

4301 Central Ave. Hydrology response to MRA question

Will storm water be required to be retained or detained on site, or can it be collected and pipe directly into the City storm water system?

The first flush volume will have to be retained on site. This volume is 0.34 inches times the proposed impervious area.

It is a little difficult to tell if the site will have to detain flows due to the “real” flood zone AO 1, 1300 feet to the west. The flow depth in Copper Ave is most likely at top of curb at or near this site. The reduction in flow volumes due to the first flush requirement may mitigate this condition.

To pipe directly into the City stormwater system usually requires constructing a new manhole and removing and replacing a section of the street or draining into the back of an existing inlet. The amount of flow leaving the site will usually dictate which option will be most hydraulically favorable.

Curtis Cherne P.E.

Hydrology, Planning Dept.

CLEARANCE CHECKLIST										
Application	Scope	Address	Profess	Applicant	Quantity	Checklist	Issue	Fee Calc	Insp Hist	
<div style="display: flex; justify-content: space-between;"> <div> Permit Type: BLDG #: T201291426 Project: K-17 Date: 15-JUN-2012 APH: 101705725624134902 4301 CENTRAL AV NE ABQ </div> </div>										
X Activity	Description	Assgd To	Target End Date	Decision	By	Decision Date	- Nodes -			
							Beg	End	Cmt	
<input checked="" type="checkbox"/>	ZONING	ZONING REVIEW	BLDDAK	15-JUN-2012	DISAPPROVE	BLDDAK	21-JUN-2012	1	2	✓
<input type="checkbox"/>	SOLIDWASTE	SOLID WASTE REVIEW	SWDLAW	25-JUN-2012	DISAPPROVE	SWDLAW	26-JUN-2012	3	4	✓
<input type="checkbox"/>	EHD	ENVIRONMENTAL HEALTH REV	ENVSNS	21-JUN-2012	DISAPPROVE	ENVSNS	21-JUN-2012	4	5	✓
<input type="checkbox"/>	TRAFFIC	TRAFFIC ENGINEERING REVIEW	PLNTES	21-JUN-2012	DISAPPROVE	PLNTES	25-JUN-2012	5	6	✓
<input type="checkbox"/>	HYDROLOGY	HYDROLOGY REVIEW	PLNTES	21-JUN-2012	DISAPPROVE	PLNTES	25-JUN-2012	6	7	✓
<input type="checkbox"/>	IBC	INTERNATIONAL BUILDING COD	E25390	25-JUN-2012	DISAPPROVE	E25390	29-JUN-2012	7	8	✓
<input type="checkbox"/>	FIRE	FIRE REVIEW	FIRRC	29-JUN-2012	DISAPPROVE	FIRRC	10-JUL-2012	8	9	✓
<input type="checkbox"/>	ELEC	ELECTRICAL REVIEW	BLDJAS	10-JUL-2012	DISAPPROVE	BLDJAS	31-JUL-2012	9	10	✓
<input type="checkbox"/>	MECH	MECHANICAL REVIEW	BLDJAS	10-JUL-2012	DISAPPROVE	BLDJAS	31-JUL-2012	10	11	✓
<input type="checkbox"/>	PLUM	PLUMBING REVIEW	BLDJAS	10-JUL-2012	DISAPPROVE	BLDJAS	31-JUL-2012	11	12	✓
<input type="checkbox"/>	CUSTNOTIFY	CUSTOMER NOTIFICATION	BLDCSQ	31-JUL-2012	NOTIFIED	BLDCSQ	31-JUL-2012	13	14	✓
<input type="checkbox"/>	CHECK-OUT	PLANS TAKEN BY APPLICANT	BLDLAB	31-JUL-2012				14	15	✓
<input type="checkbox"/>	ZONING	ZONING REVIEW	BLDDAK	31-JUL-2012				15	16	
<input type="checkbox"/>	EHD	ENVIRONMENTAL HEALTH REV	ENVSNS	31-JUL-2012				16	17	
<div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div> Dept: PLAN Dur: 0 Stat: DONE Dur Type: C </div> <div> Comment: dissaproved-DAVID KILPATRICK 6-21-2012 <small>Provide usable open space as per 14.16.2.12 (H) (1)</small> </div> <div> <input checked="" type="radio"/> All Activities <input type="radio"/> Only Available </div> </div>										
Delete Activity			Notes		Activity Point		Add Activity		Assign Activities	

Zoning

dissapproved-DAVID KILPATRICK 6-21-2012

Provide usable open space as per 14-16-2-12 (H) (1)

Provide the standard landscaping analysis showing landscaping meets code.

