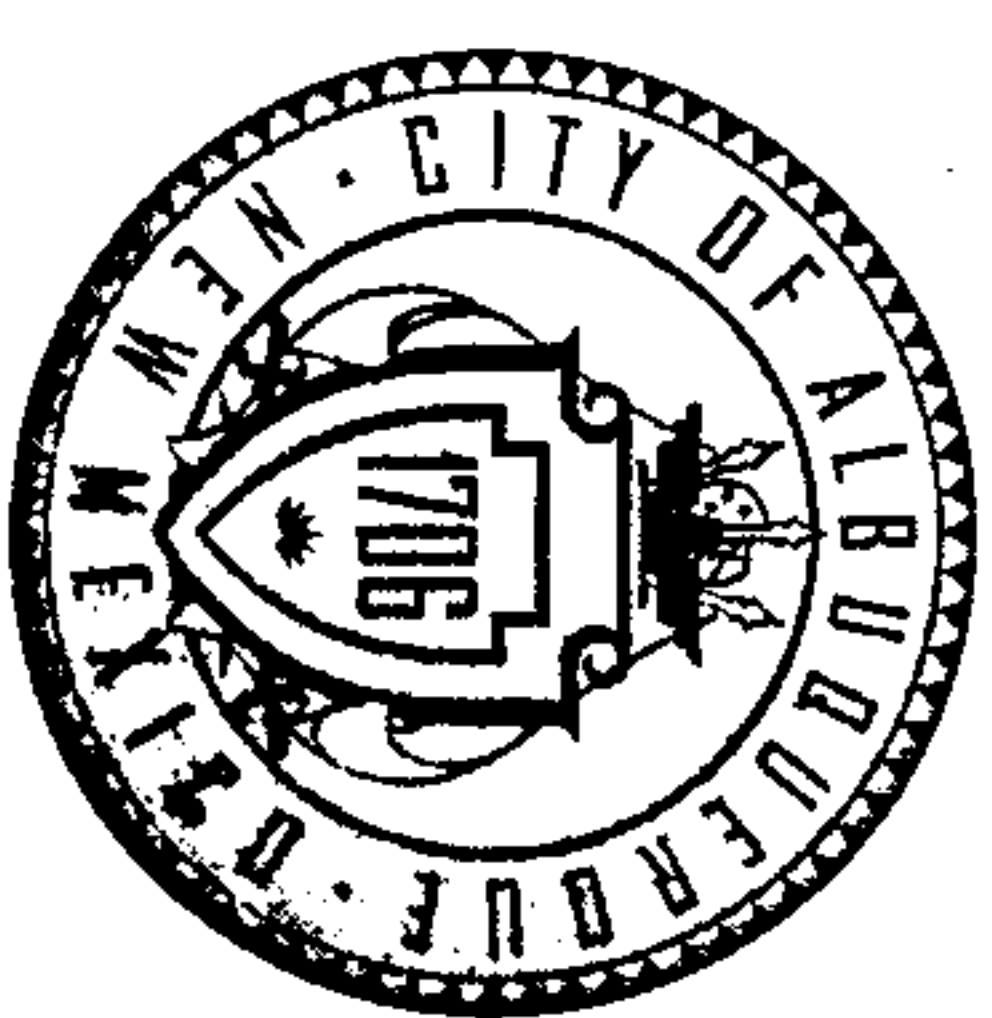


CITY OF ALBUQUERQUE



*Planning Department
Transportation Development Services*

July 29, 2015

Ken Myers
Environmental Dynamics, Inc.
142 Truman NE
Albuquerque, NM 87108

Re: **Platinum Apartments**
 4100 Silver Ave., SE
 Certificate of Occupancy – Transportation Development
 Engineer's/Architect's Stamp dated 2-3-14 (K17-D108)
 Certification dated 7-22-15

Dear Mr. Myers,

PO Box 1293

Albuquerque

Based upon the information provided in your submittal received 7-23-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

New Mexico 87103

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

c: File
 CO Clerk



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Platinum Apt Building Permit #: 2014 901713 City Drainage #: K17D108
DRM#: _____ Work Order#: _____
Legal Description: 4100 Silver Ave. SE in ABQ, NW lot #1 & A Block #10 Mesa Grande Subdivisions
City Address: 4100 Silver Ave. SE ABQ, NM 87108

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Owner: Pave Platinum, LLC Contact: Eric Goldmund
Address: 4700 N. Pennsylvania Ave. Ste. B Chicago, IL 60640
Phone#: 773 2901690 Fax#: 773 290 1699 E-mail: Eric@P5Chicago.com

Architect: Environmental Dynamics, Inc. Contact: Ken Myers
Address: 142 Truman Wg. ABQ NM 87108
Phone#: 505 242 2851 Fax#: _____ E-mail: Kenny@edi-architect.com

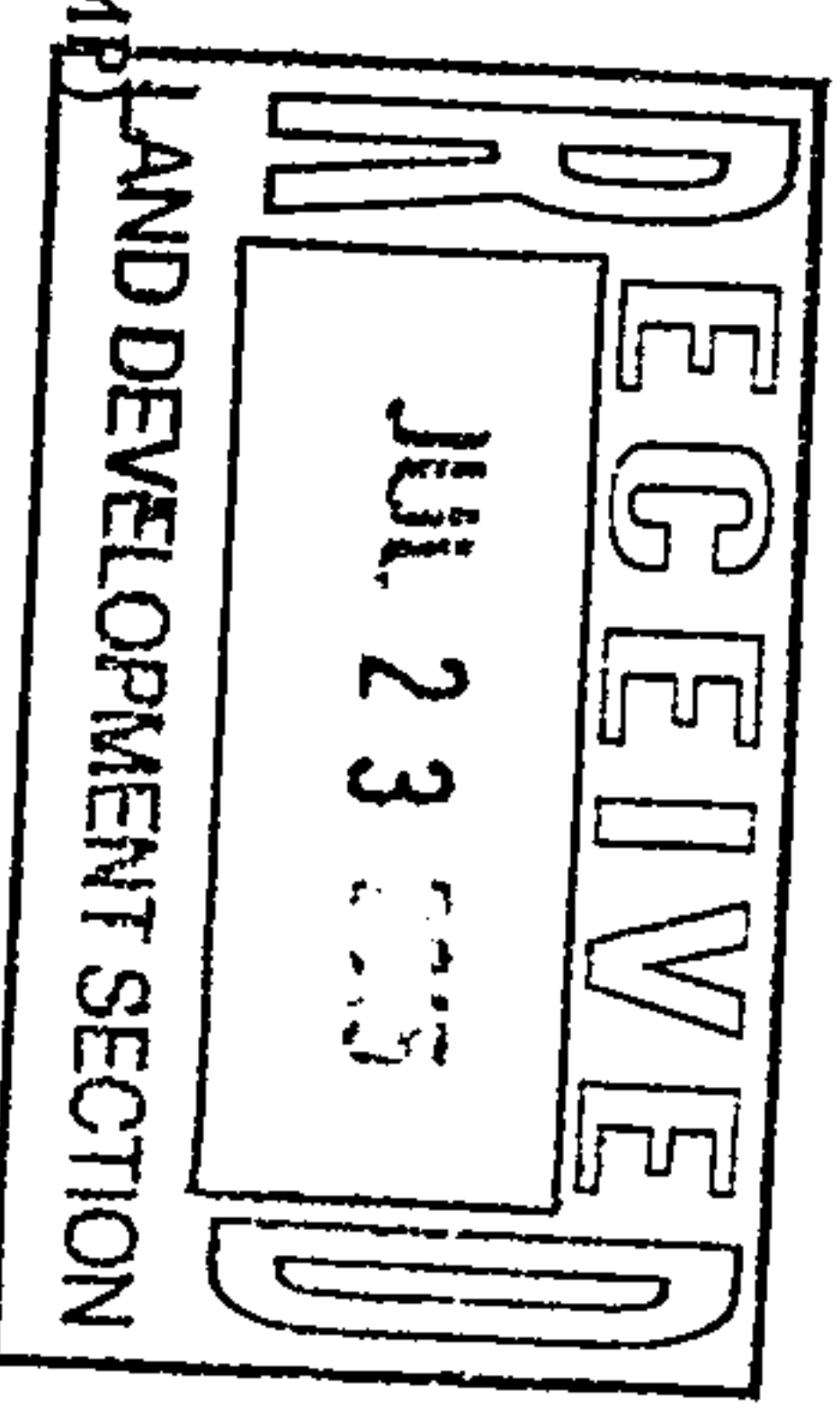
Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMP/OTMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes _____ No _____ Copy Provided

DATE SUBMITTED: 7/23/15 By: Ken Myers

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



regenerating architecture

TRAFFIC CERTIFICATION

I, Kent Beierle, NMRA, OF THE FIRM Environmental Dynamics, Inc., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/13/2014, (February 13, 2014). I CERTIFY THAT I HAVE VISITED THE PROJECT SITE ON 07/22/2015, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA AND ANNOTATIONS PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR THE CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

