



DRAINAGE CERTIFICATION

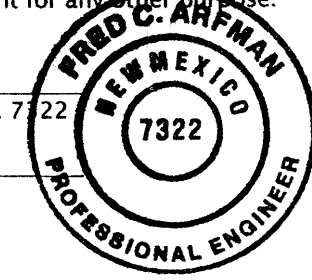
I, Fred C. Arfman PE, NMPE No. 7322, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated March 27, 2014. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The restaurant requires the placement of the two sidewalk drain pipes per the S.O. 19 as found on the Approved C&D Plan. The contractor is securing the Barricading Permits required to perform the installation and will be completed by 08-18-14. A Final Cert will then be submitted for the Permanent CO.

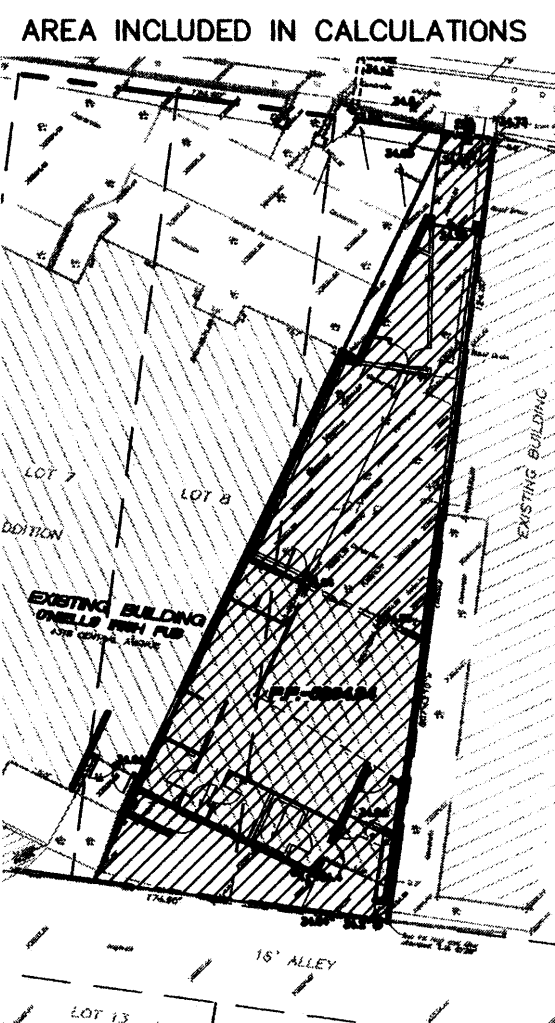
Any back up for storm water would be 100% contained onsite will not adversely affect the public welfare or safety.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Fred C. Arfman
Fred C. Arfman
NMPE No. 7322
August 13, 2014
Date



S.O.19 : NOTICE TO CONTRACTORS		
1	AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.	
2	ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.	
3	TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL '811') FOR LOCATION OF EXISTING UTILITIES.	
4	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.	
5	BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.	
6	MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.	
7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.	
APPROVAL	NAME	DATE
INSPECTOR		



CALCULATIONS: O'Neill's Addition & Remodel : March 20, 2014					
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993					
ON-SITE					
AREA OF SITE:		3327	SF	=	0.1
		100-year, 6-hour			
ALLOWABLE DISCHARGE:		DEVELOPED FLOWS:		EXCESS PRECIP:	
	Treatment SF	%		Treatment SF	% Precip. Zone 2
Area A =	0	0%	Area A =	0	0%
Area B =	0	0%	Area B =	0	0%
Area C =	399.24	12%	Area C =	333	10%
Area D =	2927.76	88%	Area D =	2994	90%
Total Area =	3327	100%	Total Area =	3327	100%
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)					
Weighted F =		$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$			
Allowable E =	2.00 in.	Developed E =	2.02 in.		
On-Site Volume of Runoff: $V_{360} = E^* A / 12$					
Allowable V_{360} =	555	CF	Developed V_{360} =	560	CF
On-Site Peak Discharge Rate: $Q_p = Q_1 + A_1 + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$ 43,560					
For Precipitation Zone 2					
Q_{pA} =	1.56	Q_{pC} =	3.14		
Q_{pB} =	2.28	Q_{pD} =	4.70		
Allowable Q_p =	0.3	CFS	Developed Q_p =	0.3	CFS

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN AND DEMOLITION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S / ENGINEER'S INTENT BEFORE PROCEEDING.
- FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS.
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.

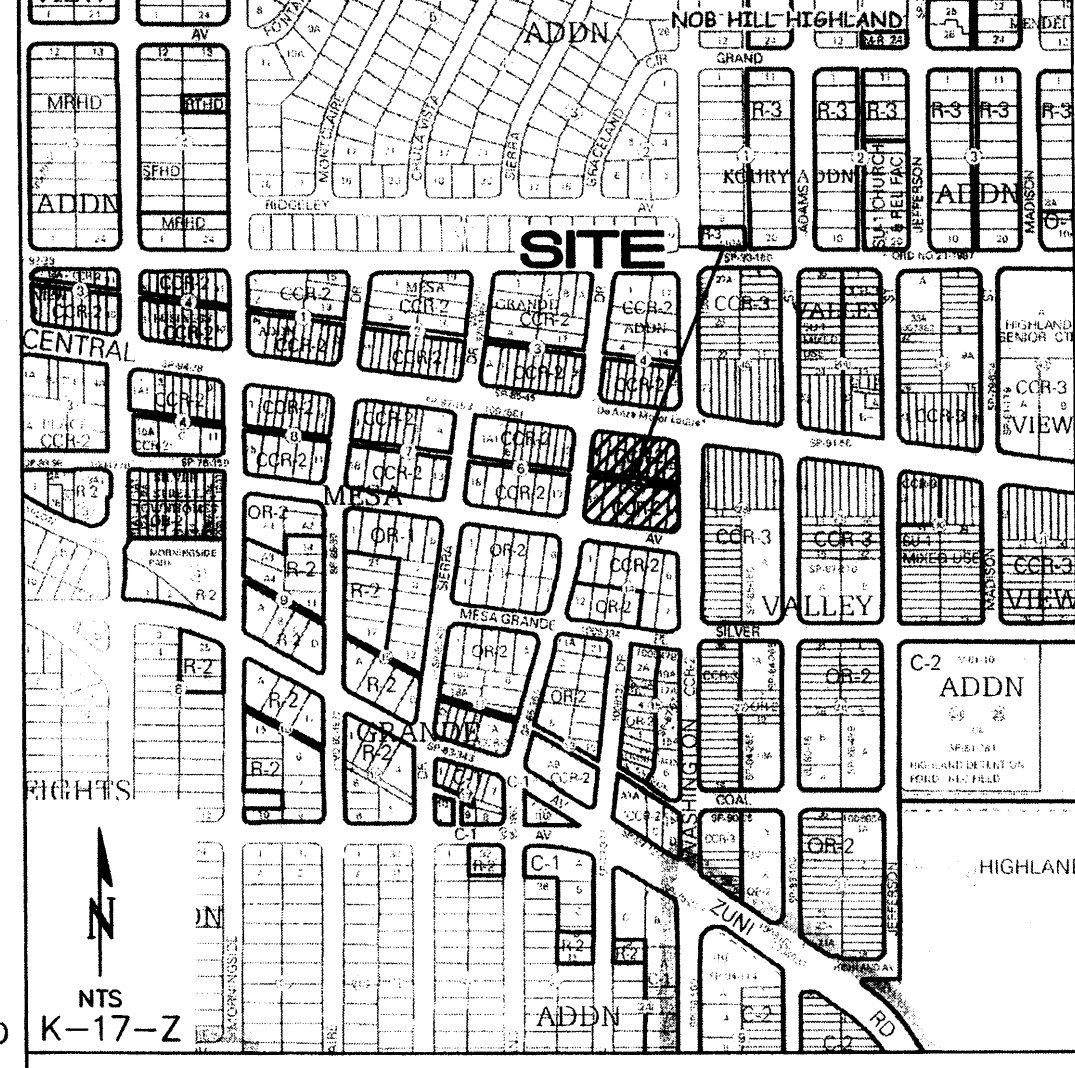
LEGEND

- 34.4 PROPOSED SPOT ELEVATION
- 34.4± TRANSITION TO EXISTING ELEVATION
- EXISTING SPOT ELEVATION
- FLOW ARROW
- TC TOP OF CURB ELEVATION
- FL FLOWLINE ELEVATION
- F.F. FINISH FLOOR ELEVATION