On street parking credit requires review and approval by the transportation engineer.

Show bike racks or spaces for 20 bicycles.

Plans cannot be approved in zoning without Lucc approval.

Solid Waste

Lee whistle disapproved need to call for detail need drain inside the enclosure and 4yrd bin will not work 681-2766

Environmental Health

DISAPPROVED 6/21/12 SUSAN SPRING

PLAN 201291426 DE ANZA COURTYARD HOMES 4301 CENTRAL AVE NE

PLEASE PROVIDE POOL GATE DETAIL.

WORK TO BE DONE TO POOL MUST BE SUBMITTED UNDER SEPARATE PERMIT.

THE ENVIRONMENTAL HEALTH PLAN REVIEW HAS FOUND THAT THE PLANS

SUBMITTED INVOLVE AN ACTIVITY THAT MAY BE REGULATED BY THE

ENVIRONMENTAL HEALTH DEPARTMENT, AIR QUALITY DIVISION.

BEFORE YOU BEING ANY CONSTRUCTION, RENOVATION, DEMOLITION, OR SURFACE DISTURBANCE, YOU MAY HAVE TO OBTAIN ADDITIONAL PERMITS OR

SUBMITT NOTIFICATION. EXAMPLES: FUGITIVE DUST CONTROL PERMIT,

STATIONARY SOURCE PERMIT (FOR EMERGENCY BACKUP GENERATOR, GAS STATION, PAINT AND BODY SHOPS, DRY CLEANERS) AND ASBESTOS

NOTIFICATION. FOR A LIST OF OTHER SOURCES THAT REQUIRE AIR QUALITY

PERMITS, PLEASE GO TO www.cabq.gov/airquality/ OR CONTACT THE AIR QUALITY DIVISION AT (505) 768-1972.

Traffic

DISAPPROVED TIM SIMS 25JUNE2012

TCL REQUIRED

Hydrology

DISAPPROVED TIM SIMS 25JUNE2012

D & G REQUIRED

International Building Code

DISAPPROVED. PAT ORTIZ 6-29-12 T201291426/\$3,508,00.00 CHANGE OF OCCUPANCY FROM R1- TO R2 (DE ANZA COURTYARD HOMES), 42,179 SQ. FT., R2, VB SPRINKLED.

1. PROVIDE DOCUMENTATION ON HISTORICAL CLASSIFICATION GIVEN BY THE CITY OR STATE PRESERVATION PROGRAM.
2. PROVIDE UL LISTED # OF FIRE RATE ASSEMBLIES USED PER 709, INCLUDE COPIES OF ASSEMBLIES.
3. CORRELATE THE EXISTING INTERIOR WALL ASSEMBLIES WITH FLOOR PLAN.
4. PROVIDE WALL SECTIONS OF THE NEW WALLS SEPERATING; ROUTE 66 MUSEUM, BEDROOM 35 AND THE ZUNI CRAFT SHOP FROM EXERCISE ROOM AND COMMUNITY ROOM.
5. PROVIDE COMPLIANCE WITH IECC IN THE NEW DOORS AND WINDOWS & INSULATION.
6. PROVIDE SIZE OF NEW WOOD COLUMN ON ALL SG SHEETS SEE NOTE 2.
7. CLARIFY DETAIL ON SHEET A-5.7 SEE "LOBBY FIRE PLACE" 85. THERE ARE TWO OF THEM.
8. CLARIFY " AREA TO BE TURNED OVER TO ZUNI PUEBLO" WILL THAT AREA BE DEVELOPED OR USED FOR ANY PURPOSE. IF IT WILL IT WILL NEED A C.O. BEFORE USE.
9. PUBLIC REST ROOMS SHALL COMPLY WITH 1210.2 WALLS WITHIN 2' OF WATER CLOSETS AND URINALS SHALL BE OF A HARD SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT OF 4' A.F.F. OF A MATERIAL THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
10. SHOWERS COMPARTMENTS AND WALLS ABOVE BATH-TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. SEE NOTE 10 ON SHEET A-5.5.
11. PROVIDE THE SPECS ON FIRE PLACE ON SHEET A-5.7 DETAIL 87.
12. PROVIDE C.O. DETECTORS OUTSIDE OF EACH SLEEPING AREA IN EACH UNIT.
13. CLARIFY THE UNITS TO BE ACCESSIBLE IN A LIST. SEE IBC 1107.6.2.1.1. TYPE A UNITS SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OF UNITS.
14. PROVIDE "NO PARKING IN THE STRIPPED AREA OF H.C. PK AREA"
15. PROVIDE 18" ON PULL SIDE OF DOOR 14. IS DOOR 14 32" CLEAR OPENING.
16. PROVIDE HARDWARE ON DOOR E13.