STAMP

Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S

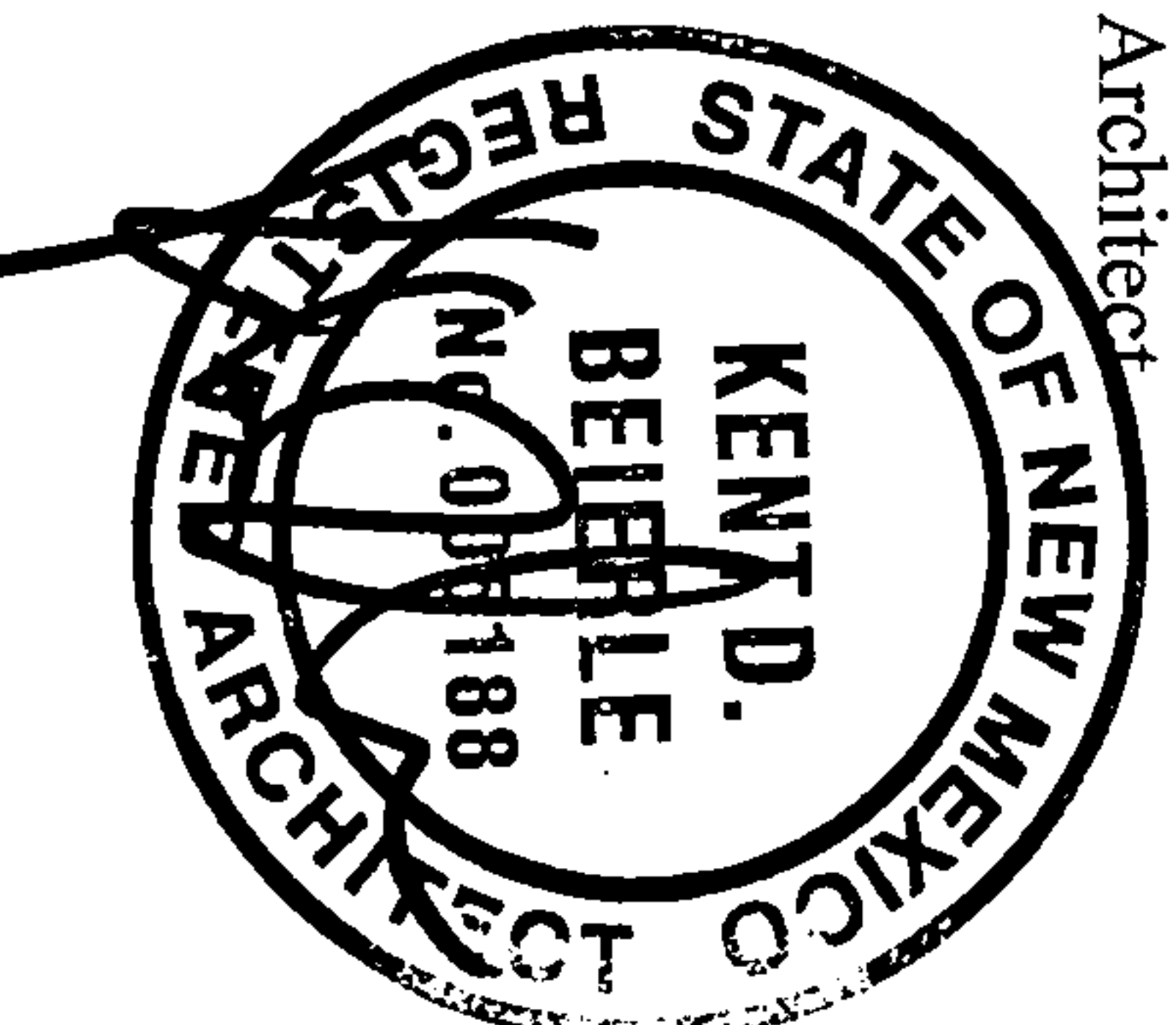
■ kent beierle ■

■ j. stace mcgee ■

■ michael ryan ■

2015.07.22

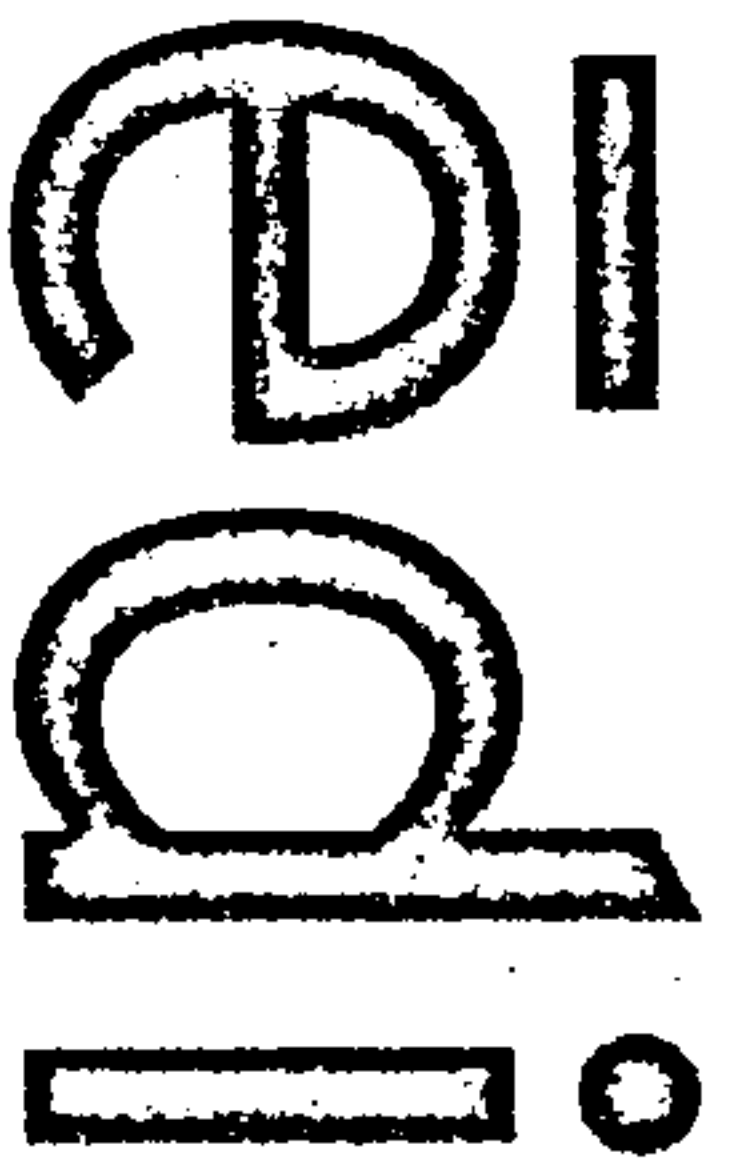
Date



■ 142 Truman St. NE
Albuquerque, NM 87108
Tel 505.242.2851

■ 100 NE 6th St Unit 102
Boynton Beach, FL 33435
Tel 561.531.4704

www.edi-arch.com



regenerating architecture

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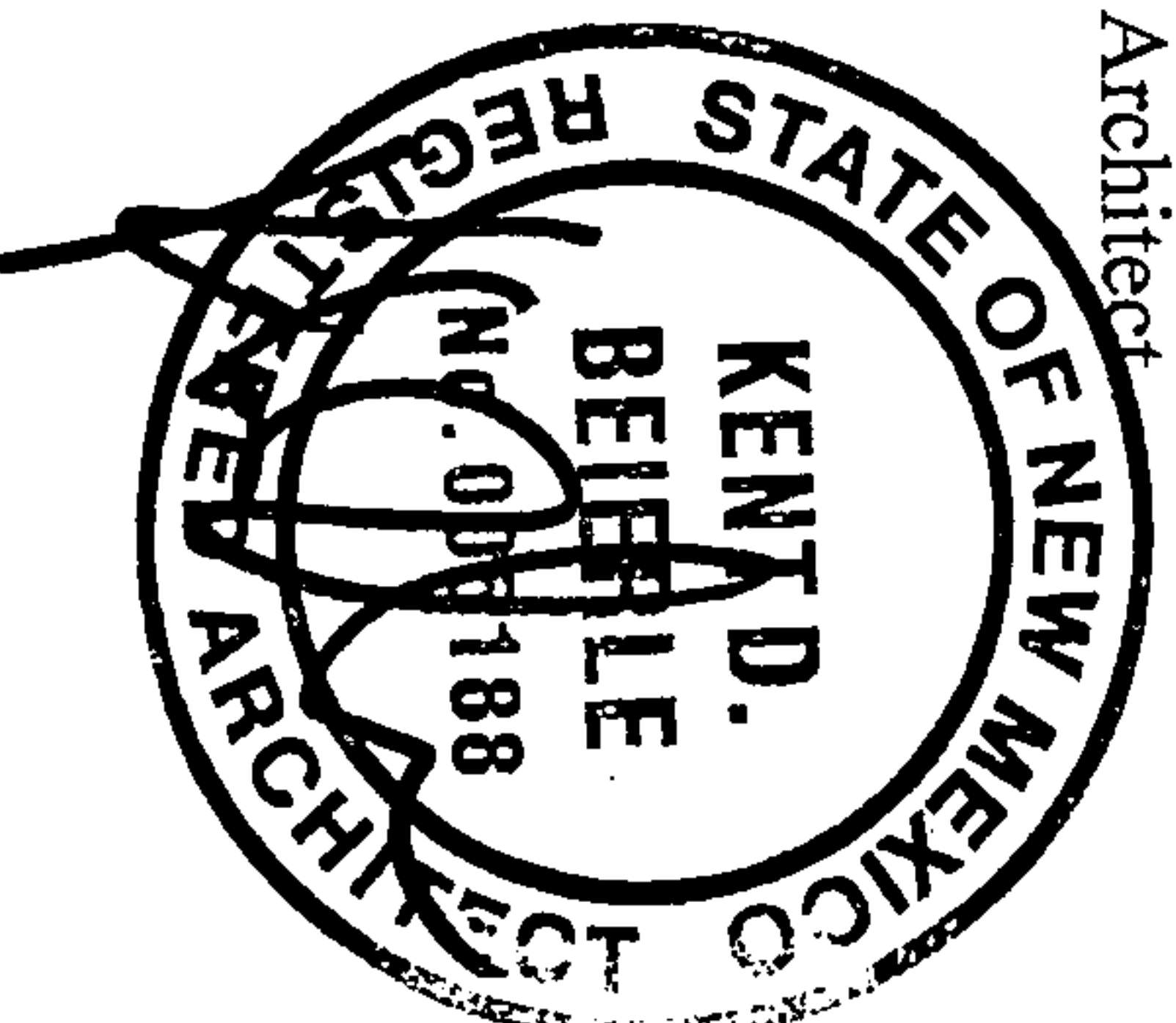
■ kent beierle ■