KEYED NOTES

- EXISTING BUILDING AREA TO BE REMODELED.
- PROPOSED ADDITIONAL BUILDING AREA CONSTRUCTED ON EXISTING CONCRETE SLAB.
- F.F. ELEVATION AT EXISTING DOOR.
- EXISTING CONCRETE PATIO SLOPING AT APPROXIMATELY 1% TO REMAIN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- EXISTING BUILDING ROOF DISCHARGE LOCATIONS TO BE MODIFIED WITH DOWNSPOUTS. OVERFLOW CANALES TO REMAIN. PROVIDE PRECAST CONCRETE SPLASHBLOCK AT ROOF DRAIN SURFACE OUTLETS. GRADE LANDSCAPE TO DIRECT ROOF DRAINAGE AWAY FROM BUILDING.
- INSTALL TWO 4" DIA. DRAIN PIPES SPACED 12" APART PER C.O.A. STD. DWG. 2235. EXTEND SOUTH THROUGH EXISTING WALL TO DRAIN. GRADE INTERIOR LANDSCAPING TO MATCH NEW PIPE FLOWLINE. CONTRACTOR IS REQUIRED TO OBTAIN AN S019 PERMIT FOR DRAINAGE CONSTRUCTION WITHIN THE PUBLIC ROW. SEE FORM THIS SHEET.
- CONSTRUCT 6"± RAMP TRANSITION BETWEEN EXISTING CENTRAL AVE. WALK AND EXISTING COURTYARD PATIO PER ADA GUIDELINES. MAX. SLOPE = 1:12. SEE ARCHITECTURAL FOR PROPOSED GATE DETAILS.
- FLOW THIS AREA TO CONTINUE TO DRAIN TO LANDSCAPING.
- TRANSITION ENTRY WALK @ 12:1 MAX.
- EXISTING PAVED ALLEY / PARKING TO REMAIN.
- ADJACENT ROOF WILL CONTINUE TO DISCHARGE TO CONCRETE THIS AREA.
- PUB OWNER TO COORDINATE RELOCATION OF EXISTING ADJACENT PROPERTY ROOF DRAINS WITH ADJACENT PROPERTY OWNER.
- LOTS 4-9 TO BE REPLATTED TO TWO LOTS (LOT 4A AND LOT 9A). APPROXIMATE LOT LINE.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: LOTS 9A (PROPOSED REPLAT), BLOCK 5, MESA GRANDE ADDITION FILED JULY 18, 1931.

ADDRESS: 4310 CENTRAL AVE SE, ALBUQUERQUE, NM 87108

PROPERTY: THE SITE IS A FULLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-17. THE SITE IS BOUND TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, TO THE SOUTH BY A PUBLIC ALLEY AND PAVED PARKING AND TO THE NORTH BY CENTRAL AVE. N.E.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP 35001C0353H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ENGINEER: FRED C. ARFMAN
ISAACSON & ARFMAN, P.A.
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PHONE: (505) 268-8828

SURVEYOR: RUSS P. HUGG
SURV-TEK, INC.
9384 VALLEY VIEW DRIVE, N.W.ABQ. NM 87114
PHONE: (505) 897-3366

BENCHMARK: ALBUQUERQUE CONTROL SURVEY MONUMENT "S-K17A", ELEVATION = 5222.21 (NAVD 1988)

OFF-SITE DRAINAGE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY. EXISTING ROOF DRAINS FROM THE EXISTING BUILDING TO THE EAST WILL BE MODIFIED.

DRAINAGE PLAN CONCEPT: THE PROPOSED BUILDING ADDITION WILL BE CONSTRUCTED ON AN EXISTING PAVED PATIO AREA SUCH THAT THERE WILL BE ONLY A NEGLIGIBLE INCREASE IN OVERALL DISCHARGE (A MINOR AREA OF COMPACTED EARTH WILL BE REPLACED WITH NEW ENTRY WALK). THE NORTH PATIO AREA HISTORICALLY DRAINS TO CENTRAL AVE. (APPROX. 0.2 CFS). TWO PIPES THROUGH THE CENTRAL WALK WILL BE INSTALLED (S.O.19 PERMIT REQUIRED) TO DRAIN THIS AREA. THE BUILDING ROOF WILL CONTINUE TO DISCHARGE SOUTH VIA DOWNSPOUTS TO EXISTING GRADE TO CONTINUE ALONG HISTORIC FLOWPATH WEST.

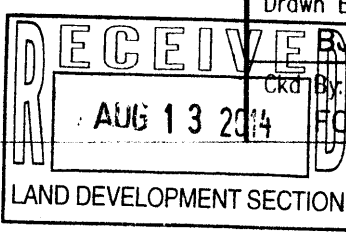
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaarl.com

2041 CG-101.dwg Mar 24, 2014

O'NIELL'S ADDITION AND REMODEL STUDIO SW ARCHITECTS

GRADING AND DRAINAGE PLAN

Date: 03-24-14	No. Revision:	Date:	Job No. 2041
Drawn By: CG-101	Checked By: SH		
Scale: 1"=10'			





GENERAL NOTES

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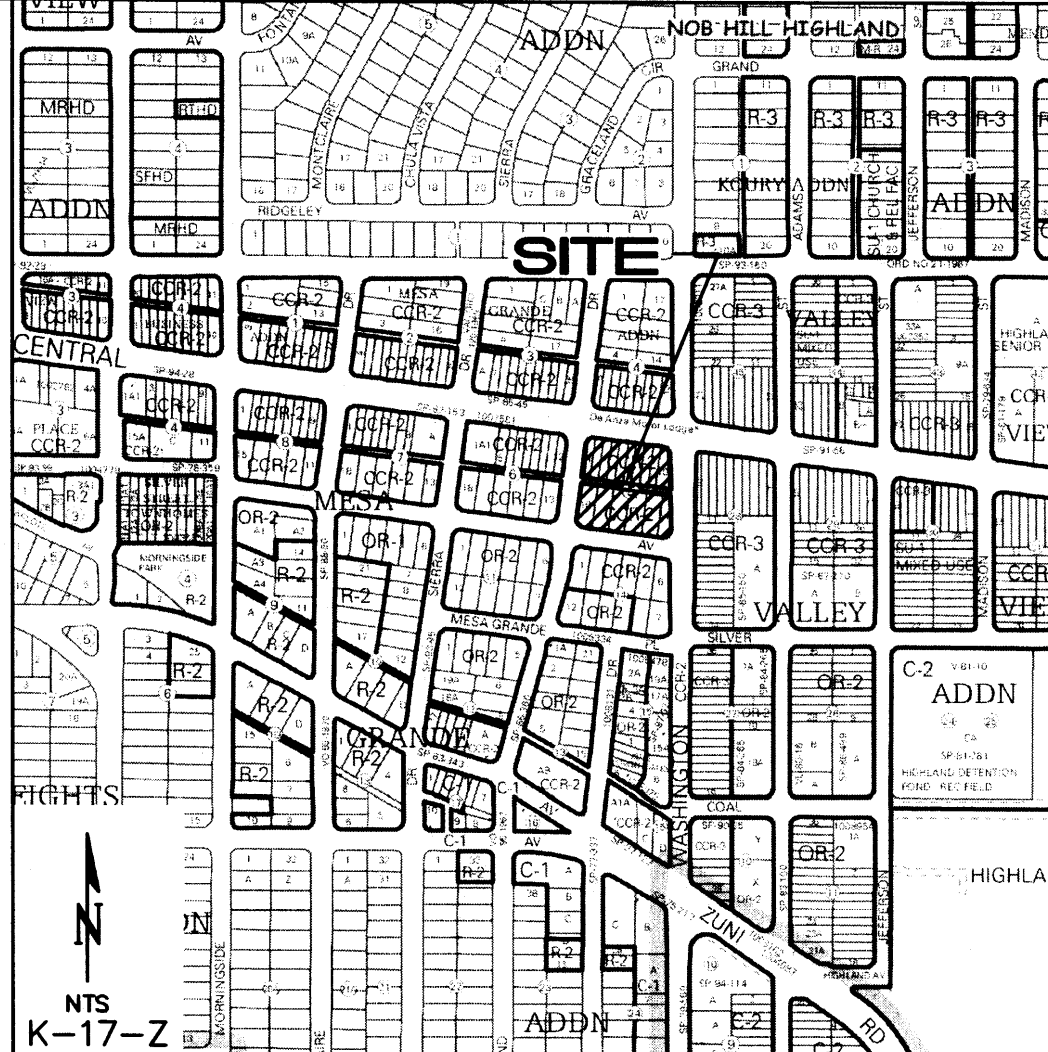
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ENGINEER: FRED C. ARFMAN
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: RUSS P. HUGG
SURV-TEK, INC.
9384 VALLEY VIEW DRIVE, N.W.ABQ. NM 87114
PHONE: (505) 897-3366

BENCHMARK: ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K17A", ELEVATION = 5222.21 (NAVD 1988)

