE: 797 4699
CITY, STATE: ALB., NM ZIP CODE: 87109

OWNER: ROBERT O'NEILL CONTACT: ROB
ADDRESS: 4310 CENTRAL SE PHONE: 463 6617
CITY, STATE: Alb, NM ZIP CODE: 87108

ARCHITECT: DEVIN CANADY CONTACT: DEVIN
ADDRESS: 332 ADAMS PHONE: 205 1309
CITY STATE: _____ ZIP CODE: _____

SURVEYOR: LORENZO DOMINGUEZ CONTACT: WAYNE FENCKE
ADDRESS: _____ PHONE: 249 2585
CITY, STATE: MORARTY, NM ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

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- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERT (DRB APPR. SITE PLAN)
- ☐ OTHER

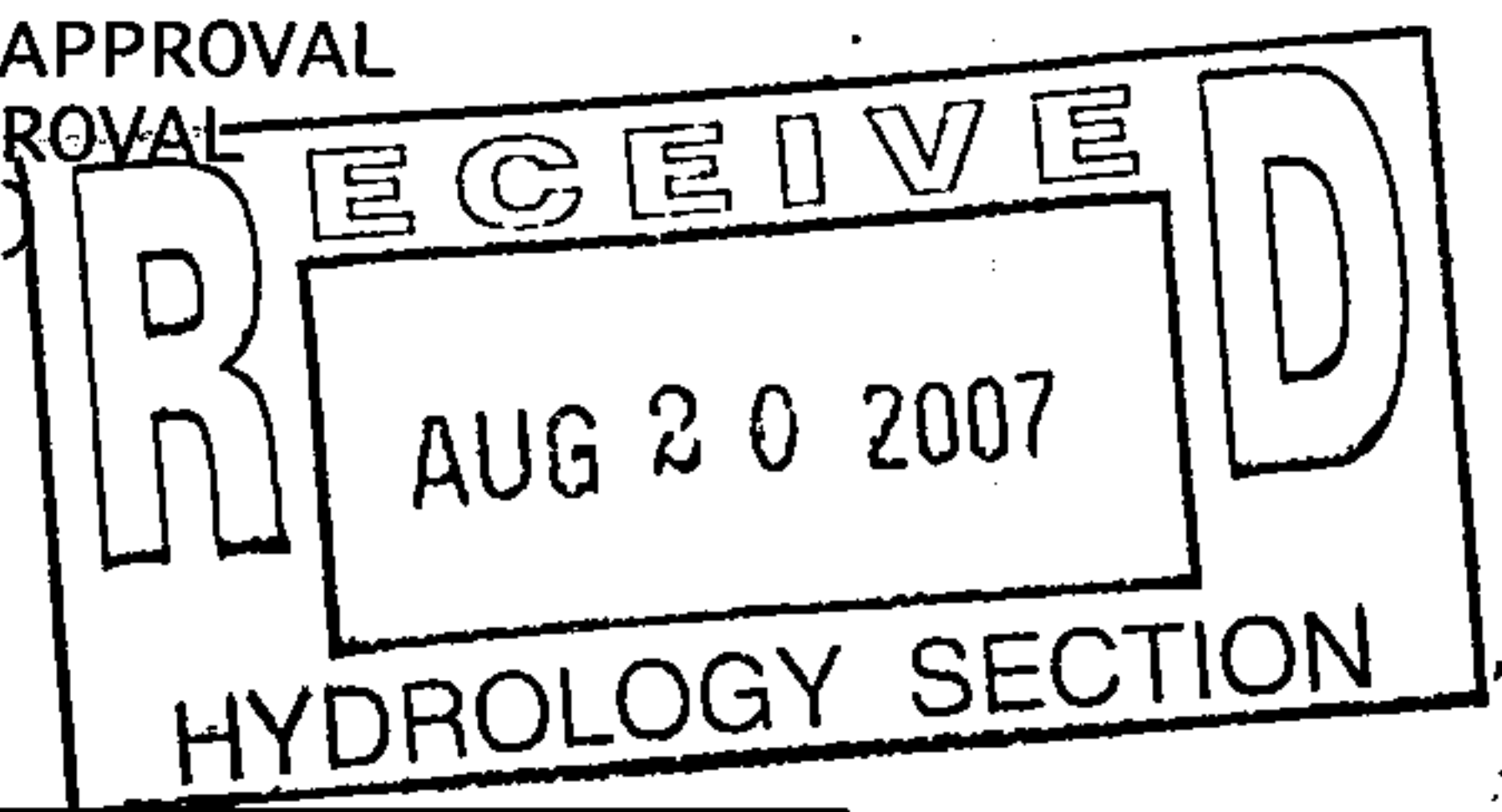
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
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- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/20/07 BY: wallace Bingham



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City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

08/20/2007 Issued By: PLNABG

Permit Number: 2007 060 021

Category Code 970

Application Number: 07REV-60021, Review - Drainage Plan Or Traffic Impact

Address:

Location Description: K-17/D-100 O'NEIL'S PUB

Project Number: null

Applicant
O'Neil'S Pub

4310 Central Ave Se
Albuquerque, NM 87108

Agent / Contact
Bingham Engineering

6344 Belcher Ave Ne
Albuquerque, NM 87109
787-4889

Application Fees

441006/4983000	REV Actions	\$50.00
----------------	-------------	---------

TOTAL: \$50.00

City Of Albuquerque
Treasury Division

8/20/2007 9:54AM LOC: ANNX
WS# 007 TRANS# 0012
RECEIPT# 00086728-00086728
PERMIT# 2007060021 TRSMSP
Trans Amt \$50.00
REV Actions \$50.00
VI \$50.00
CHANGE \$0.00