■ j. stace mcgee ■

■ michael ryan ■

2015.07.22

Date

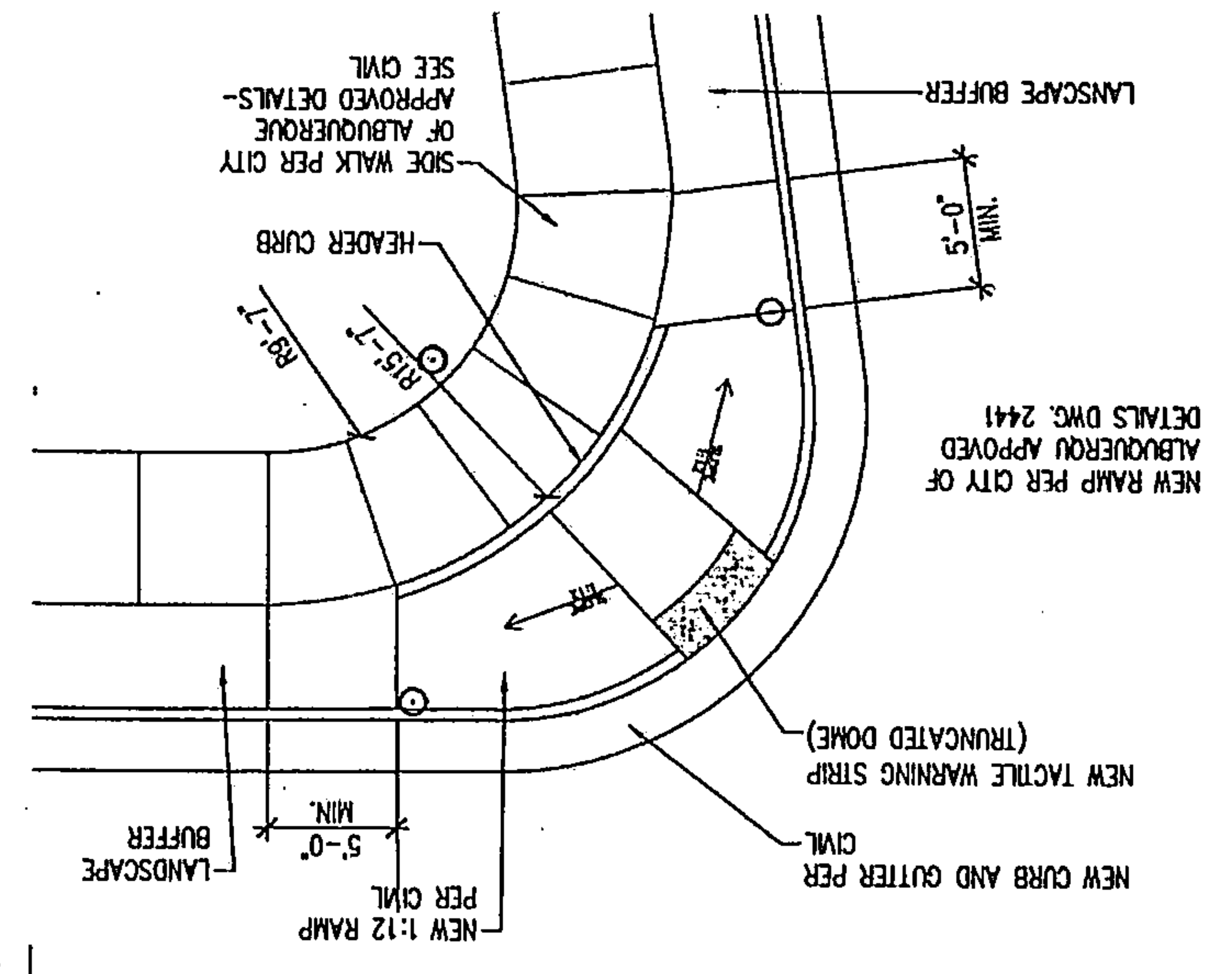


■ 142 Truman St. NE
Albuquerque, NM 87108
Tel 505.242.2851

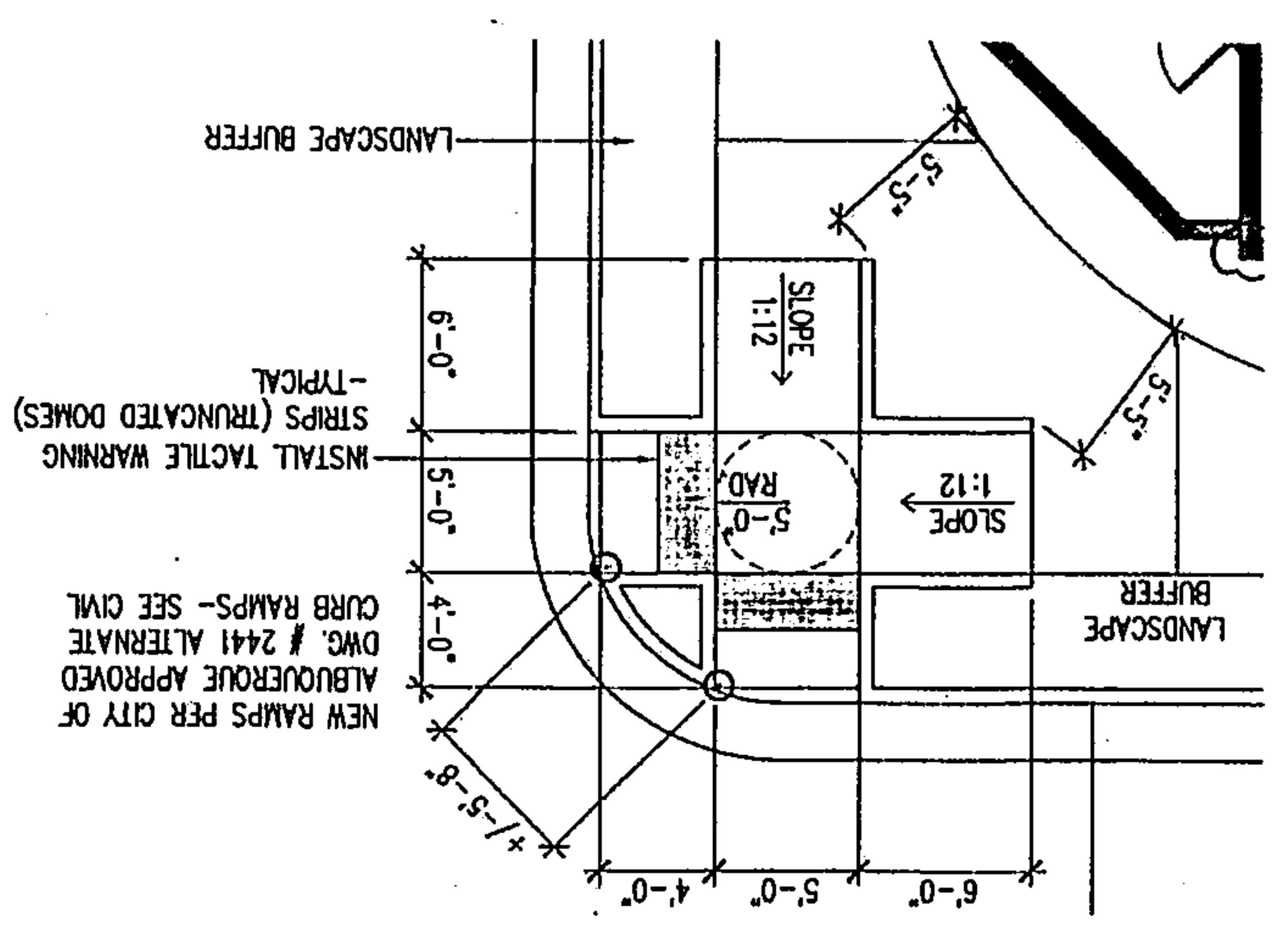
■ 100 NE 6th St Unit 102
Boynton Beach, FL 33435
Tel 561.531.4704

www.edi-arch.com

D1 HC RAMP DETAIL @ NORTH WEST CORNER

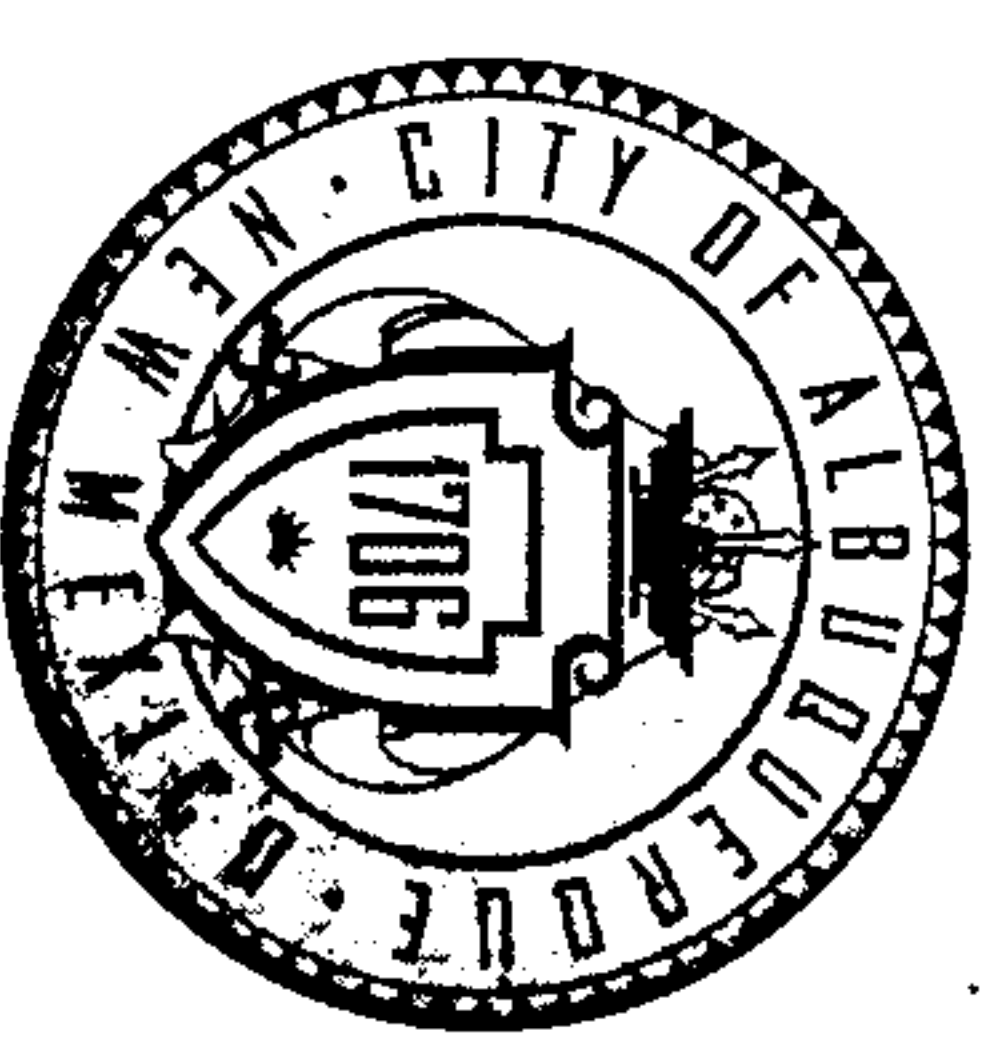


D2 HC RAMP DETAIL @ NORTH EAST CORNER



Ramps
 CIVILS APPROVED
 TRAFFIC ENGINEER/TRANS. DIV.
 BY: *[Signature]*
 DATE: 08-04-14

CITY OF ALBUQUERQUE



July 27, 2015

Scott McGee, PE
Scott M. McGee PE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

**Re: Platinum Apartments
4100 Silver Ave SE
Request for Permanent C.O. - Accepted
Engineer's Stamp dated: 5-12-14 (K17D108)
Certification dated: 7-23-15**

Dear Mr. McGee,

Based on the Certification received on 7/24/2015, the Platinum Apartments are acceptable for release of Certificate of Occupancy by Hydrology.