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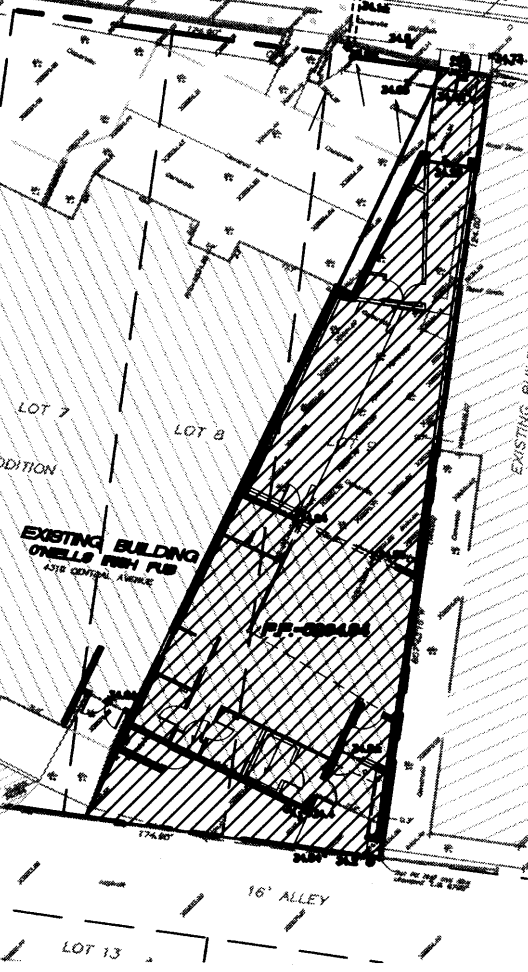
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APPROVAL	NAME	DATE
INSPECTOR		

AREA INCLUDED IN CALCULATIONS



CALCULATIONS: O'Neill's Addition & Remodel : March 20, 2014

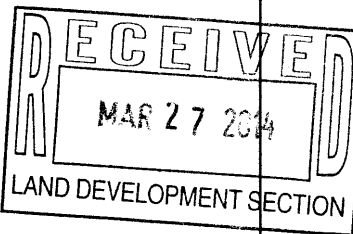
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ON-SITE			
AREA OF SITE:	3327	SF	= 0.1
100-year, 6-hour DEVELOPED FLOWS:			
ALLOWABLE DISCHARGE:			
Area A =	0	0%	
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Area C =	399.24	12%	
Area D =	2927.76	88%	
Total Area =	3327	100%	
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On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$		
Allowable E =	2.00 in.	Developed E =	2.02 in.

On-Site Volume of Runoff: V360 = E*A / 12			
Allowable V ₃₆₀ =	555 CF	Developed V ₃₆₀ =	560 CF

On-Site Peak Discharge Rate: Qp = QpA*AA + QpB*AB + QpC*AC + QpD*AD / 43,560			
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QpA =	1.56	QpC =	3.14
QpB =	2.28	QpD =	4.70
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2041 CG-101.dwg Mar 24, 2014

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O'NEILL'S ADDITION AND REMODEL

STUDIO SW ARCHITECTS

GRADING AND DRAINAGE PLAN

Date:	No.	Revision:	Date:	Job No.
03-24-14				2041
Drawn By:				CG-101
BJB				
Ckd By:				SH OF
FCA				

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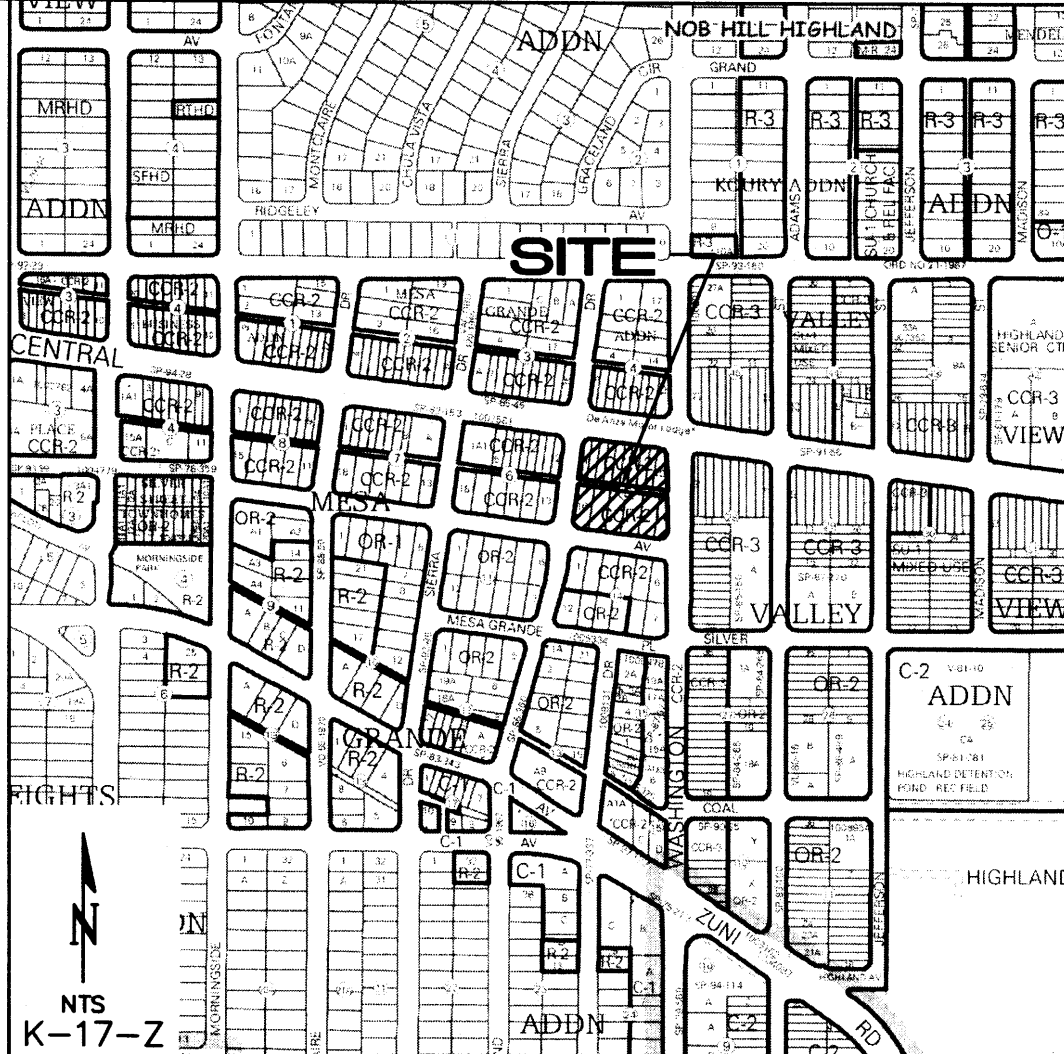
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ADDRESS: 4310 CENTRAL AVE SE, ALBUQUERQUE, NM 87108

PROPERTY: THE SITE IS A FULLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-17. THE SITE IS BOUND TO THE EAST AND WEST BY DEVELOPED COMMERCIAL PROPERTY, TO THE SOUTH BY A PUBLIC ALLEY AND PAVED PARKING AND TO THE NORTH BY CENTRAL AVE. N.E.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP 35001C0353H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ENGINEER: FRED C. ARFMAN
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: RUSS P. HUGG
SURV-TEK, INC.
9384 VALLEY VIEW DRIVE, N.W.ABQ. NM 87114
PHONE: (505) 897-3366

BENCHMARK: ALBUQUERQUE CONTROL SURVEY MONUMENT
"5-K17A", ELEVATION = 5222.21 (NAVD 1988)

OFF-SITE DRAINAGE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY. EXISTING ROOF DRAINS FROM THE EXISTING BUILDING TO THE EAST WILL BE MODIFIED.

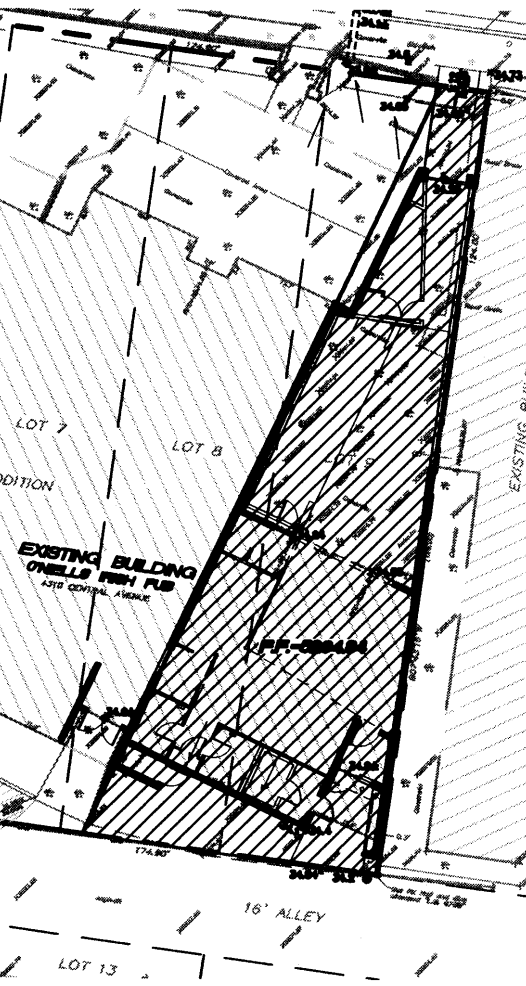
DRAINAGE PLAN CONCEPT: THE EXISTING BUILDING ADDITION WILL BE CONSTRUCTED ON AN EXISTING PAVED PATIO AREA SUCH THAT THERE WILL BE ONLY A NEGLIGIBLE INCREASE IN OVERALL DISCHARGE (A MINOR AREA OF COMPACTED EARTH WILL BE REPLACED WITH NEW ENTRY WALK). THE NORTH PATIO AREA HISTORICALLY DRAINS TO CENTRAL AVE. (APPROX. 0.2 CFS). TWO PIPES THROUGH THE CENTRAL WALK WILL BE INSTALLED (S.O.19 PERMIT REQUIRED) TO DRAIN THIS AREA. THE BUILDING ROOF WILL CONTINUE TO DISCHARGE SOUTH VIA DOWNSPOUTS TO EXISTING GRADE TO CONTINUE ALONG HISTORIC FLOWPATH WEST.