Fire

disapproved ray sanchez

1. SHOW LOCATIONS OF REQUIRED FIRE EXTINGUISHERS , SOME BUILDINGS SHOW THEM OTHERS DO NOT.
2. LOCATIONS OF F.D.C. & P.I.V. MUST BE APPROVED BY THIS OFFICE
3. ALL FIRE RISER DOORS SHALL BE IDENTIFIED
4. FIRE LANES TO BE ADDRESSED

Electrical

Disapproved

NECENTRAL4301 (DEANZACOPURTYARDHOMES)

07/31/2012-201291426

John Sheets Plans Examiner

(505) 924-3957

PLAN EXAMINERS AVAILABLE MONDAY THRU FRIDAY 08:30 TO 11:30

www.jsheets@cabq.gov

1. Show complete utility site plan.
2. Show all electrical fixtures (interior, exterior and site) wiring sizes and circuiting, grounding, panel schedules, single line diagrams, and fixture schedules.
3. Show complete utility site plan.
4. Provide locations for the electrical equipment showing required clearances / NEC 110.26.
5. Show compliance short circuit rating / NEC 110.10.
6. Show compliance with arc-flash rating / NEC 110.16.
7. Provide IECC or ASHRE 90.1 information to show compliance with IECC chapter 4 and 5.
8. Show compliance for the HVAC equipment performance requirements / UMC 602.1.
9. An emergency shutoff valve, full bore gas shutoff shall be installed downstream of the serving supplier gas meter prior to any distribution of gas into the gas piping system, including new and re-pipe systems / UAC / UPC Section 1312.9.3.
10. Plan review to continue.

Mechanical

Disapproved

NECENTRAL4301 (DEANZACOPURTYARDHOMES)

07/31/2012-201291426

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10. Plan review to continue.

Plumbing

Disapproved

NECENTRAL4301 (DEANZACOPURTYARDHOMES)

07/31/2012-201291426

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10. Plan review to continue.

Customer Notified on July 31, 2012

Plans checked out by Applicant on July 31, 2012

Contact: Kristin at Integrated Design (505-243-3499)

Metro, Kristal D.

From: Conrad, Matt A.
Sent: Monday, July 16, 2012 2:57 PM
To: Metro, Kristal D.
Subject: FW: De Anza

Your thoughts?

From: Smith, Gregory P.
Sent: Monday, July 16, 2012 2:48 PM
To: Conrad, Matt A.
Subject: RE: De Anza

The general feel is that we should not allow the use of on street parking to meet development requirements. Additionally, this plan would require that the street be made one way. We do not favor these kinds of commitments of rights of way.

From: Conrad, Matt A.
Sent: Friday, July 13, 2012 9:33 AM
To: Smith, Gregory P.
Subject: FW: De Anza

Greg,
Were you able to get comments from your staff regarding the De Anza?
I apologize for being a pain.
Matthew

From: Metro, Kristal D.
Sent: Friday, July 13, 2012 9:15 AM
To: Conrad, Matt A.
Subject: De Anza

Good Morning Matt,

Just checking in to see if you've heard back from DMD regarding the proposed roadway changes associated with the De Anza development.

Sincerely,
Kristal Metro, City of Albuquerque Transportation Development

7/18/2012

CITY OF ALBUQUERQUE



May 2, 2012

Robert Hall, R.A.
Integrated Design & Architecture
906 ½ Park Avenue SW
Albuquerque, NM 87102

**Re: De Anza Courtyard Homes, 4301 Central Ave , Traffic Circulation Layout
No Architect's Stamp (K17-D106)**

Dear Mr. Hall,

Based upon the information provided in your submittal received 04-16-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please note that this letter provides comments / questions for the internal improvements for the above referenced site. Improvements to City right of way are still being determined and must be built through the public work order process; written concurrence from Traffic Operations is required.
2. All required parking must be paved with a minimum of 2 inches of asphaltic concrete or equal (see the *Development Process Manual* Chapter 23, Section 2, Part G(4) and the *Comprehensive Zoning Code* Section 14-16-3-1).
3. Define all property lines on the plan.
4. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
5. Please show a vicinity map.
6. The proposed western entrance appears to conflict with an existing inlet and an existing street light.
7. Provide the legal description on the plan.
8. What is the status of the replat?
9. Please add the following note to the plan: "All improvements located within City right of way must be reviewed through the City work order process."
10. The proposed 3-foot stucco wall appears to interfere with the sight distance of the driveways and at the intersection of Washington and Central. Please provide a sight distance exhibit.
11. A transition is needed for the sidewalk along Washington to tie into the ramp at Washington and Central.
12. Please clarify existing versus proposed conditions.