PO Box 1293

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

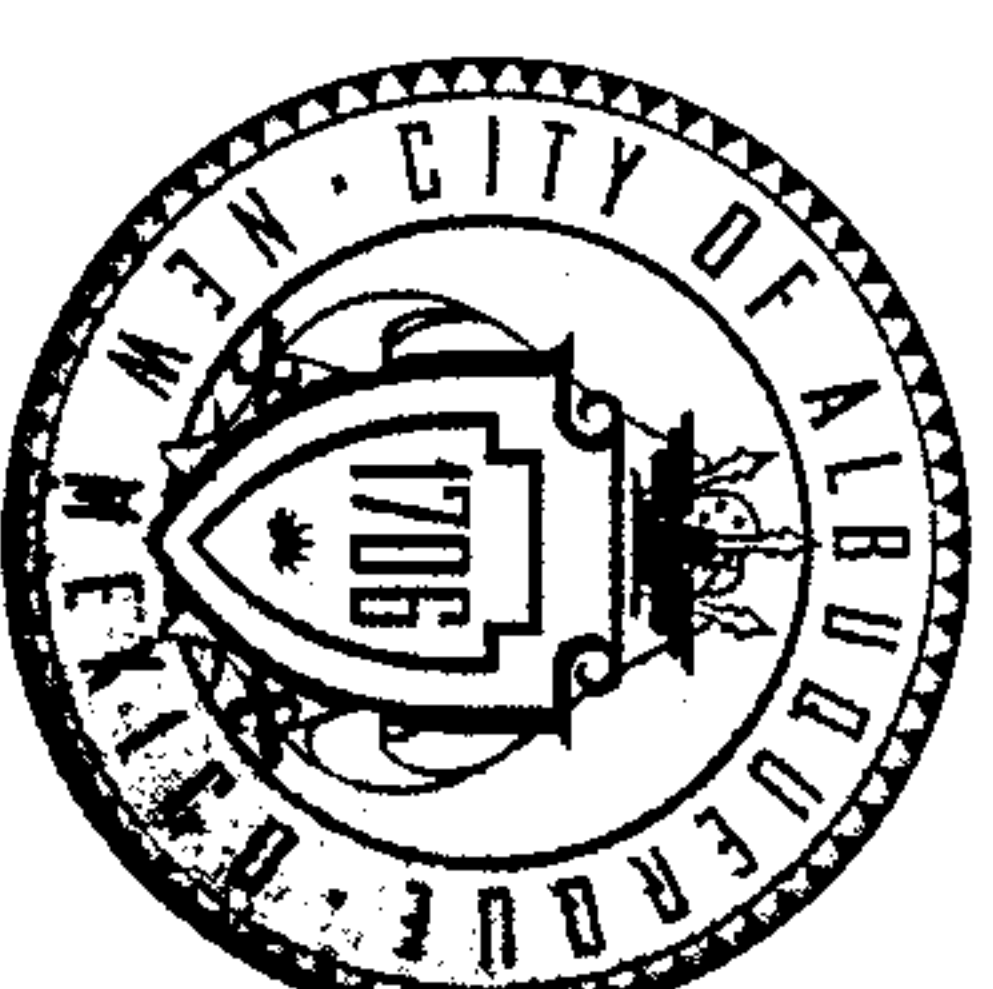
New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer
Planning Department

RR/RH
C: CO Clerk

CITY OF ALBUQUERQUE



July 23, 2015

Scott McGee, PE
Scott M. McGee PE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

Re: **Sierra Platinum Apartments**
4100 Silver Ave NE
Request for Permanent C.O. – Not Accepted
Engineer's Stamp dated: 5-12-14 (K17D108)
Certification dated: 7-17-15

Dear Mr. McGee,

Based on the Certification received on 7/20/2015, the Sierra Platinum Apartments are not acceptable for release of Certificate of Occupancy by Hydrology. The sidewalk culverts were not approved by Jason Rodriguez and the cutouts in the walls were not provided. In the new plan being submitted provide roof flows and new calculations for the site.

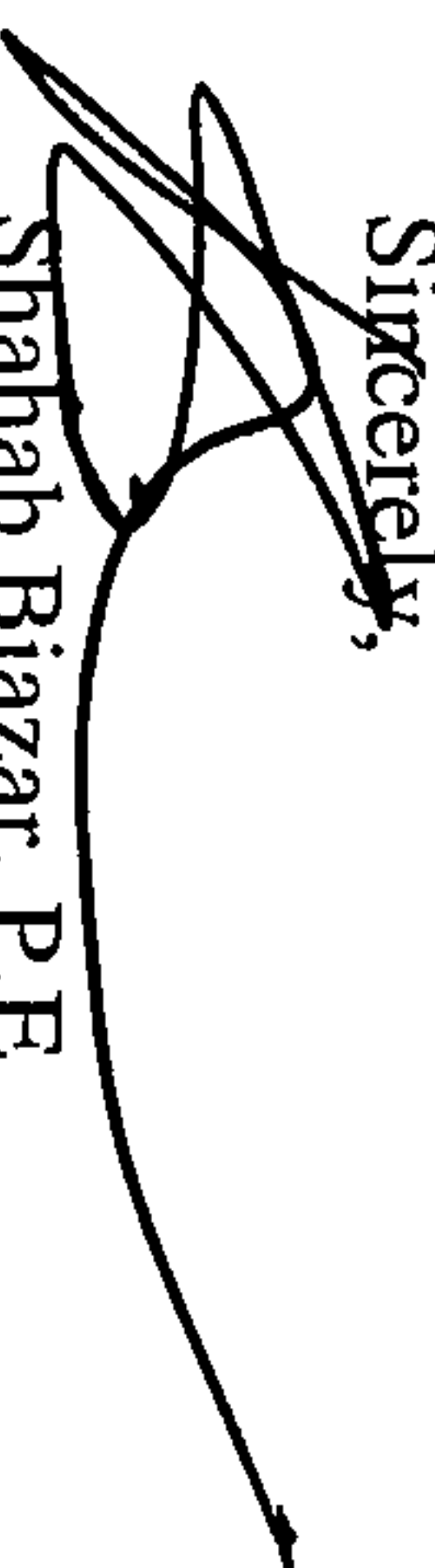
PO Box 1293

If you have any questions, you can contact me at 924-3999 or Rudy Rael at 924-3977.

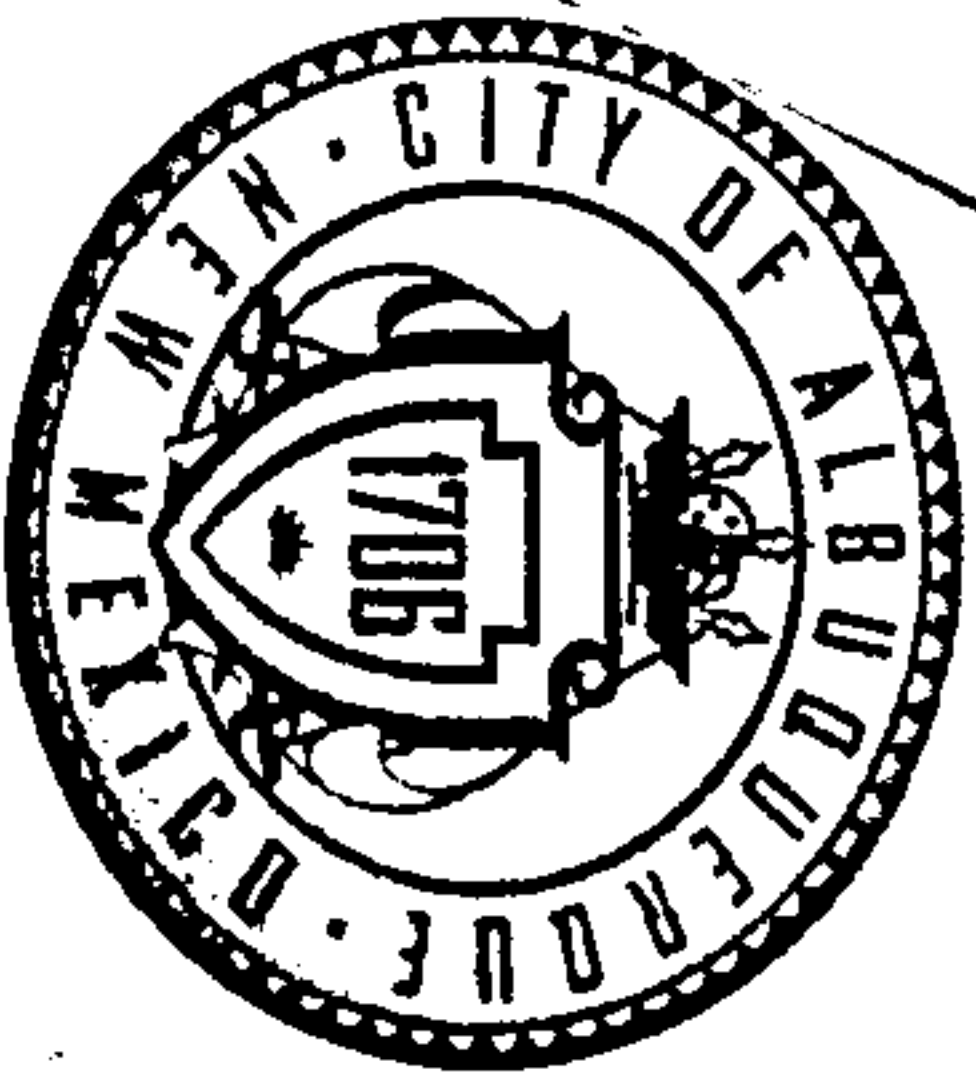
Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