S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL '811') FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

AREA INCLUDED IN CALCULATIONS



CALCULATIONS: O'Neill's Addition & Remodel : March 20, 2014

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE			
AREA OF SITE:	3327	SF	= 0.1
100-year, 6-hour			
DEVELOPED FLOWS:			
ALLOWABLE DISCHARGE:	Treatment SF	%	Excess Precip. Zone 2
Area A	0	0%	E _A = 0.53
Area B	0	0%	E _B = 0.78
Area C	399.24	12%	E _C = 1.13
Area D	2927.76	88%	E _D = 2.12
Total Area	3327	100%	Total Area = 3327 100%

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted } E = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Allowable E = 2.00 in. Developed E = 2.02 in.

On-Site Volume of Runoff: V₃₆₀ = E * A / 12

Allowable V₃₆₀ = 555 CF Developed V₃₆₀ = 560 CF

On-Site Peak Discharge Rate: Q_p = Q_{pA}A_A + Q_{pB}A_B + Q_{pC}A_C + Q_{pD}A_D / 43,560

For Precipitation Zone 2

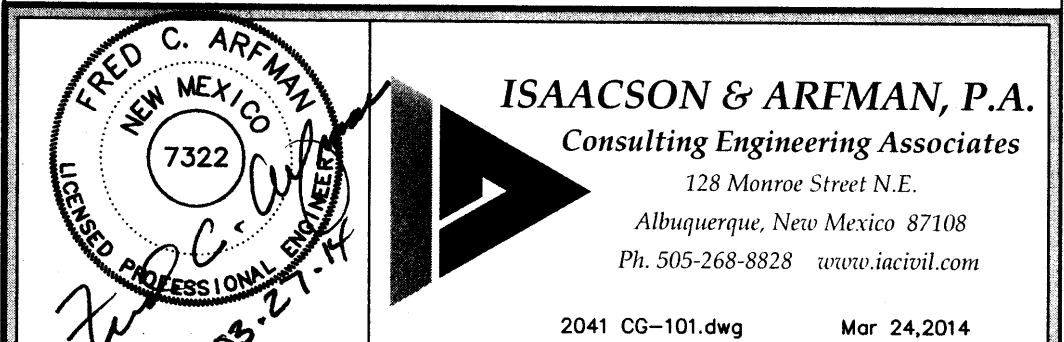
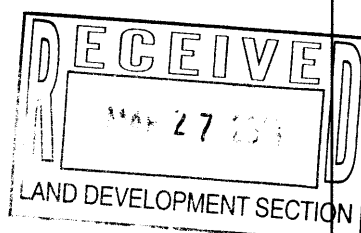
Q_{pA} = 1.56 Q_{pC} = 3.14

Q_{pB} = 2.28 Q_{pD} = 4.70

Allowable Q_p = 0.3 CFS Developed Q_p = 0.3 CFS



Know what's below.
Call before you dig.



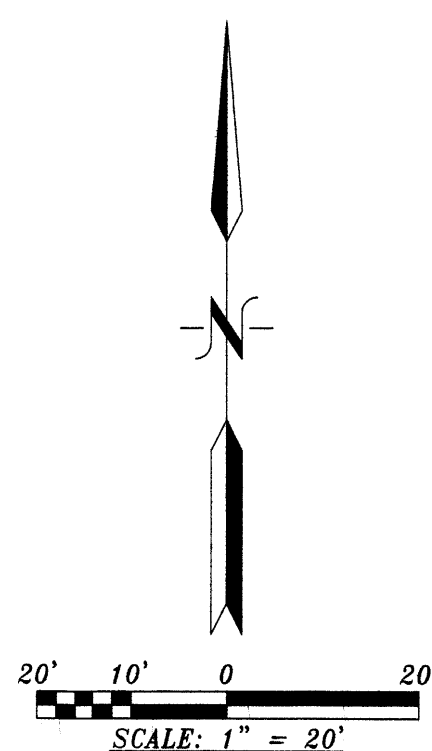
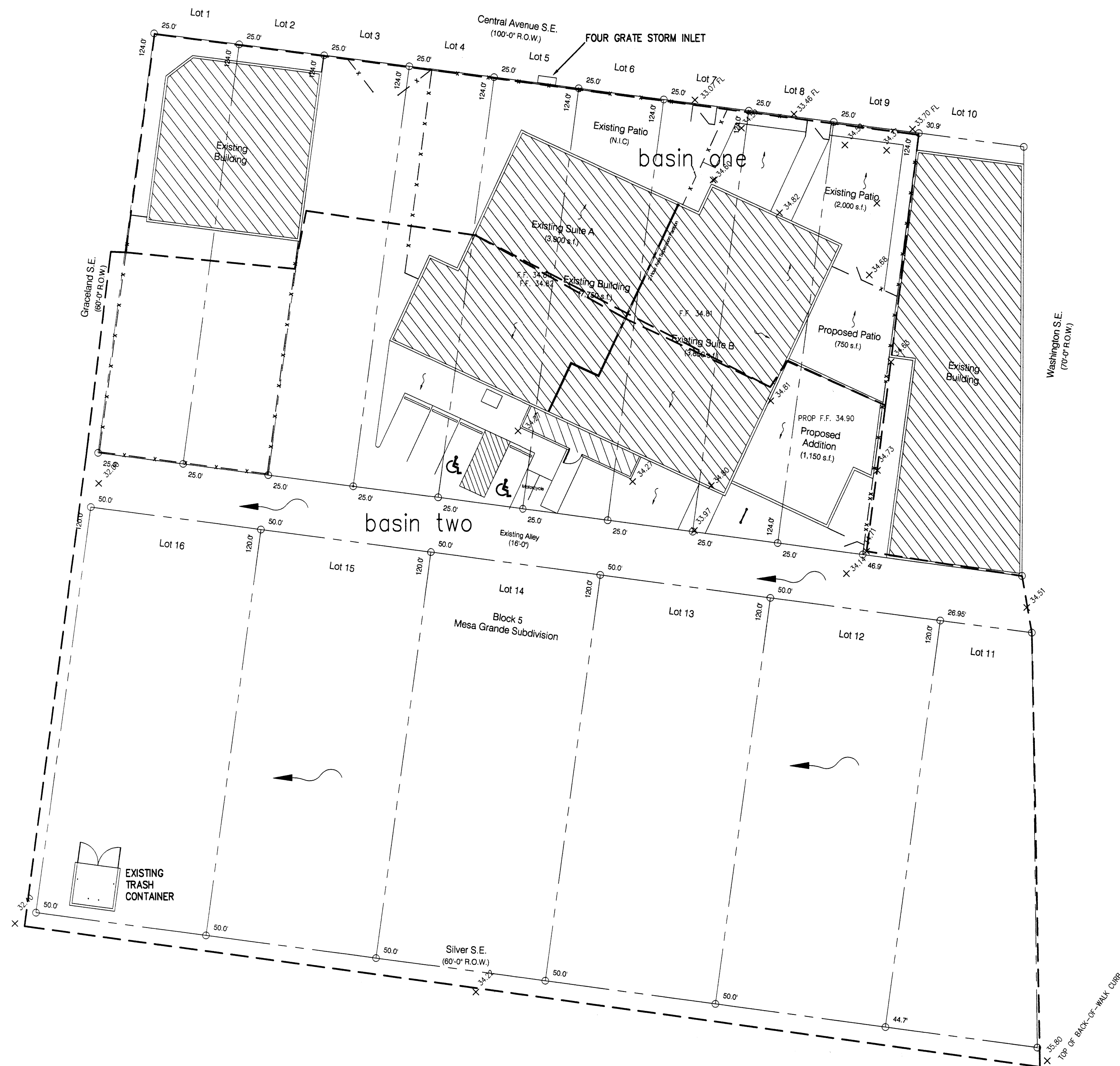
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O'NEILL'S ADDITION AND REMODEL