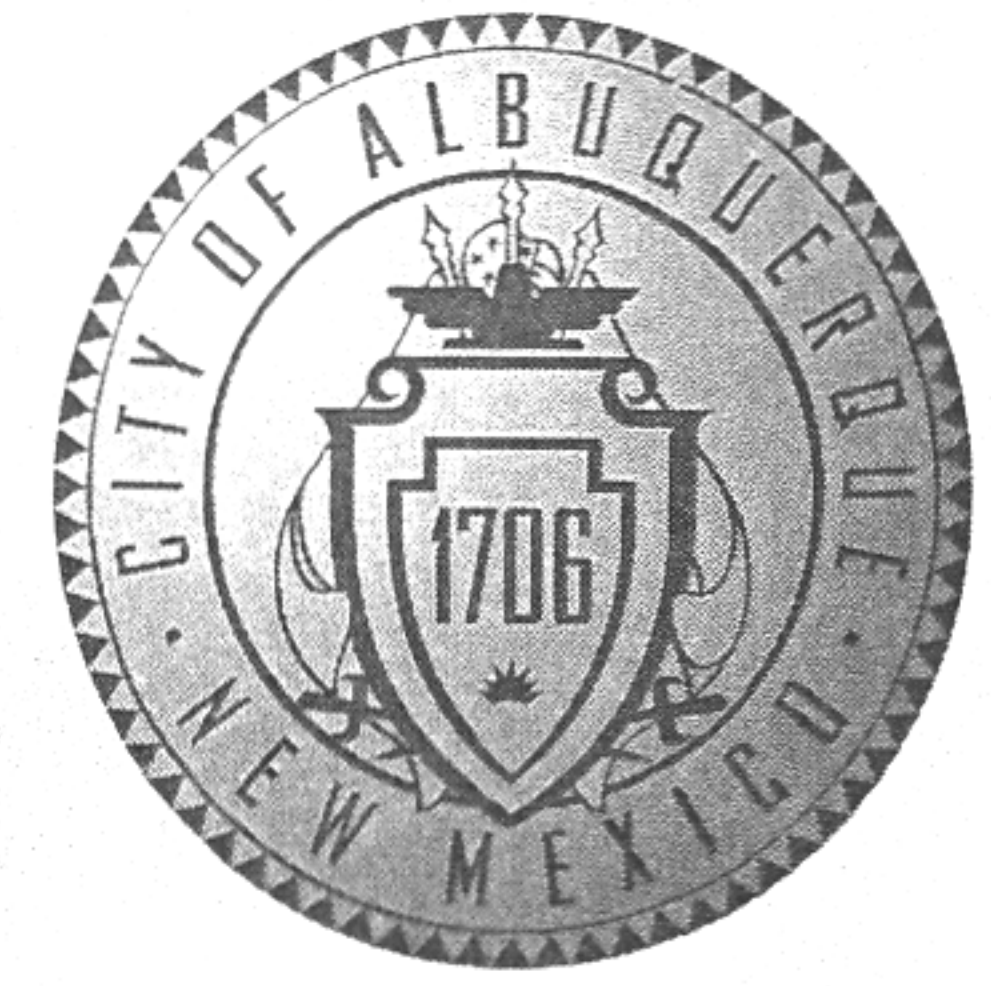
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



13. Define the width of all sidewalk.
14. Clearly show the 6-foot wide, ADA accessible, pedestrian pathway to the clubhouse, craft shop, and museum from the public sidewalk.
15. Graceland Street shows the sidewalk in 2 pieces; please clarify.
16. All ramps located in City right of way must have truncated domes.
17. A proposed fence is shown around the refuse bins. This fence encroaches into City right of way; a revocable permit is required.
18. Clearly show the 6-foot wide, ADA accessible, pedestrian pathway to the clubhouse, craft shop, and museum from the ADA accessible parking stalls.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

C: File

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: De Anza Courtyard Homes ZONE MAP: K-17 D106
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Block 004, lots 1-17
CITY ADDRESS: 4301 Central Ave

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: De Anza Courtyard Homes, LLC CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: Albuquerque, NM ZIP CODE: _____

ARCHITECT: Integrated Design Architecture CONTACT: Kristin
ADDRESS: 906 1/2 Park Ave SW PHONE: 243-3499
CITY, STATE: Albuquerque, NM 87102 ZIP CODE: 87102
EMAIL: Kristin@integrateddesignarch.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