RR/SB
C: CO Clerk
email



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

K

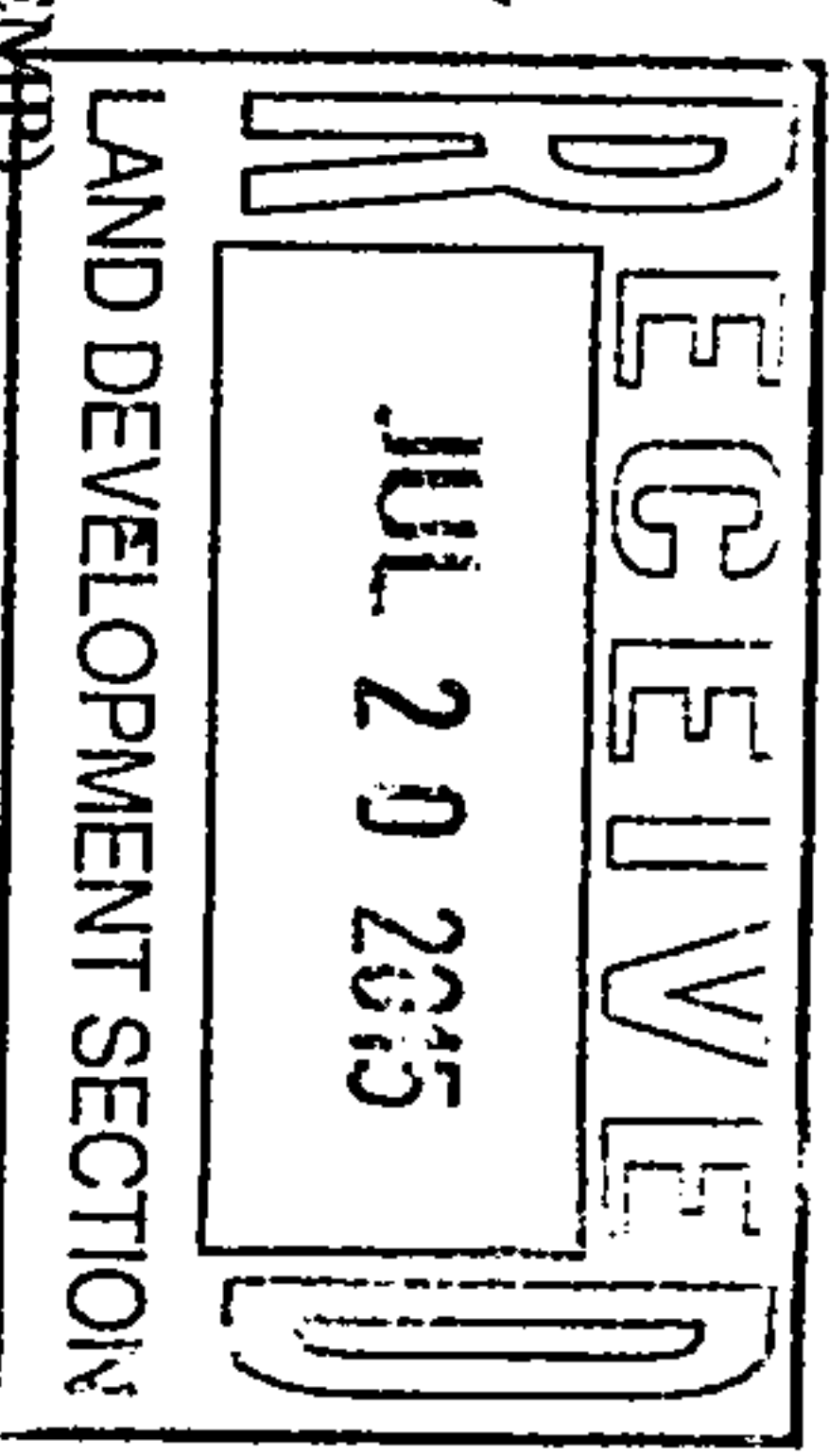
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DRB#:	EPC#:	Work Order#:
Legal Description: LOT 6-A, BLOCK 10, MESA GRANDE ADDITION		
City Address: 4100 SILVER AVENUE NE		
Engineering Firm: SCOTT M MCGEE PE, LLC	Contact: SCOTT MCGEE	
Address: 9700 TANOAN DRIVE NE	E-mail: scottmcmgee@gmail.com	
Phone#: 263-2905	Fax#:	
Owner: IKE HONG	Contact: IKE HONG	
Address:		
Phone#: 773.290-2570	Fax#:	E-mail:
Architect: ED I	Contact: KENT BEIERLE	
Address: 142 TRUMAN NE		
Phone#: 242-2851	Fax#:	E-mail:
Surveyor: THE SURVEY OFFICE, LLC	Contact: CHRIS MEDINA	
Address: 333 LOMAS BLVD NE		
Phone#:	Fax#:	E-mail:
Contractor:	Contact:	
Address:		
Phone#:	Fax#:	E-mail:

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION & SEDIMENT CONTROL PLAN (ESC)	<input type="checkbox"/> FINAL PLAT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TCL TEMP)
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (ESC)	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> SO-19	<input type="checkbox"/> WORK ORDER APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> SO-19 APPROVAL
	<input type="checkbox"/> ESC PERMIT APPROVAL
	<input type="checkbox"/> ESC CERT. ACCEPTANCE
	<input type="checkbox"/> OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Copy Provided
DATE SUBMITTED: JULY 20, 2015	By: SCOTT MCGEE

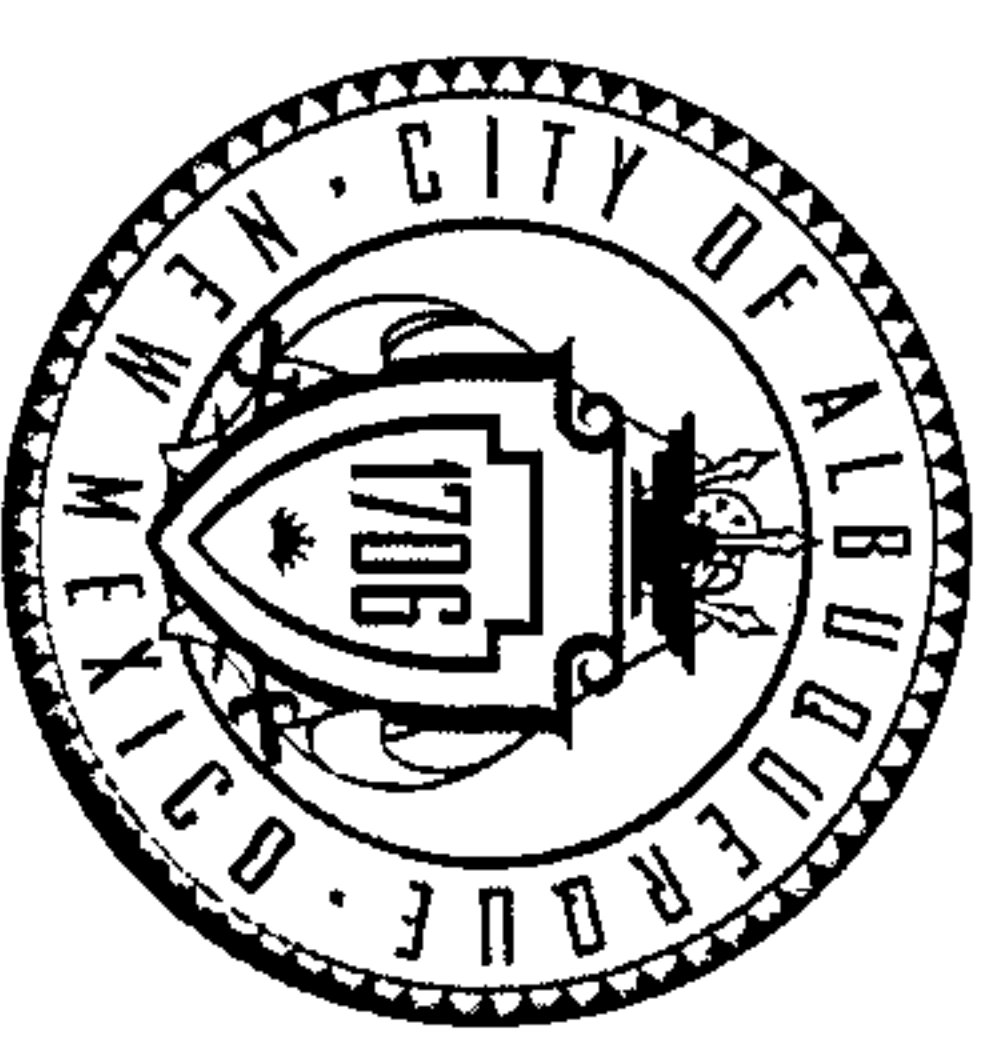
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 13, 2014

Richard J. Berry, Mayor

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

RE: **Sierra Platinum Apartments - 4100 Silver Ave, NE**
Grading Plan for Building Permit and SO-19 Permit
Engineer's Stamp Date 5-12-2014 (K17D108)

Dear Mr. McGee:

Based upon the information provided in your submittal received 5-13-14, the above referenced plan is approved for Building Permit and SO-19 Permit with the following condition met before a Certificate of Occupancy is issued:

1. A revocable permit for the awning must be obtained.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Albuquerque

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

New Mexico 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

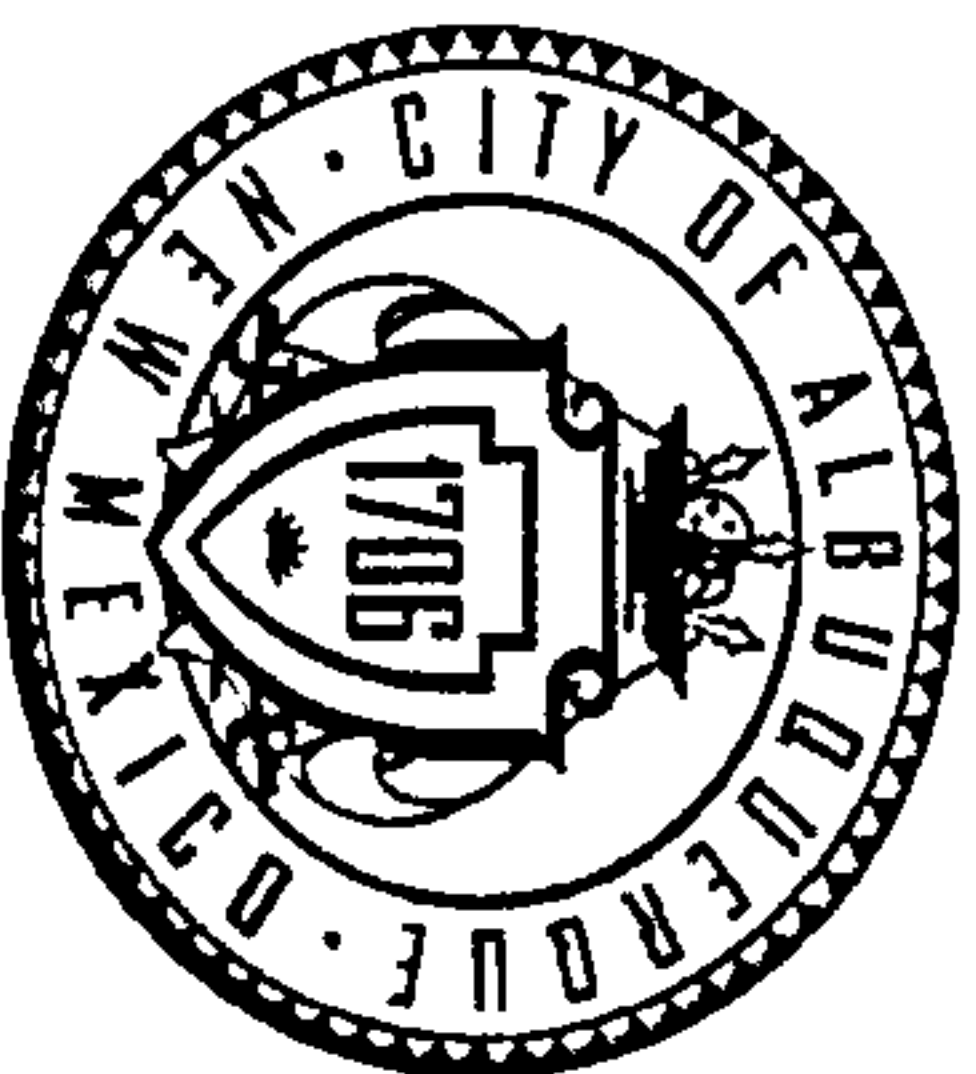
If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

K17D108_BP&SO19_appr_cond.doc



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

14170168

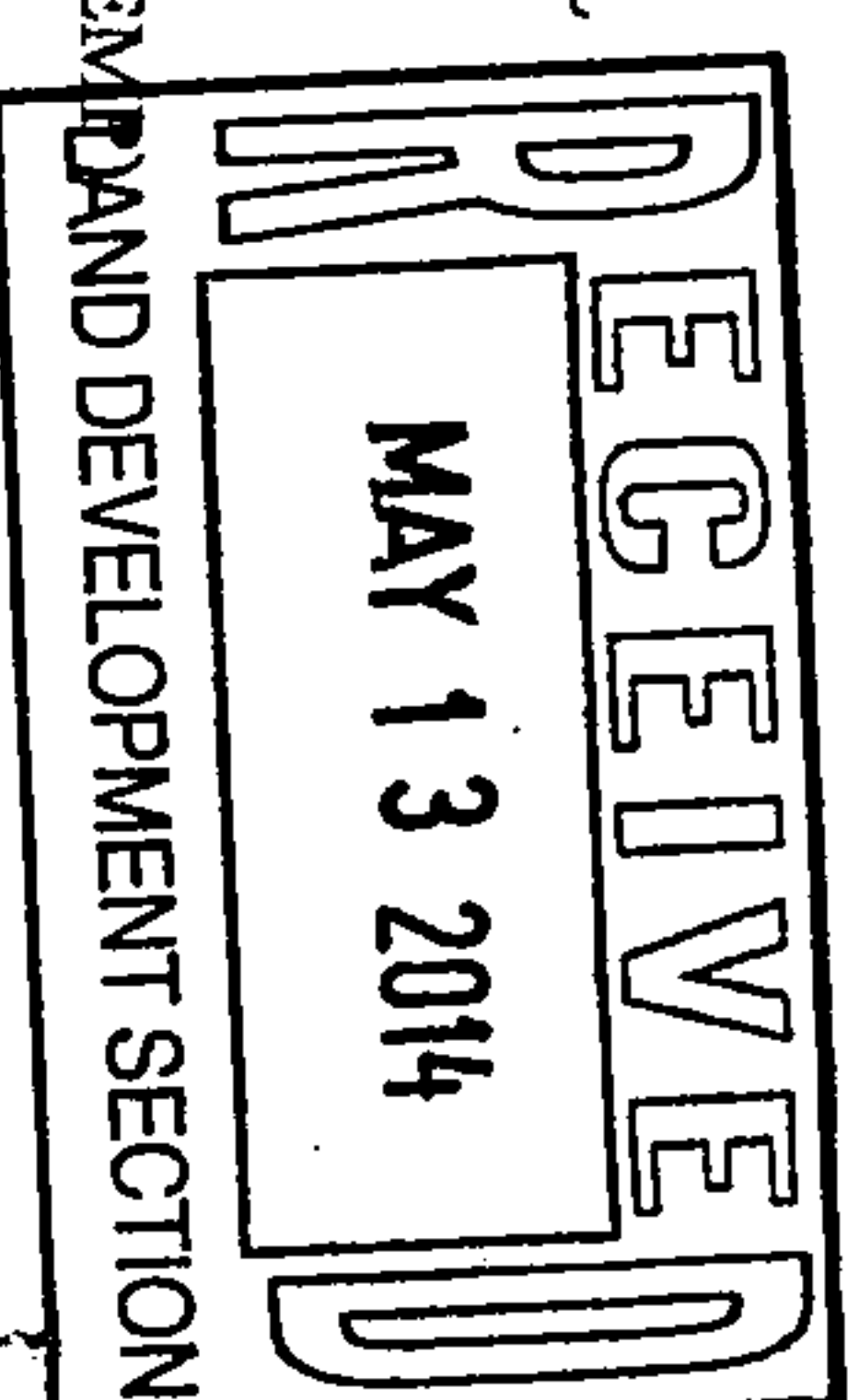
Project Title:	SIERRA PLATINUM APARTMENTS	Building Permit #:		City Drainage #:	H-1709-108
DRB#:		EPC#:		Work Order#:	
Legal Description:	LOT 6-A, BLOCK 10, MESA GRANDE ADDITION				
City Address:	4100 SILVER AVENUE NE				
Engineering Firm:	SCOTT M MCGEE PE, LLC	Contact:	SCOTT MCGEE		
Address:	9700 TANOAN DRIVE NE	E-mail:	scottmccgee@gmail.com		
Phone#:	263-2905	Fax#:		Contact:	IKE HONG
Owner:	IKE HONG	Contact:	IKE HONG		
Address:		E-mail:			
Phone#:	773.290-2570	Fax#:		Contact:	KENT BEIERLE
Architect:	ED I	Contact:	KENT BEIERLE		
Address:	142 TRUMAN NE	E-mail:			
Phone#:	242-2851	Fax#:		Contact:	CHRIS MEDINA
Surveyor:	THE SURVEY OFFICE, LLC	Contact:	CHRIS MEDINA		
Address:	333 LOMAS BLVD NE	E-mail:			
Phone#:		Fax#:		Contact:	
Contractor:		Contact:			
Address:		E-mail:			
Phone#:		Fax#:		Contact:	

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input checked="" type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input checked="" type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
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<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
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<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> ESC CERT. ACCEPTANCE
	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Copy Provided
DATE SUBMITTED:	MAY 12, 2014 By: SCOTT MCGEE

