

# CITY OF ALBUQUERQUE

*Planning Department*  
David Campbell, Director



*Mayor Timothy M. Keller*

May 14, 2019

David Aube, P.E.  
Hartman & Majewski Design Group  
120 Vassar Dr SE, Suite 100  
Albuquerque, NM, 87106

**RE: De Anza – Lot 4**  
**4307 Central Ave NE**  
**Permanent C.O. – Accepted**  
**Engineer's Stamp Date: 12/13/17**  
**Engineer's Certification Date: 05/10/19**  
**Hydrology File: K17D106**

PO Box 1293

Dear Mr. Aube:

Albuquerque

Based on the Certification received 05/13/19 and site visit on 05/14/19, this certification is approved in support of Permanent Release of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

*Renée C. Brissette*

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





THE HARTMAN + MAJEWSKI  
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Albuquerque New Mexico 87106  
T 505 242 6880 • F 505 242 6881  
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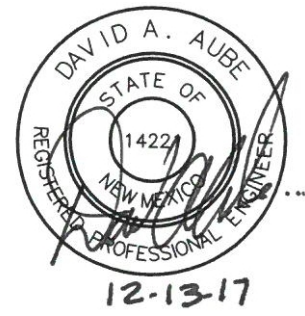
**Broad Crested Weir Calculation**  
 $Q=Cwb \cdot b \cdot (g)^{1/2} \cdot ((2/3)^{1.5}) \cdot (H^{3/2})$

	Pond A	Pond B	Pond C
Flow Rater (Q, cfs)=	8.5	2.61	1.87
Height of Water Over Weir (H)	0.5	0.5	0.5
Height of Water Block (Pw)	1.5	1.5	1.5
Weir Block			
Coefficient (Cwb)=	0.56	0.56	0.56
Width (b,ft)=	6	2	2
Height of Weir (H, ft)=	0.54	0.50	0.36

**Sidewalk Culvert Calculation**  
 $Q=k/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$

Depth of Curb (ft)	0.5
Width of Culvert (ft)	2
Conversion	
Coefficient (k)=	1.486
Manning's Roughness Coefficient (n)=	0.013
Cross Sectional Area of Fluid Flow (A)=	1
Wetted Perimeter (P)=	3
Hydraulic Radius (R)=	0.33
Slope (S)=	0.01
Max Flow Rate (Q)=	5.50
Number of Culverts (#c)	3.00
Max with # of Culverts	16.49

STAMP



100% CONSTRUCTION  
DOCUMENT SUBMITTAL  
PROJECT NAME  
DE ANZA MOTOR LODGE

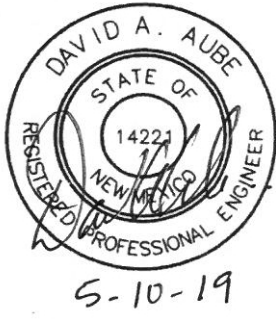
4301 CENTRAL AVENUE NE  
ALBUQUERQUE, NM 87108

Certification is only for  
Tract A. A separate  
certification will be  
prepared for other  
Tracts.

Drainage Certification (K17D106)

I, David A Aube. NMPE 14221, of the firm The Hartman + Majewski Design Group, Inc, hereby certify that The Building A (located on Tract A) of the De Anza project (4301 Central Avenue NE) is in substantial compliance with and in accordance with the design intent of the Grading and Drainage plan approved plan dated 12/13/17. The record information that has been edited onto the original design documents where obtained by Cartesian Surveys (Brian Martinez NM PS # ). I further certify that I have personally visited the project site on May 8, 2019 and have determined by visual inspection that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for Building A, Located on Tract A of the De Anza Project located at 800 4301 Central Avenue NE.

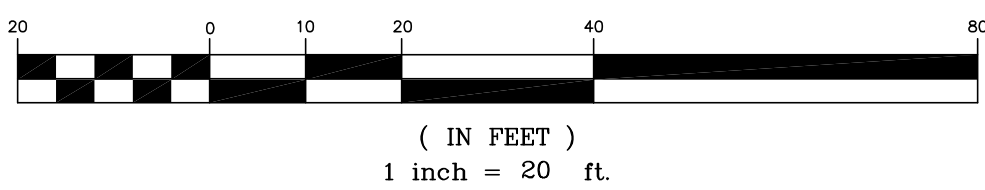
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.



**BASIN PRO 2**  
 $Q_{100} = 0.30$  CU-FT/SEC  
Area= 3,062 sf  
%B=15  
%D=85

**BASIN PRO 3**  
 $Q_{100} = 0.19$  CU-FT/SEC  
Area= 1,394 sf  
%D=100

**GRADING AND DRAINAGE PLAN**  
SCALE: 1" = 20'-0"





GRADING PLAN GENERAL NOTES

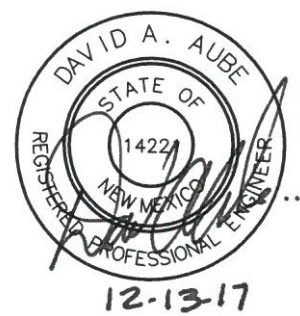
I. SEE SHEET C-G01 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.



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REVISIONS

NO.	DATE	DESCRIPTION
1	12/13/17	ADDENDUM 02

Copyright: Design Group

Drawn by: DAA  
Checked by: DAA  
Date: OCTOBER 25, 2017  
Project number: 2500

SHEET TITLE

OVERALL SITE  
GRADING PLAN

SHEET NUMBER

C-201

12/17/2016 5:33:40 PM

A1

OVERALL SITE GRADING PLAN

1" = 20'-0"