STUDIO SW ARCHITECTS

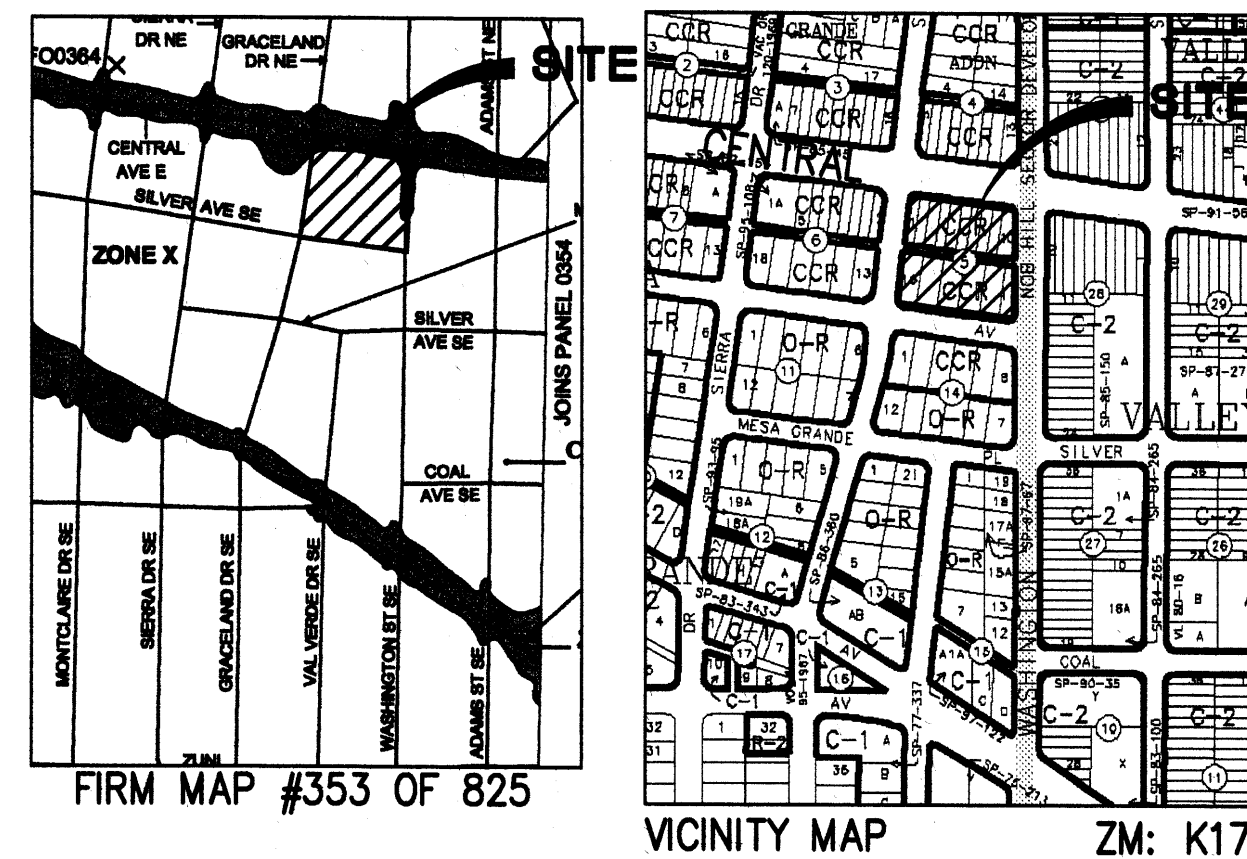
GRADING AND DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
03-24-14			2041
Drawn By:			CG-101
BJB			
Chk By:			SH OF
FCA			



NARRATIVE:

THIS PROJECT WILL CHANGE THE SIZE OF THE BUILDING BY EXTENDING IT INTO THE PAVED PATIO AREA. THE SIZE OF THE WATERSHED OR ITS PERMEABILITY WILL NOT BE AFFECTED. THIS SECTION OF CENTRAL IS DESIGNATED AS A FLOOD ZONE. THIS PROJECT WILL NOT ADD TO THE FLOODING CONDITION.



- LEGEND**
- PROPOSED TOP OF CURB ELEVATION
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION (GRID & TC)
 - TEMPORARY PAVING
 - PROPOSED CURB & GUTTER
 - EXISTING CURB AND GUTTER
 - EXISTING CONTOUR W/ INDEX ELEVATION
 - PROPOSED CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - STORM DRAIN WITH MANHOLE & INLETS
 - PROPOSED STORM DRAIN
 - PROPOSED STORM SEWER CATCH BASIN
 - PROPOSED WATER BLOCK
 - BASIN BOUNDARY
 - SUB-BASIN BOUNDARY
 - PHASE LINE
 - RETAINING WALL

```

START          TIME=0.0 CODE 0 LINES 80
*S COMPUTE 100 YR. HYDROGRAPHS FOR O'NEILL'S PUB
*S
*S          O'NEILL
*S .DAT - AHYMO PER JAN 1993 DPM REVISIONS

RAINFALL      TYPE=-1 RAIN QUAR=0.0 RAIN ONE= 2.01
              RAIN SIX= 2.35 RAIN DAY=2.75 DT=0.0333
*S EXISTING CONDITION BASIN 1
COMPUTE NM HYD ID=1 HYD NO= 101.1 DA=0.0005 SQ MI
              PER A 0 PER B 5 PER C 0 PER D 95 TP=-.13
              RAIN=-1 DT=0.0
              ID=1 CODE=10
PRINT HYD
*
*S EXISTING COND. BASIN 2
COMPUTE NM HYD ID=2 HYD NO= 102.1 DA=0.0020 SQ MI
              PER A 0 PER B 0 PER C 0 PER D 100 TP=-.13
              RAIN=-1 DT=0.0
              ID=2 CODE=10
PRINT HYD
*
FINISH
  
```

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
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 - VERSION: 1997.02a RUN DATE (MON/DAY/YR) = 08/17/2007
 USER NO. = AHYMO-I-9702a0100007G-SH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM NO.	TO NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE	NOTATION
START										TIME=	.00
*S COMPUTE 100 YR. HYDROGRAPHS FOR O'NEILL'S PUB											
*S											
*S .DAT - AHYMO PER JAN 1993 DPM REVISIONS											
RAINFALL TYPE= 1										RAIN6=	2.350
*S EXISTING CONDITION BASIN 1											
COMPUTE NM HYD	101.10	-	1	.00050	1.50	.055	2.04847	1.499	4.674	PER IMP=	95.00
*S EXISTING COND. BASIN 2											
COMPUTE NM HYD	102.10	-	2	.00200	6.09	.226	2.11533	1.499	4.760	PER IMP=	100.00
FINISH											

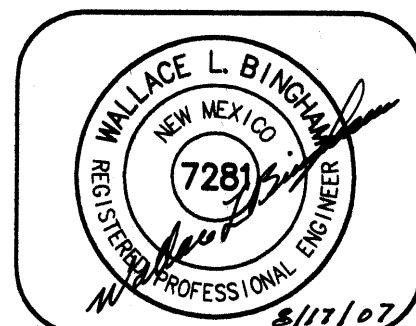
DRAINAGE CERTIFICATION

I, WALLACE L. BINGHAM NMPE 7281, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/17/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OCCUPANCY.