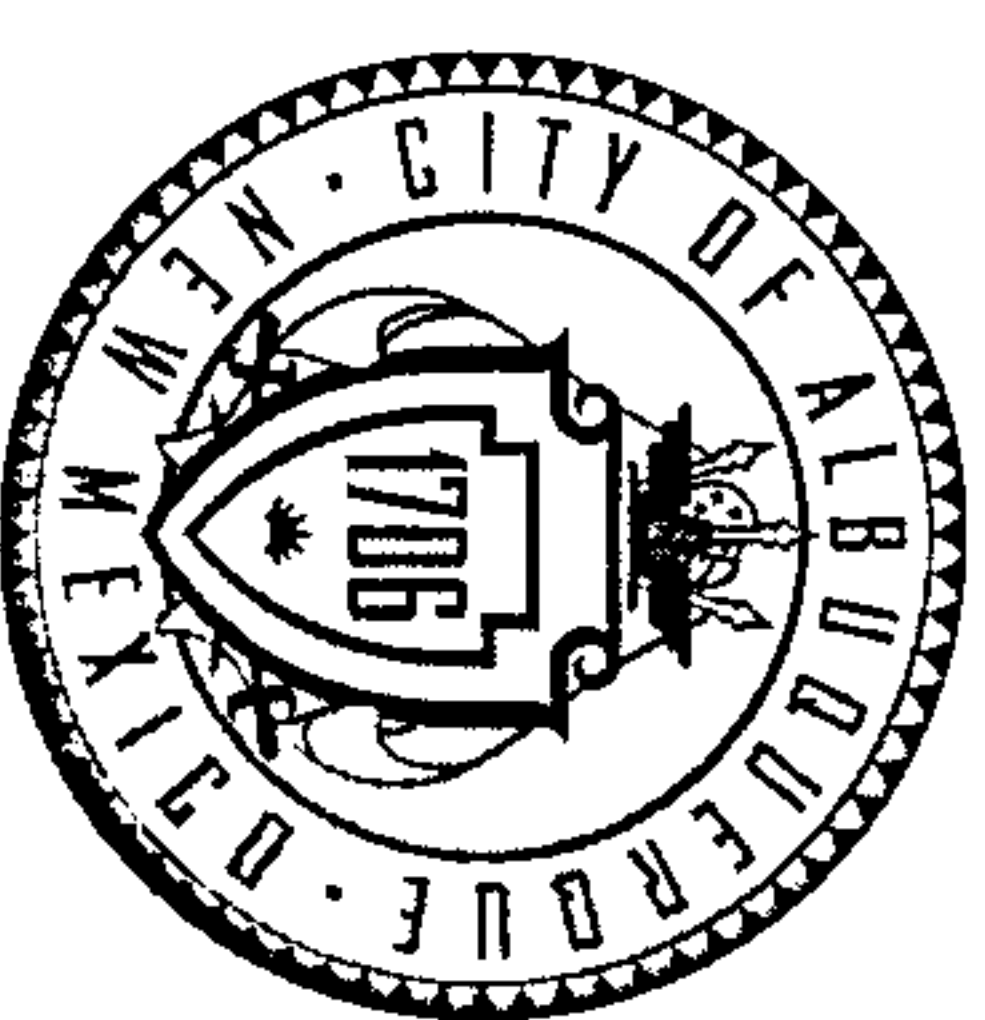
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CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 8, 2014

Richard J. Berry, Mayor

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

RE: **Sierra Platinum Apartments - 4100 Silver Ave, NE**
Grading & Drainage Plan for Building Permit
Engineer's Stamp Date 3-20-2014 (H17/D108)

Dear Mr. McGee:

Based upon the information provided in your submittal received 3-20-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓ 1. Show spot elevations at Top of drive pads along Sierra Drive to ensure FL is at a lower elevation.
- ✓ 2. Indicate the edge of awning on the North side of building, and note that it drips into the landscape strip.
3. Indicate that the Back of Sidewalk matches FF elevation and the sidewalk slope varies from the standard 2% slope.
4. Indicate the TC elev. on the North side of bldg. near the entrance.

Albuquerque

If you have any questions, you can contact me at 924-3695.

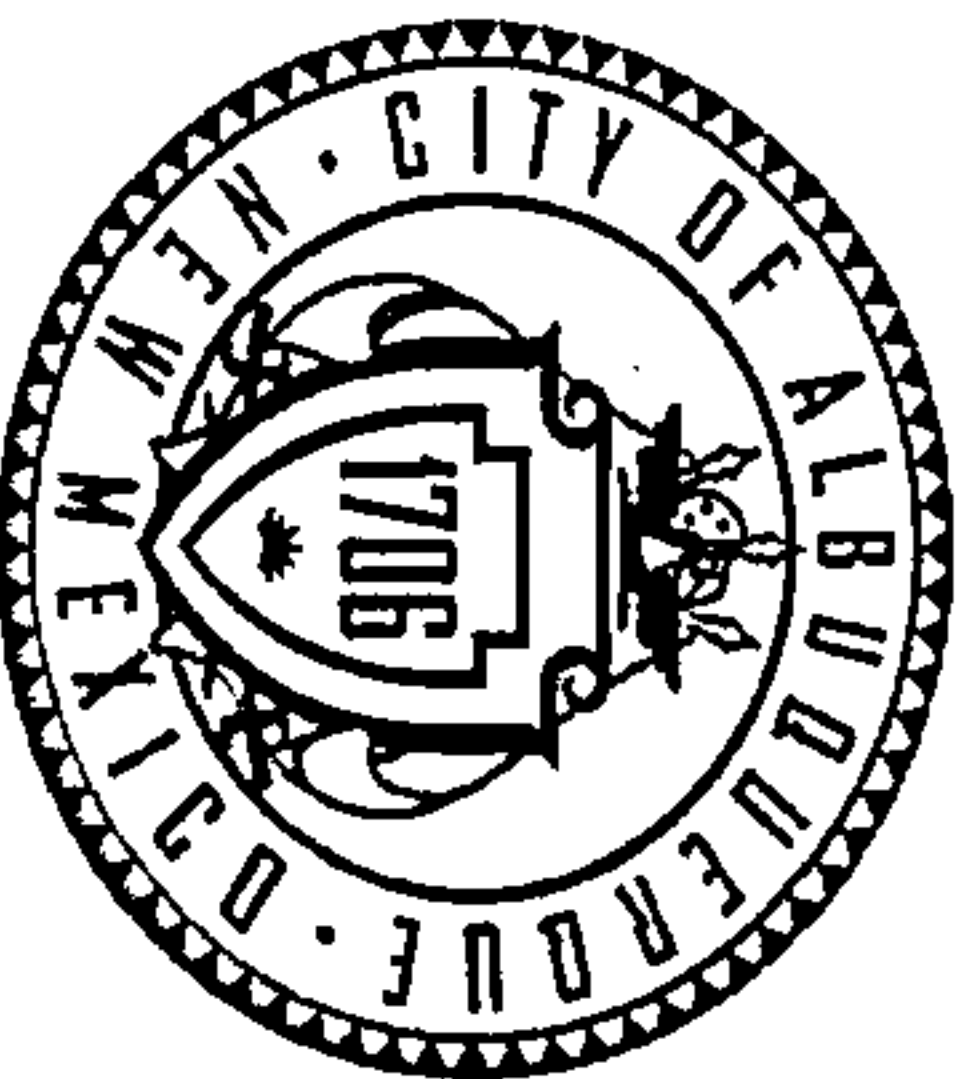
New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file: **H17/D108**
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

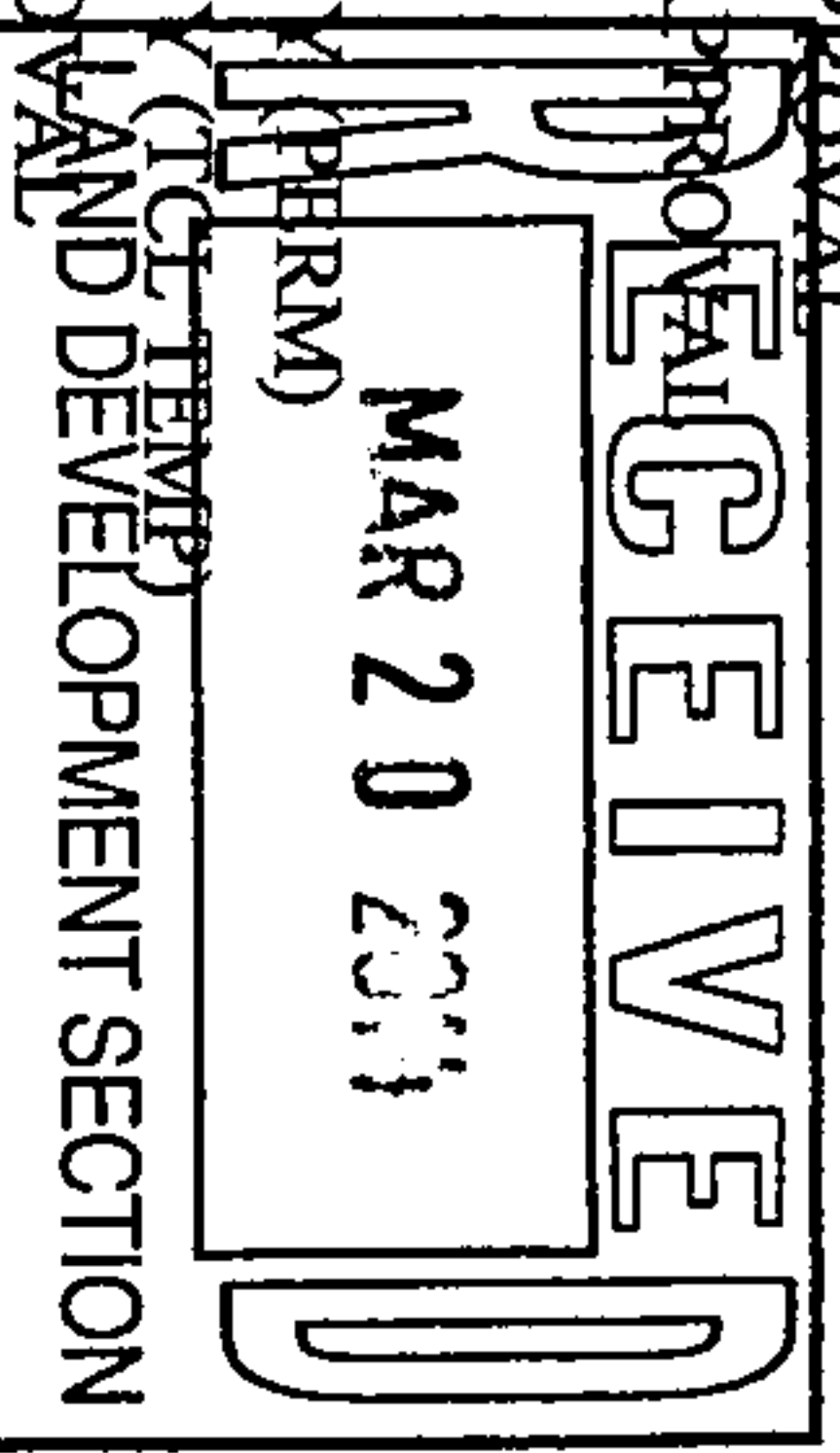
Project Title:	SIERRA PLATINUM APARTMENTS	Building Permit #:		City Drainage #:	K-177D / 008
DRB#:		EPC#:		Work Order#:	
Legal Description:	LOT 6-A, BLOCK 10, MESA GRANDE ADDITION				
City Address:	4100 SILVER AVENUE NE				
Engineering Firm:	SCOTT M MCGEE PE, LLC	Contact:	SCOTT MCGEE		
Address:	9700 TANOAN DRIVE NE	E-mail:	scottmcmgee@gmail.com		
Phone#:	263-2905	Fax#:		E-mail:	
Owner:	IKE HONG	Contact:	IKE HONG		
Address:		E-mail:			
Phone#:	773.290-2570	Fax#:		E-mail:	
Architect:	EDI	Contact:	KENT BEIERLE		
Address:	142 TRUMAN NE	E-mail:			
Phone#:	242-2851	Fax#:		E-mail:	
Surveyor:	THE SURVEY OFFICE, LLC	Contact:	CHRIS MEDINA		
Address:	333 LOMAS BLVD NE	E-mail:			
Phone#:		Fax#:		E-mail:	
Contractor:		Contact:			
Address:		E-mail:			
Phone#:		Fax#:		E-mail:	