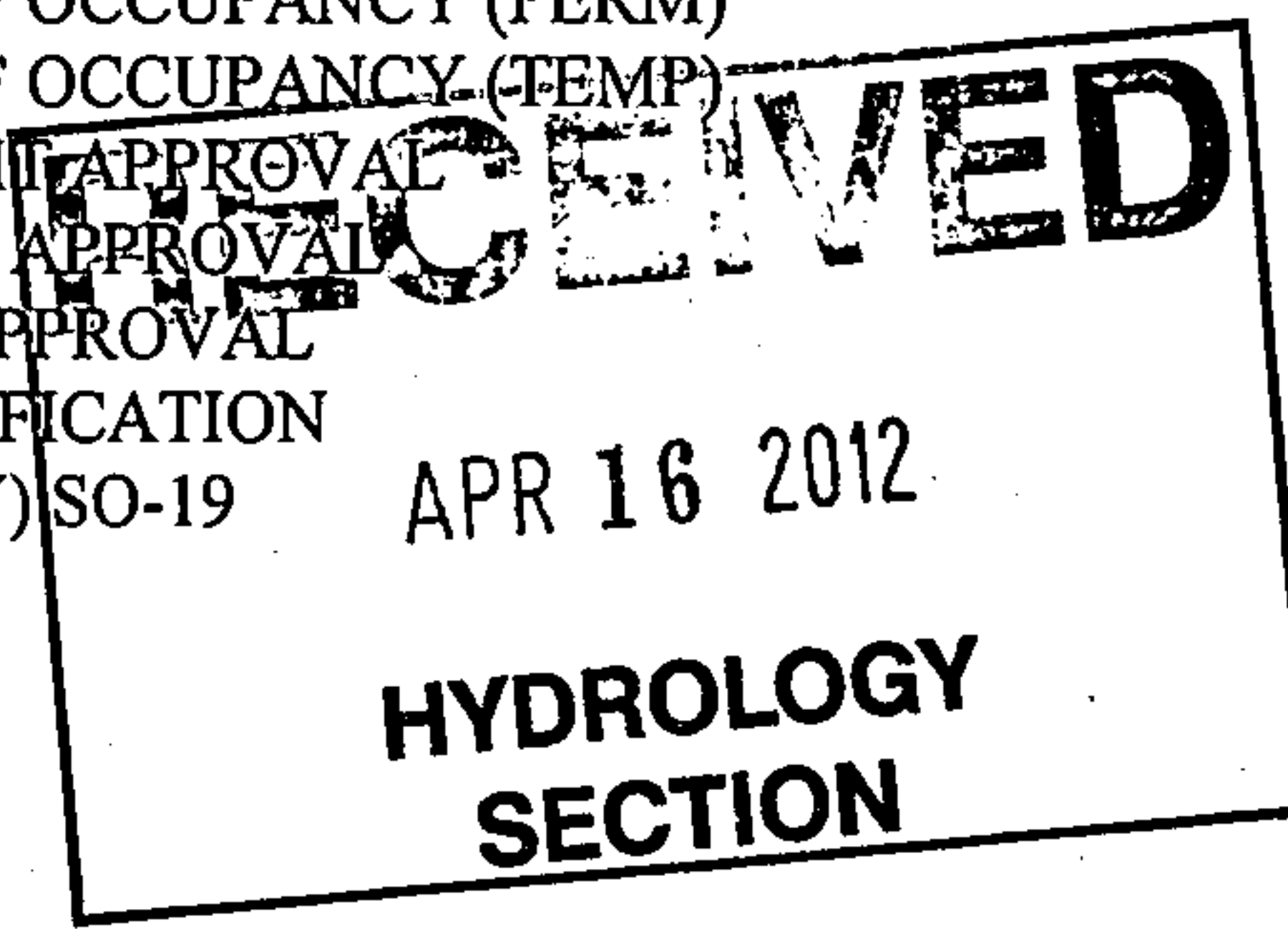
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ ~~TRAFFIC~~ TRAFFIC CIRCULATION LAYOUT
☒ ~~ENGINEER'S CERT (TCL)~~ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ ~~FINAL~~ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 4/16/2012 BY: Kristin Stevens



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

On hold per Planning Administration; awaiting DMD concurrence regarding proposed street changes.