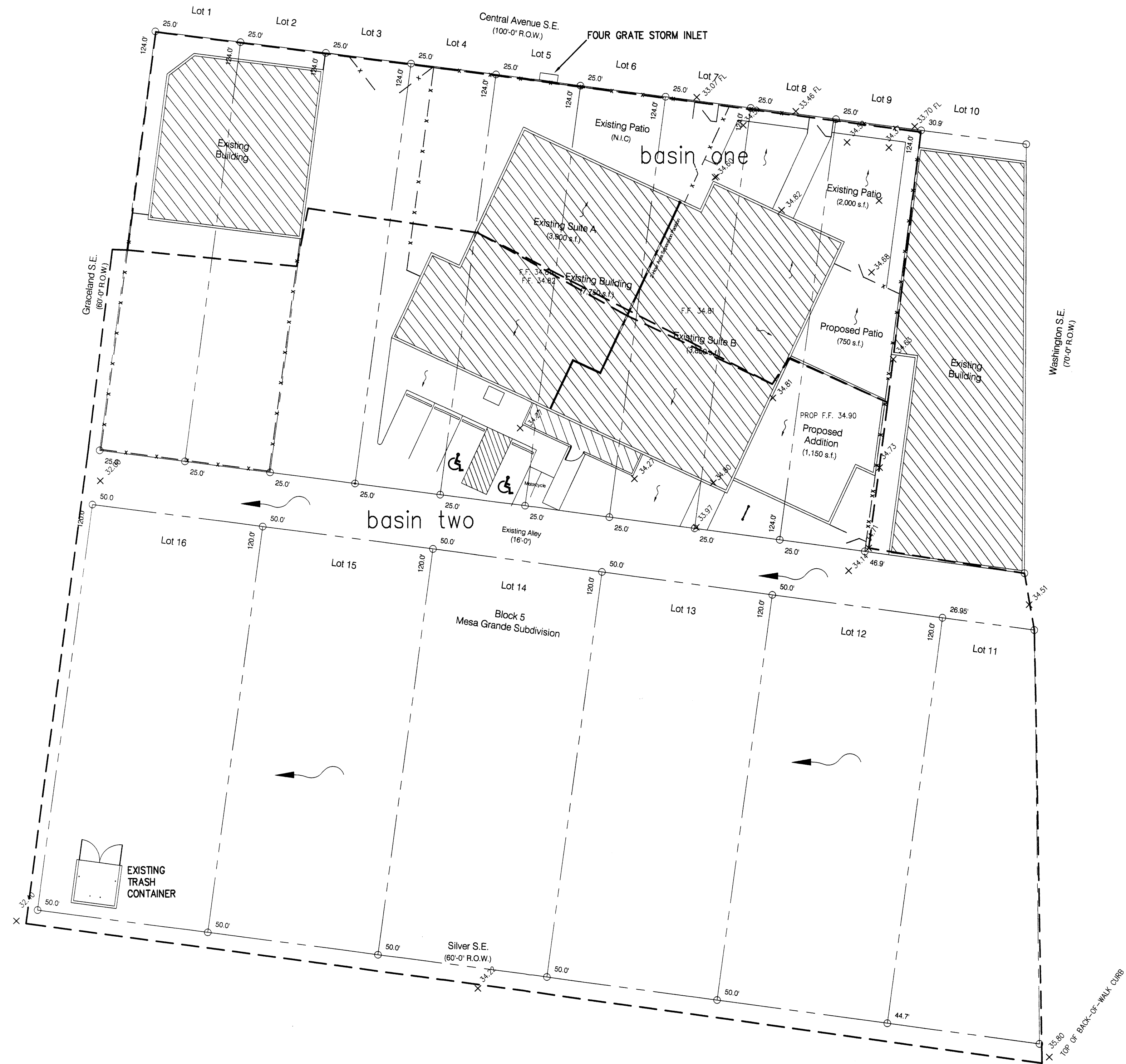
AS-BUILT DESIGNATION
 92.10
 -92.08
 OR
 92.08/



BINGHAM ENGINEERING
 6344 Belcher NE
 Albuquerque, New Mexico 87109
 505 797 4899

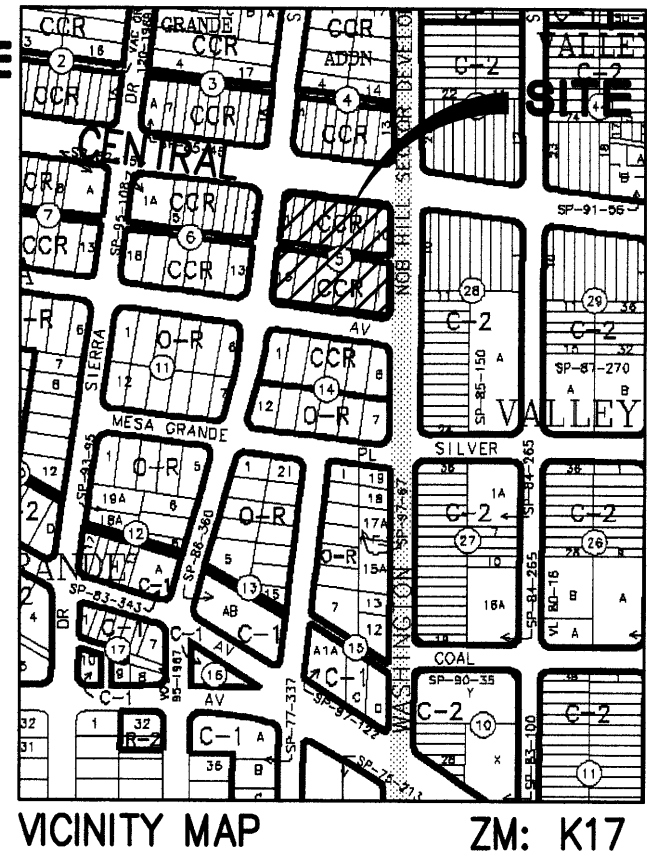
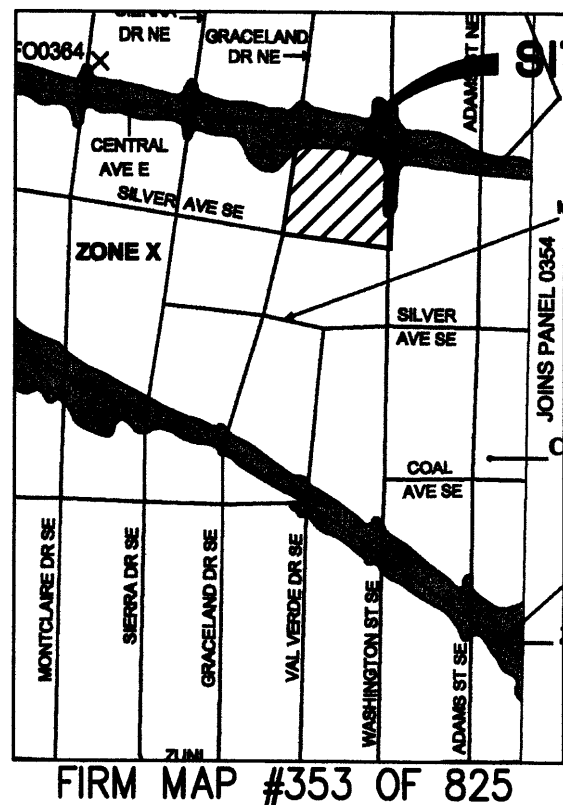


GRADING AND DRAINAGE PLAN
O'NEILL'S PUB
 4310 CENTRAL AVE. SE



NARRATIVE:

THIS PROJECT WILL CHANGE THE SIZE OF THE BUILDING BY EXTENDING IT INTO THE PAVED PATIO AREA. THE SIZE OF THE WATERSHED OR ITS PERMEABILITY WILL NOT BE AFFECTED. THIS SECTION OF CENTRAL IS DESIGNATED AS A FLOOD ZONE. THIS PROJECT WILL NOT ADD TO THE FLOODING CONDITION.



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- 15 88.43 PROPOSED TOP OF CURB ELEVATION
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION (GRID & TC)
 - TEMPORARY PAVING
 - PROPOSED CURB & GUTTER
 - EXISTING CURB & GUTTER
 - EXISTING CONTOUR W/ INDEX ELEVATION
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 - PROPOSED WATER BLOCK
 - BASIN BOUNDARY
 - SUB BASIN BOUNDARY
 - PHASE LINE
 - RETAINING WALL

START TIME=0.0 CODE 0 LINES 80
 *S COMPUTE 100 YR. HYDROGRAPHS FOR O'NEILL'S PUB
 *S
 *S O'NEILL
 *S .DAT - AHYMO PER JAN 1993 DPM REVISIONS
 RAINFALL TYPE=-1 RAIN QUAR=0.0 RAIN ONE= 2.01
 RAIN SIX= 2.35 RAIN DAY=2.75 DT=0.0333
 *S EXISTING CONDITION BASIN 1
 COMPUTE NM HYD ID=1 HYD NO= 101.1 DA=0.0005 SQ MI
 PER A 0 PER B 5 PERC 0 PER D 95 TP=-.13
 RAIN=-1 DT=0.0
 PRINT HYD ID=1 CODE=10
 *-----
 *S EXISTING COND. BASIN 2
 COMPUTE NM HYD ID=2 HYD NO= 102.1 DA=0.0020 SQ MI
 PER A 0 PER B 0 PERC 0 PER D 100 TP=-.13
 RAIN=-1 DT=0.0
 PRINT HYD ID=2 CODE=10
 *-----

FINISH

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
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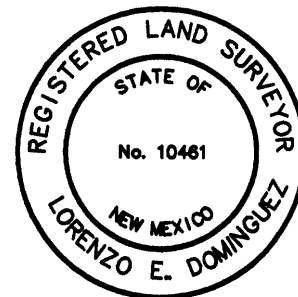
- VERSION: 1997.02a RUN DATE (MON/DAY/YR) =08/17/2007
 USER NO.= AHYMO-I-9702a01000076-SH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID	TO ID	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
START										TIME= .00
*S COMPUTE 100 YR. HYDROGRAPHS FOR O'NEILL'S PUB										
*S										
*S O'NEILL										
*S .DAT - AHYMO PER JAN 1993 DPM REVISIONS										
RAINFALL TYPE= 1										RAIN6= 2.350
*S EXISTING CONDITION BASIN 1										
COMPUTE NM HYD	101.10	-	1	.00050	1.50	.055	2.04847	1.499	4.674 PER IMP=	95.00
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COMPUTE NM HYD	102.10	-	2	.00200	6.09	.226	2.11533	1.499	4.760 PER IMP=	100.00
FINISH										

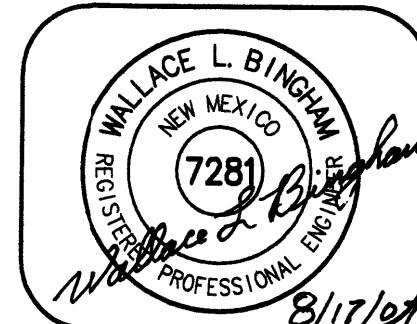
CERTIFICATION:

I, Lorenzo E. Dominguez, New Mexico Professional Surveyor, hereby certify that this topography was prepared from an actual survey performed by me or under my supervision, that I am responsible for this survey, that this survey is true and correct to the best of my knowledge and belief, that this is not a land division and the field survey upon which it is based meets the minimum standards for surveying in New Mexico.