Thank You

K-17/D100

CITY OF ALBUQUERQUE



August 7, 2007

Devin Cannady, R.A.
Devin Cannady Architect Studio
332 Adams St. SE
Albuquerque, NM 87108-2837

Re: O'Niell's Pub Addition, 4310 Central Ave SE, Traffic Circulation Layout
Architect's Stamp dated 8-2-07 (K17-D100)

Dear Mr. Cannady,

The TCL submittal received 8-02-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: ONIELLS PUBZONE MAP/DRG. FILE # 12-17 / D100

DRB#: _____ EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 3, 4, 5, 6, 7, 8, 9 BLOCK 5 MESA GRANDE ADDITIONCITY ADDRESS: 4310 CENTRAL AVE SE 87108

ENGINEERING FIRM: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER: ROB ONIELLADDRESS: 4310 CENTRAL AVE SECITY, STATE: ALB NMCONTACT: ROBPHONE: 255-6782ZIP CODE: 87108ARCHITECT: DEVIN CANNADY ARCHITECTADDRESS: 332 ADAMS SECITY, STATE: ALB. NMCONTACT: DEVINPHONE: 299-1111ZIP CODE: 87108

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

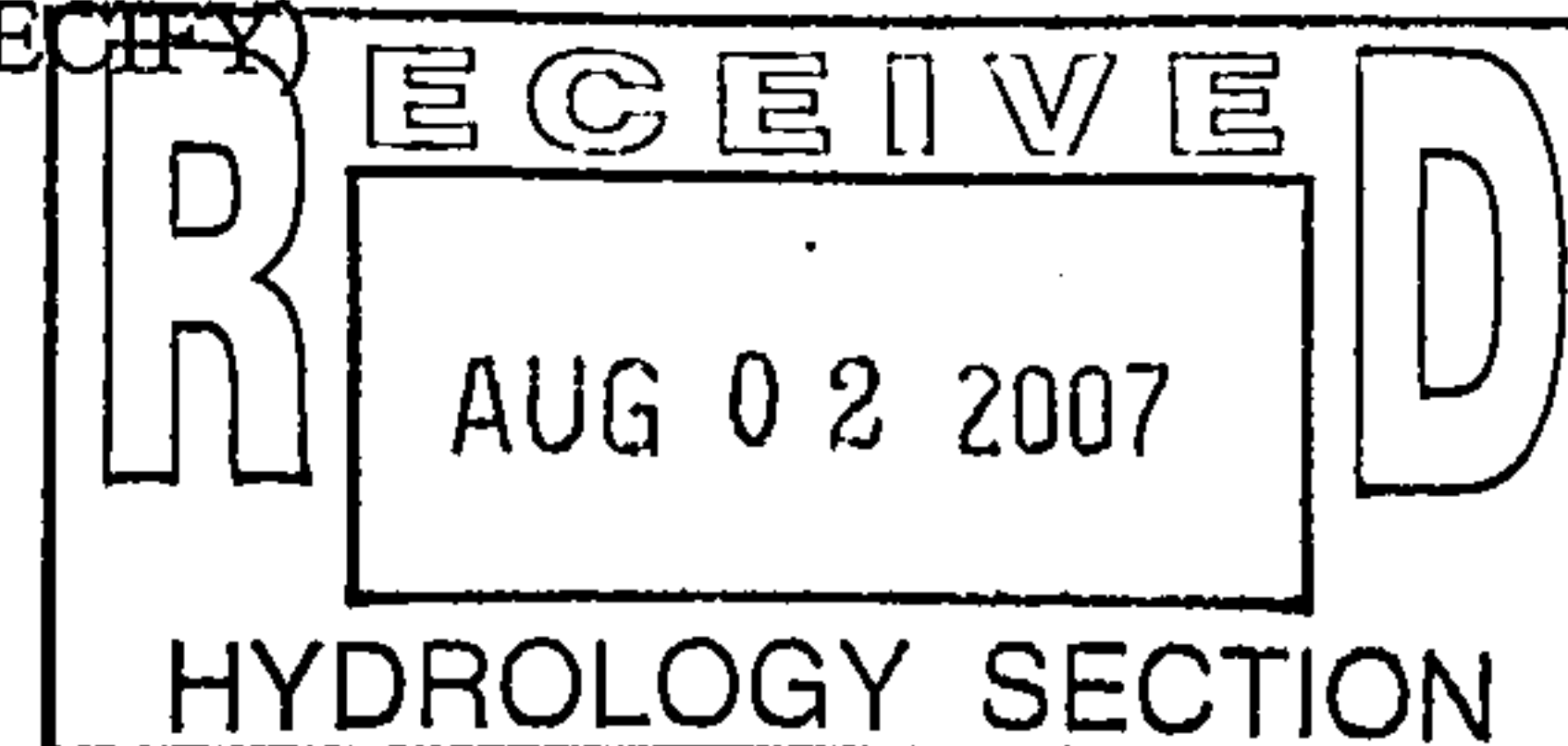
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☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ ~~TRAFFIC CIRCULATION LAYOUT~~
☒ ~~ENGINEER/ARCHITECT CERT (TCL)~~
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

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☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES☒ NO☐ COPY PROVIDEDSUBMITTED BY: D. C. [Signature]DATE: 8-2-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.