4301 Central Ave NE

T 2012914276

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: DE ANZA COURTYARD HOMES ZONE MAP: K-17-2D106
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: ALL OF BLOCK #4 OF MESA GRANDE
CITY ADDRESS: 4301 CENTRAL AVE. NE, ALBUQUERQUE NM 87108

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: INTEGRATED DESIGN & ARCHITECTURE CONTACT: BOB HALL
ADDRESS: 906 1/2 PARK AVE SW PHONE: 243-3499
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87121
EMAIL: INFO@INTEGRATEDDESIGNARCH.COM

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

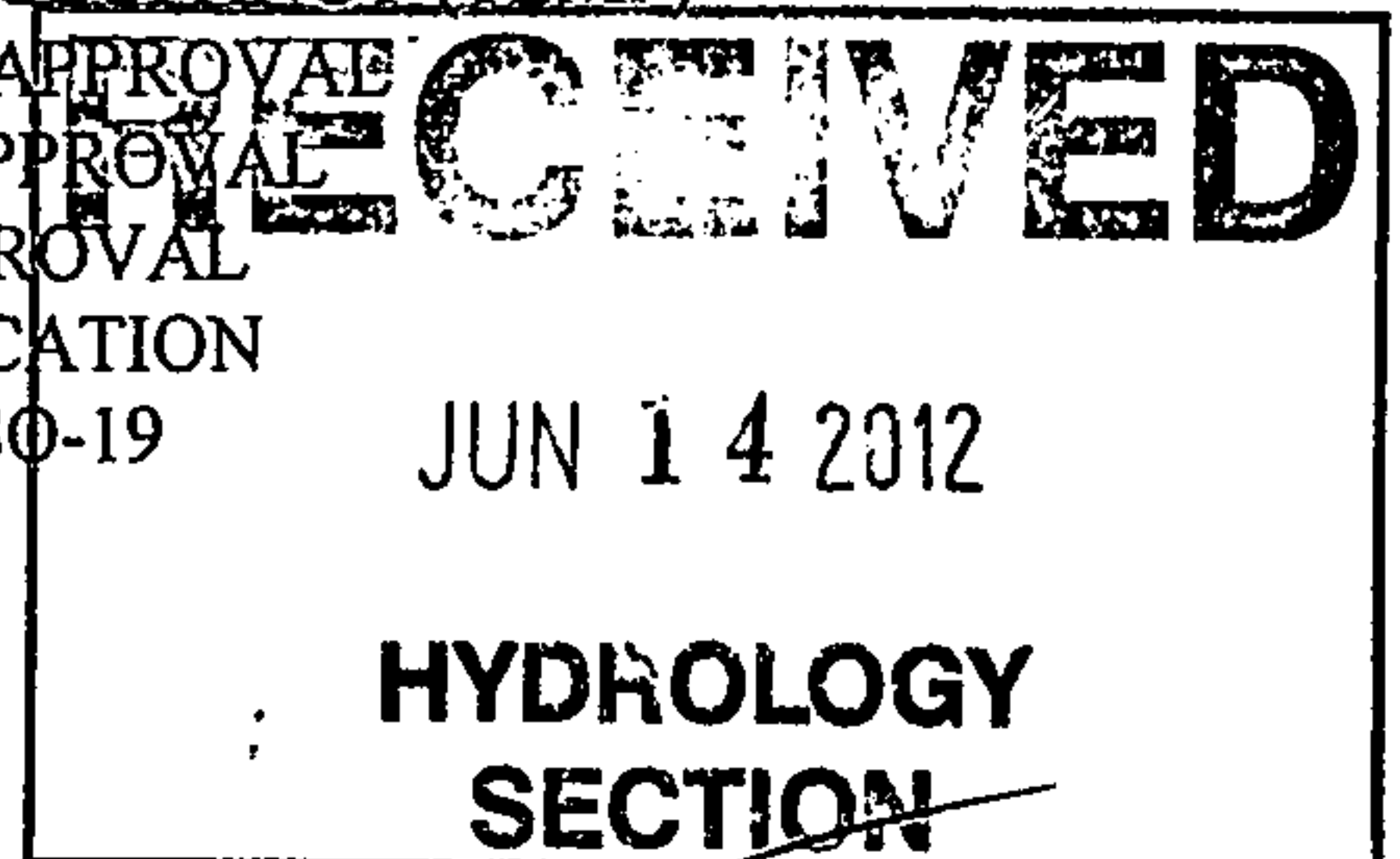
CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☒ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: JUNE 14, 2012 BY: CALF