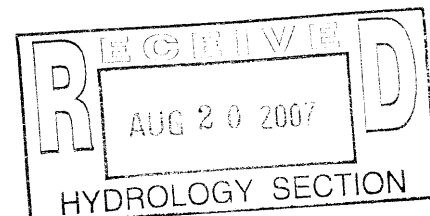
Lorenzo E. Dominguez
 Lorenzo E. Dominguez N.M.L.S. No. 10461 Date 8/17/07



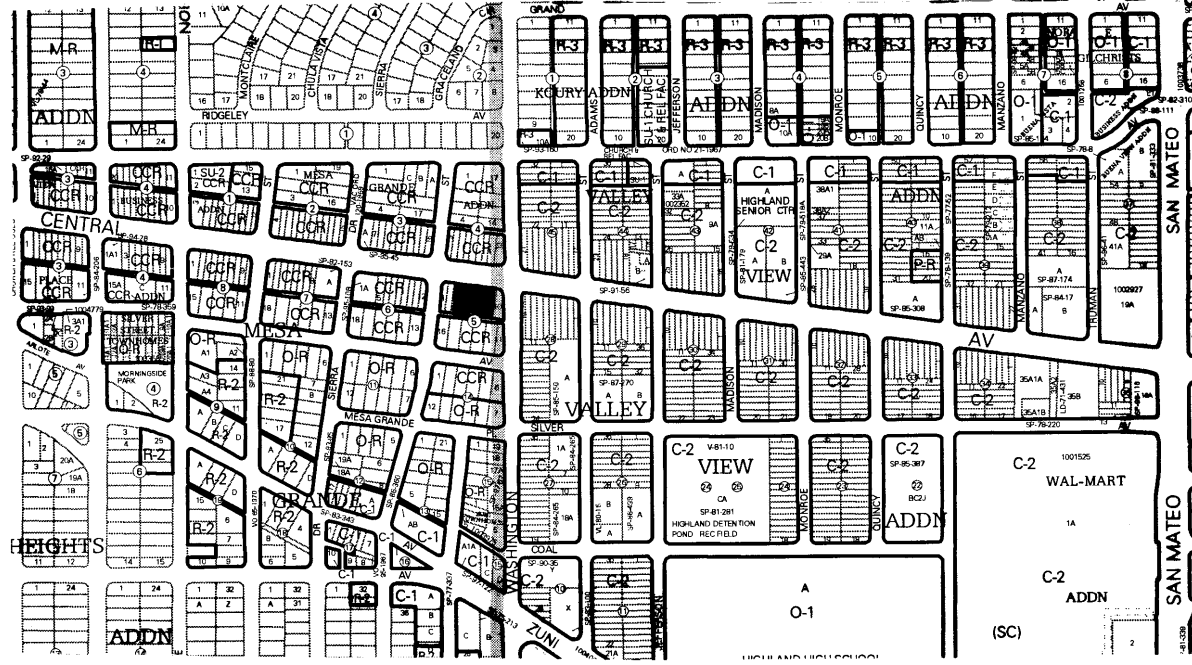
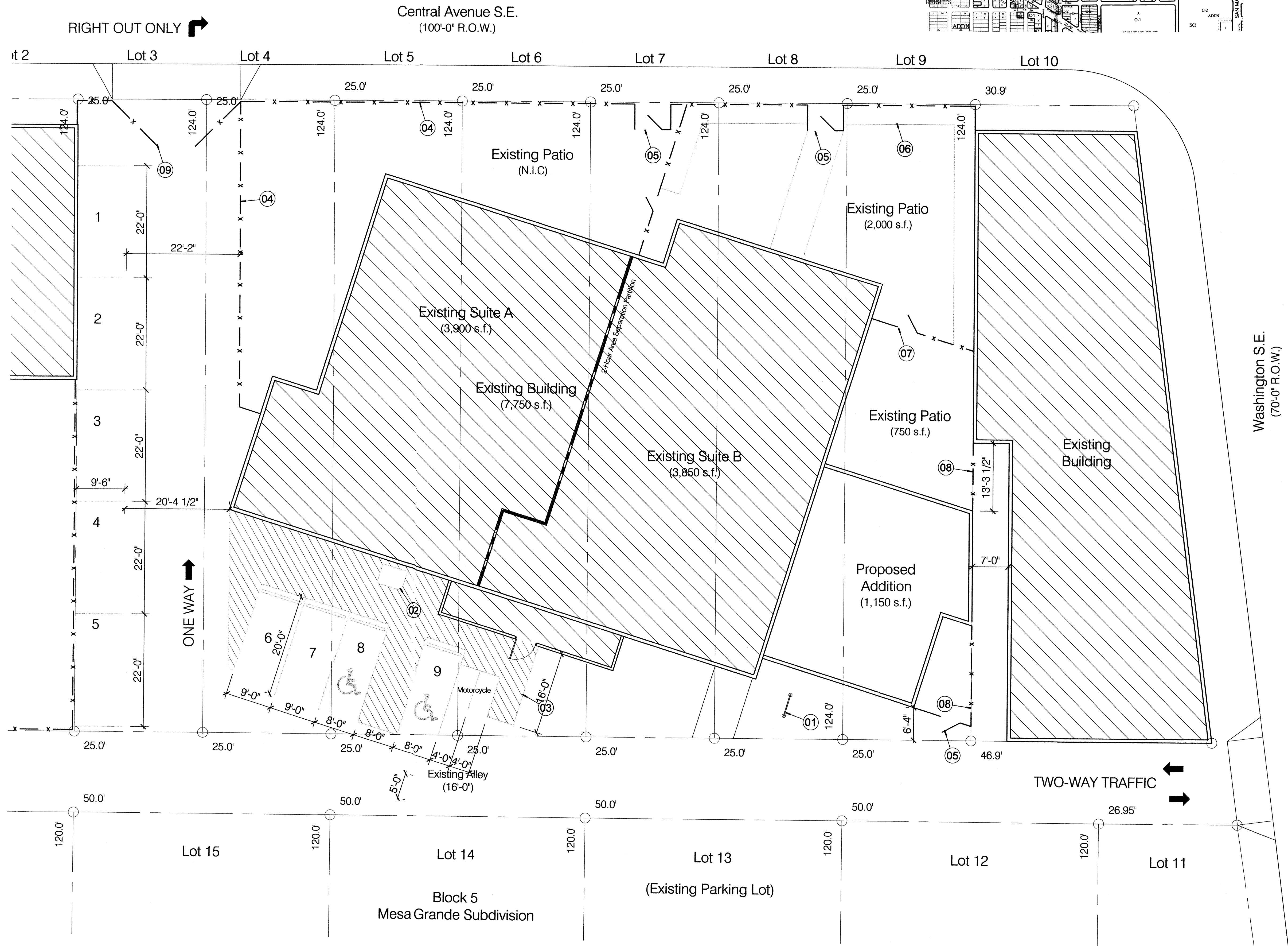
BINGHAM ENGINEERING
 8344 Belcher NE
 Albuquerque, New Mexico 87109
 505 787 4699



GRADING AND DRAINAGE PLAN
O'NEILL'S PUB
 4310 CENTRAL AVE. SE



Oniells Pub
4310 Central Ave SE, Suite B
Albuquerque, New Mexico 87108



Site Plan General Notes:
[A.1] Do Not Scale Drawings! Notify Architect of any Required Dimensions that are not Shown on Plans. Contractor Assumes the Responsibility for Work Necessary to Modify Improvements that are Incorrectly Located.
[A.2] All Installation, Erection & Materials shall Conform to Applicable Codes & Municipal Regulations. General Contractor shall Notify the Architect of any Conflicts.
[A.3] All Dimensions, Clearances & Other Existing Conditions shall be Field Verified by the General Contractor & Subcontractors Prior to Commencing Work. The Architect shall be Notified in Writing of any Conditions that vary from the Construction Documents prior to Commencing Work.
[A.4] Exterior & Interior Dimensions are to Face of Studs Unless Noted Otherwise.
[A.5] It shall be the Contractors Responsibility to Coordinate Furniture & Fixtures Specified in these Plans w/ Dimensions & Clearances. The Architect shall be Notified in Writing of any Conditions that vary from the Construction Documents prior to Commencing Work.
[A.6] Interior Wall Texture & Paint Color to be Selected by Owner.
[A.7] Floor Finish Materials to be Selected by Owner.