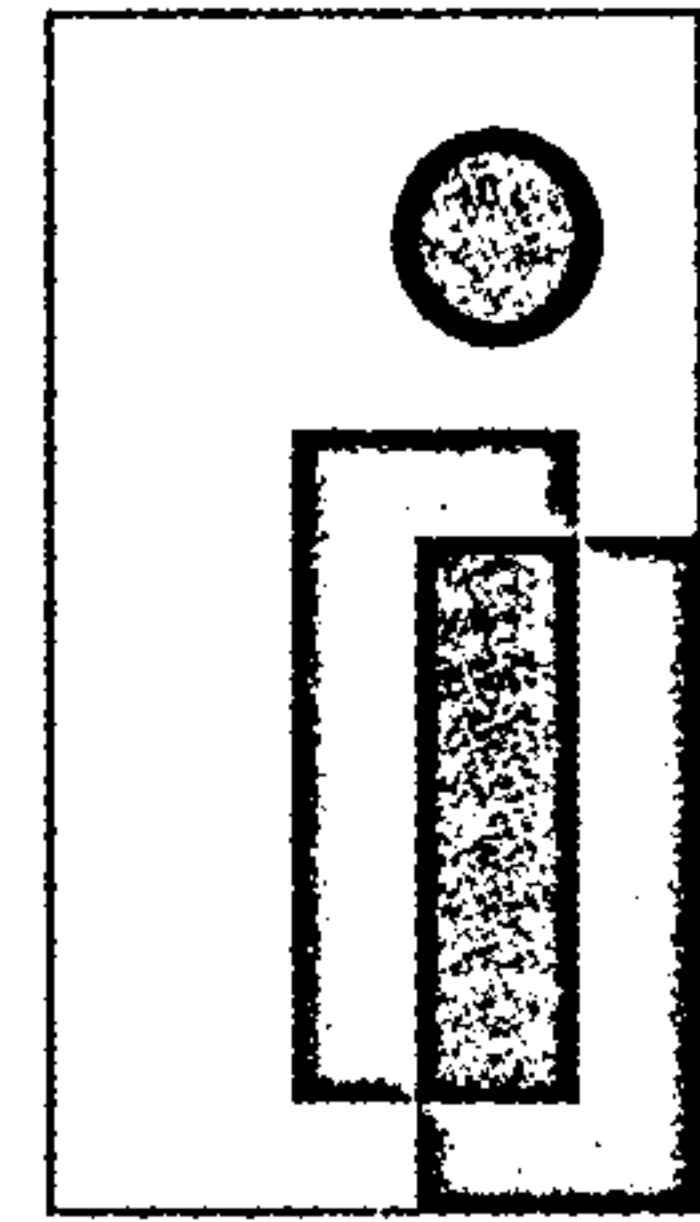
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



June 14, 2011

Kristal D. Metro, P.E.
City of Albuquerque Traffic Engineer, Planning Department
Development and Building Services
600 2nd Street NW
Albuquerque, NM 87102



Re: De Anza Courtyard Homes, 4301 Central Ave, Traffic Circulation
Layout No Architect's Stamp (K17-D106).

integrated
design architecture

Dear Ms. Metro

Below are our responses to the comments made in your letter dated May 2, 2012. The original comments will be presented indented and in italic font.

Based upon the information provided in your submittal received 04-16-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

1. *Please note that this letter provides comments/ questions for the internal improvements for the above referenced site. Improvements to City right of way are still being determined and must be built through the public work order process; written concurrence from Traffic Operations is required.*

No action required, general note added to Plan see comment number 9.

2. *All required parking must be paved with a minimum of 2 inches of asphaltic concrete or equal (see the Development Process Manual Chapter 23, Section 2, Part G(4) and the Comprehensive Zoning Code Section 14-16-3-1).*

Parking surface has been modified to meet the City's requirements, see note 34

3. *Define all property lines on the plan.*

All four property lines have been identified on the Plan, see Keyed Note number 1.

4. *The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.*

The Plan has been stamped, dated, and signed by Robert Hall, see Title Block.

5. *Please show a vicinity map.*

A vicinity map has been added to the Plan, see the upper right of the sheet.

6. *The proposed western entrance appears to conflict with an existing inlet and an existing street light.*

The western entry has been modified to avoid the existing inlet and street light.

7. *Provide the legal description on the plan.*

The Legal Description has been added to the Plan; see General Information on the upper right of the sheet.

8. *What is the status of the Plat?*

The re-plat is in process the vacation of the alley is under the 30 day notice and will be heard on June 13, 2012, the re-plat will be submitted on June fourth to be heard on June 13, 2012 concurrently with the Alley vacation.

9. *Please add the following note to the plan; "all improvements located within City right of way must be reviewed through the City work order process."*

Note has been added to the Plan General Notes, General Note "G."

10. *The proposed 3-foot stucco wall appears to interfere with the sight distance of the drive ways and at the intersection of Washington and Central. Please provide a sight distance exhibit.*

The stucco wall at the intersection of Washington and Central has been move out of the intersection sight triangle and reduced in height 2'-0" with 2'-8" pilasters at the drive entrances. Mini-sight triangles have been added to the two driveways. Since there is only one direction to turn when exiting the driveways (westbound Central) only one mini-sight triangle has been put at each drive way centered on the 24-foot wide drive way, also adding in the maneuvering visibility is the 8.5-foot on-street parking area located on Central.

11. *A transition is needed for the sidewalk along Washington to tie into the ramp at Washington and Central.*

A two foot transition has been added to the curb ramp located at the intersection of Washington and Central.

12. Please clarify existing versus proposed conditions.

"(EXISTING STRUCTURE)" has been added to indicate the existing versus new, also the Keyed Notes indicate existing versus new.

13. Define the width of all sidewalk.

All sidewalk widths have been provided, new and existing.

14. Clarify the 6-foot wide, ADA accessible, pedestrian pathway to the clubhouse, craft shop, and museum from the public sidewalk.

An 8-foot access is provided from the public sidewalk to the club house, 6-foot access has been provided from the public sidewalk to the Cafe this increases to 7.23-feet and 6.21-feet at the Museum and Gift Shop.

15. Graceland Street shows the sidewalk in 2 pieces; please clarify.

This has been removed.

16. All ramps located in the City tight of way must have truncated domes.

All ramps in the City Right-of-Way indicated "Detectible Warnings", see Keyed Note 26.

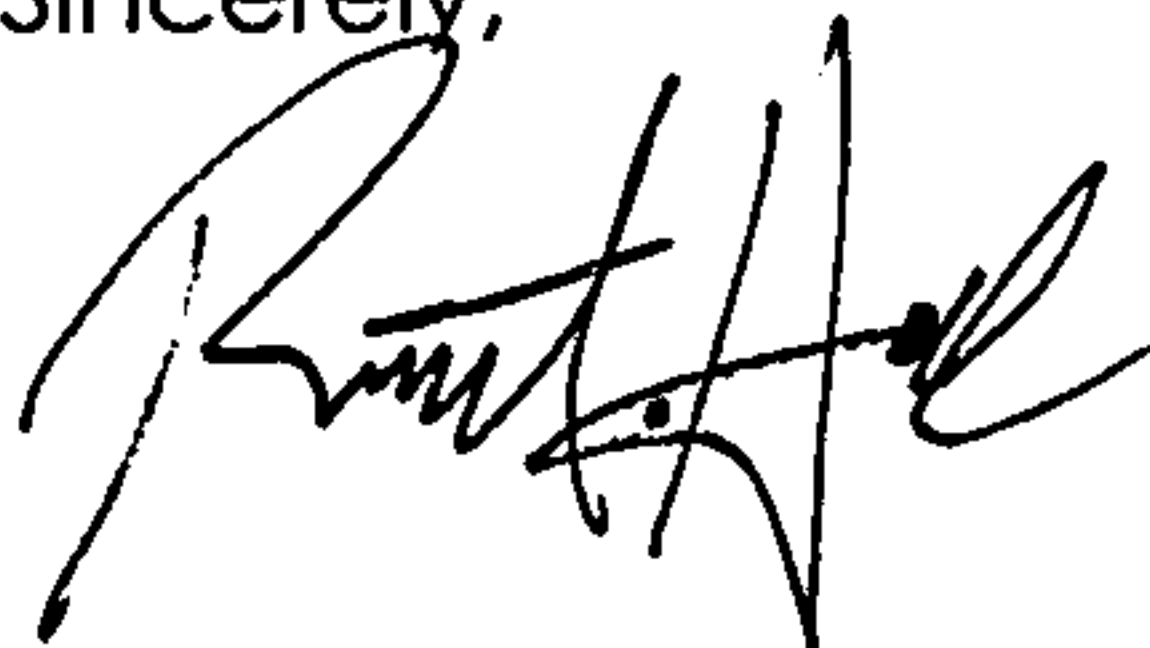
17. A proposed fence is shown around the refuse bins. This fence encroaches into the City right of way; a revocable permit is required.

Refuse containers and surrounding walls have been modified so that they are contained with the site.

18. Clearly show the 6-foot wide, ADA accessible, pedestrian pathway to the clubhouse craft shop, and museum from the ADA accessible parking.

A 6-foot wide pathway from the eastern accessible parking stalls is provided to the public sidewalk; please see comment number 14 response.

Sincerely,



Robert Hall, AIA