Site Plan Keyed Notes:
[01] Existing Bike Racks to Remain.
[02] Existing Transformer Pad to Remain.
[03] White Alkyd Paint Striping. Install per City Traffic Standards.
[04] Existing 6'-0" Rod Iron Fence to Remain.
[05] Existing Gate to Remain. Provide Panic Hardware & Closer.
[06] Existing Landscape to Remain.
[07] New 6'-0" High Brick & Rod Iron Wall to Match Existing w/ Rod Iron Gate. Provide Panic Hardware & Closer.
[08] New 6'-0" High Fence.
[09] Existing Rod Iron Swing Gate to Remain.

Project Description
Physical Address - 4310 Central Ave SE, Suite B
Albuquerque, New Mexico 87108

Legal Description -
LOTS NUMBERED THREE(3), FOUR (4), FIVE (5), SIX(6), SEVEN (7), EIGHT (8), NINE (9), ELEVEN (11), THIRTEEN (13), FOURTEEN (14), FIFTEEN (15), AND SIXTEEN (16), IN THE BLOCK NUMBERED FIVE (5) OF THE MESA GRANDE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 18, 1931.

Code Design Data

Jurisdiction:	Albuquerque, NM
Seismic Zone	= 2B
Wind Design Speed	= 75 MPH
Exposure	= C

City Zoning Code
Off-Street Parking Regulations (14-16-3-1)

Building Area		
Required Spaces	1 Space / 3 Occupants	= 1,150 s.f.
Parking Reductions		= 9 Spaces
Within 300 ft. of Transit Route (10%)		= 1 Space
Total Required Spaces		= 8 Spaces
Required H.C. Spaces		= 1 Space
	(1 Van Accessible Space)	

Motorcycle Parking Facilities

Required Spaces	= 1 Space
Provided Spaces	= 2 Spaces

Bicycle Parking Facilities (14-16-3-1-B)

Required Spaces	1 Space / 20 Parking Spaces	= 1 Space
Provided Spaces		= 2 Spaces

Compiled Plumbing Fixture Calculations

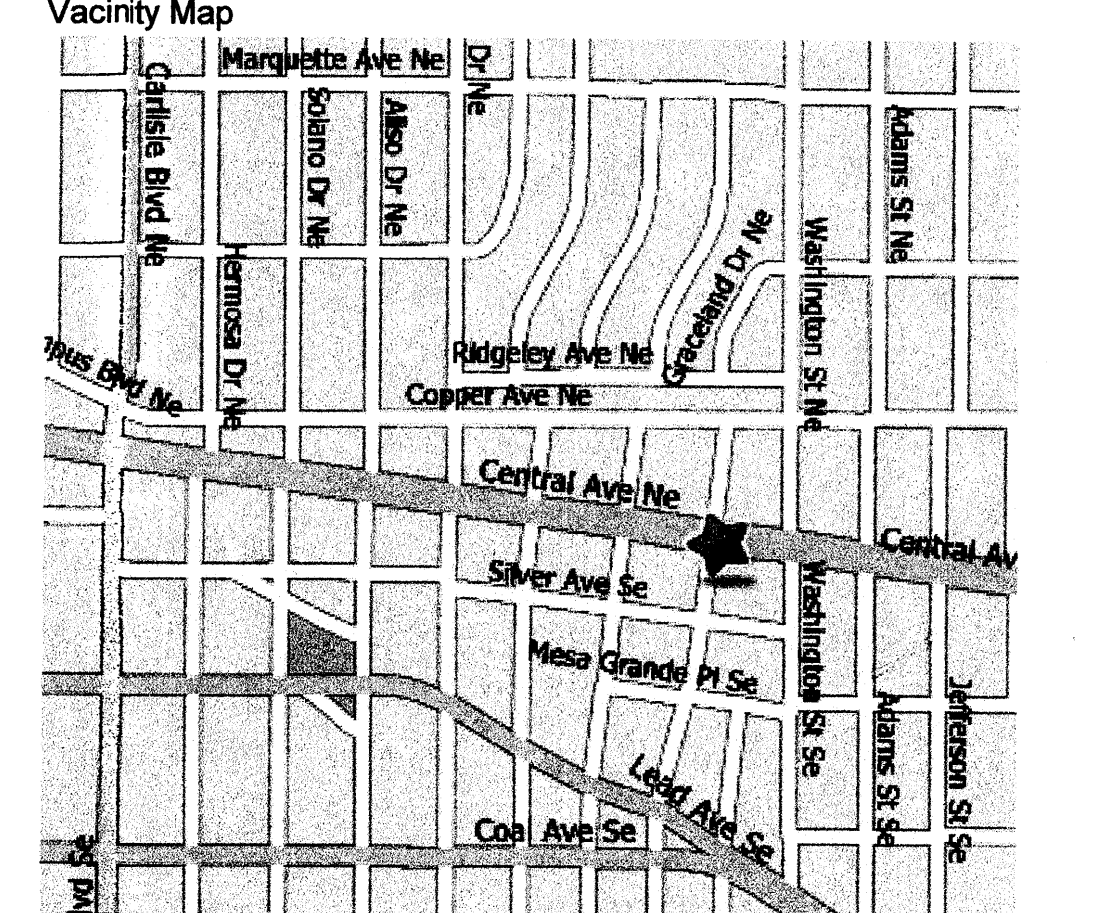
Occupant Load:
Existing Facility - 118 Occupants
Proposed Addition - 66 Occupants
184 Total Occupants

Plumbing Fixture Count: (Table 2902.1)
Based on A-2 Occupancy

Water Closets -	2 Required
Provided:	3 Existing
	1 Proposed
Lavatories -	1 Required
Provided:	3 Existing
Drinking Fountains -	1 Required
Special Exception - Restaurant	1 Required
Service Sinks -	1 Required
	2 Provided

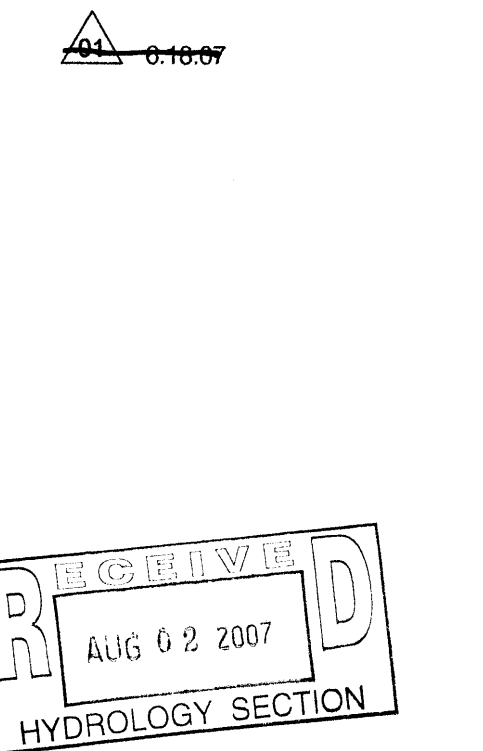
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



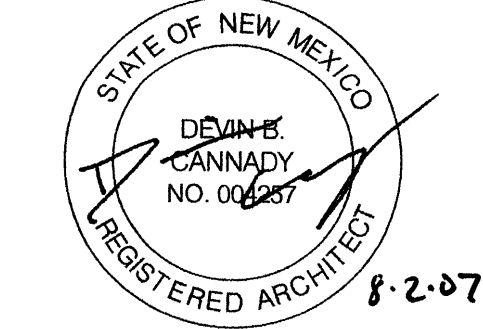
dc STUDIO
ARCHITECT
DEVIN CANNADY
ARCHITECT STUDIO
332 ADAMS STREET SE
ALBUQUERQUE NM 87108
505.299.1111 PHONE
505.349.4167 FAX
dcarchitectstudio.com

This Drawing is the property of dC&S and shall not be reproduced or used in any way without Expressed Written Consent



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] 8/7/07
Date: 8/7/07

Project
Oniells Pub
• Addition
Client
Rob Oniell
ADDRESS • 4310 Central Ave SE
• Albuquerque, NM 87108
TELEPHONE • 505.255.6782



DATE ISSUED • August, 2007
PROJECT ID • Oniells

Traffic Circulation Layout

A.00