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
<input checked="" type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SI/FINANCIAL GUARANTEE RELEASE
<input checked="" type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input checked="" type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION & SEDIMENT CONTROL PLAN (ESC)	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TGT TEMP)
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input checked="" type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (ESC)	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> SO-19	<input type="checkbox"/> WORK ORDER APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Copy Provided
DATE SUBMITTED:	MARCH 20, 2014 By: Scott McGee

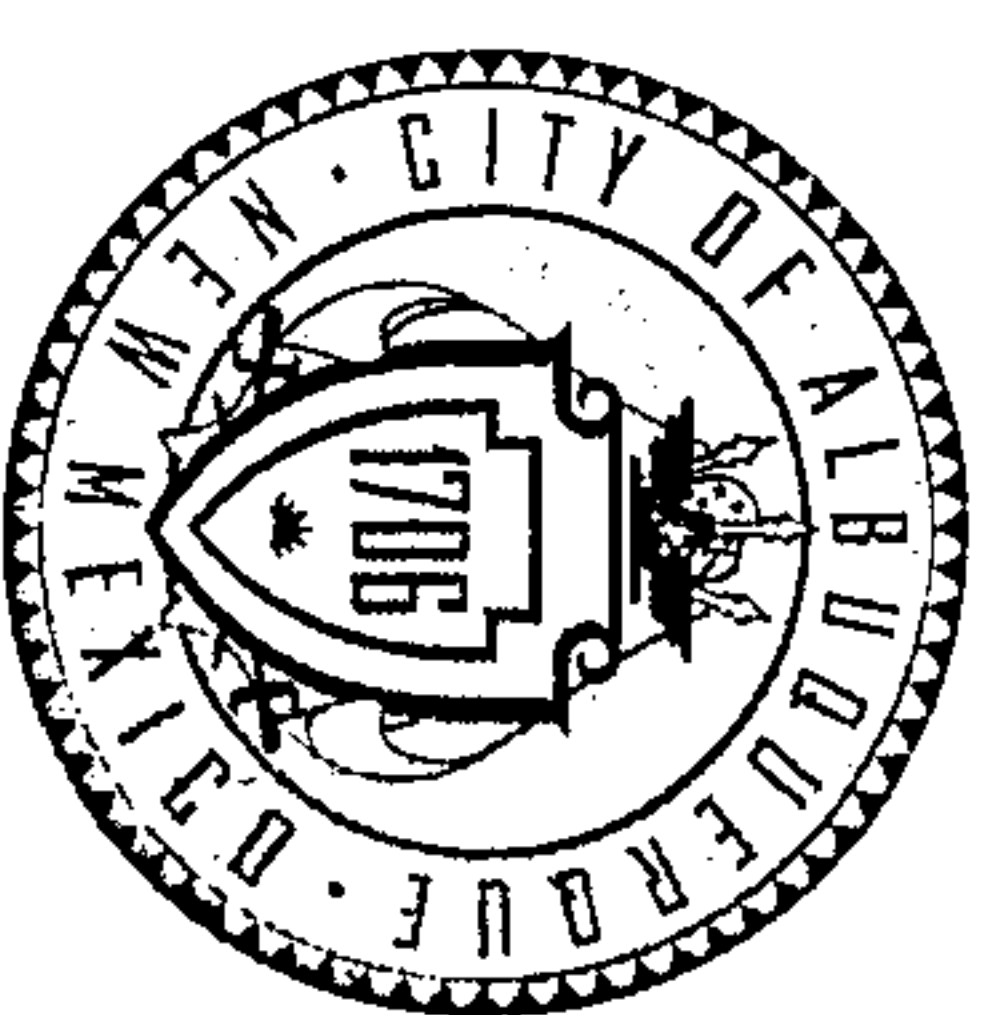
Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



50.50

CITY OF ALBUQUERQUE



February 13, 2014

Kent D. Beierle, R.A.
EDI Regenerating Architecture
142 Truman St. NE
Albuquerque, NM 87108

Re: **Platinum Apartments, 4100 Silver Ave, Traffic Circulation Layout**
Architect's Stamp dated 02/03/14 (K17-D108)

Dear Mr. Beierle, The TCL submittal received 02-13-14 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

New Mexico 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Cynthia K. Beck
Associate Engineer, Planning Dept.
Development Review Services

C: File

Transmittal

Date: 02/02/2014

To: Development Review

Project Name: Platinum

Project No: 13012

Attn: Cynthia K. Beck/ Kristal Metro

From: Ken Myers

☒ Attached, ☐ Via: _____, ☐ Under
Separate Cover

Quantity	Date	Description
2	1/27/2014	Revised TCL drawings: AS102, AS103
2		Previous TLC submittal: AS102, AS103

☐ For Approval, ☐ As Requested, ☒ For Review & Comment, ☒ For Your Use
☐ Other:

■ kent beierle ■

■ kris callori ■

■ j. stace mcgee ■

■ michael ryan ■

Remarks: Cynthia,

Please find the attached revised drawings updated per your notes dated January 22, 2014, and my meeting with Kristal Metro on January 27, 2014.

Thanks again for your help.

Ken Myers

Project manager

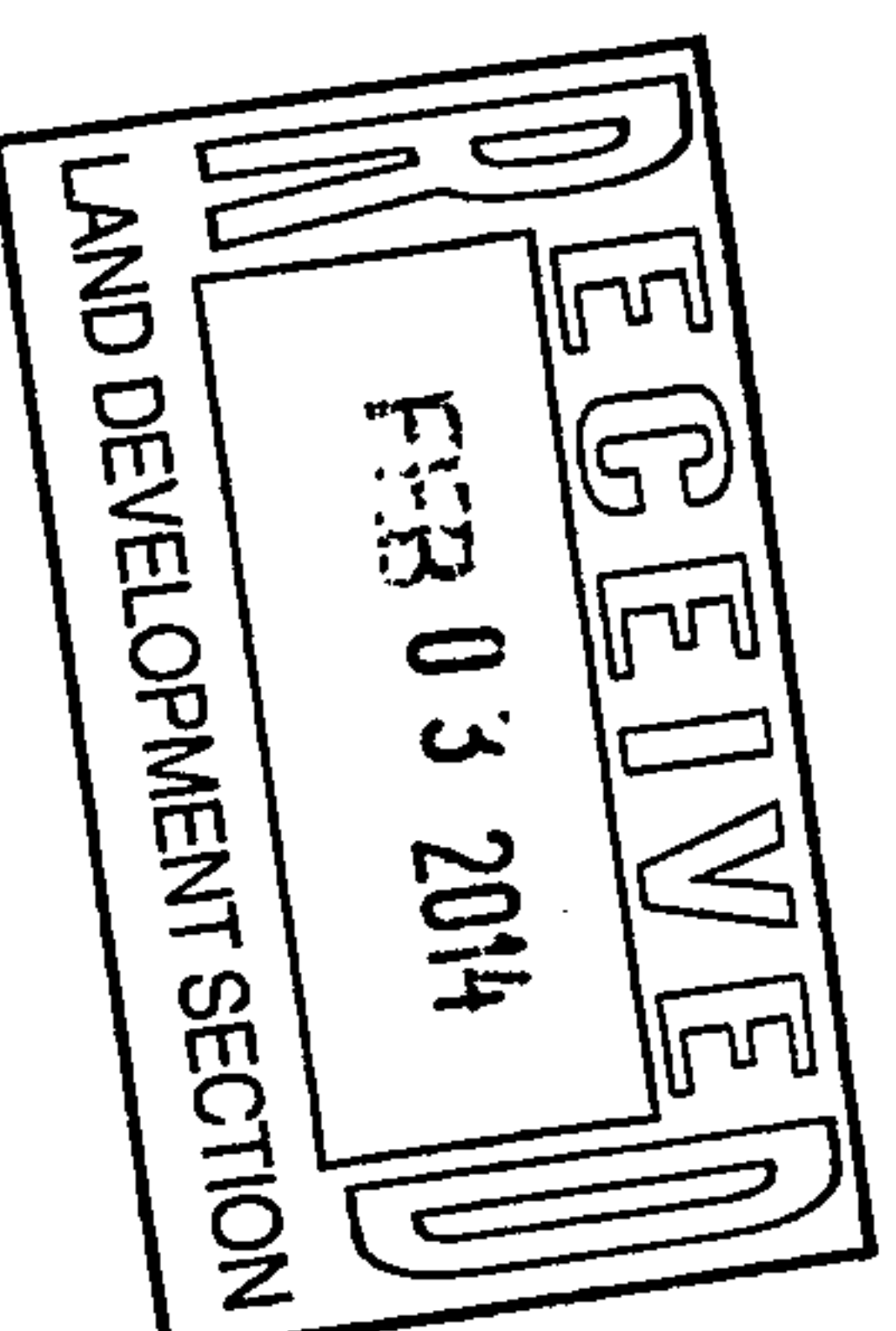
■ 142 Truman St. NE
Albuquerque, NM 87108

Tel 505.242.2851
Fax 505.242.2852

■ 1198 SW 5th Court
Boca Raton, FL 33432

Tel 561.391.3981

www.edi-arch.com



1.05 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Store masonry units above ground on level platforms which allow air circulation under stacked units.
- B. Cover and protect against wetting prior to use.
- C. Handle units on pallets or flat bed barrows.
- D. Store cementitious ingredients in weather-tight enclosures.

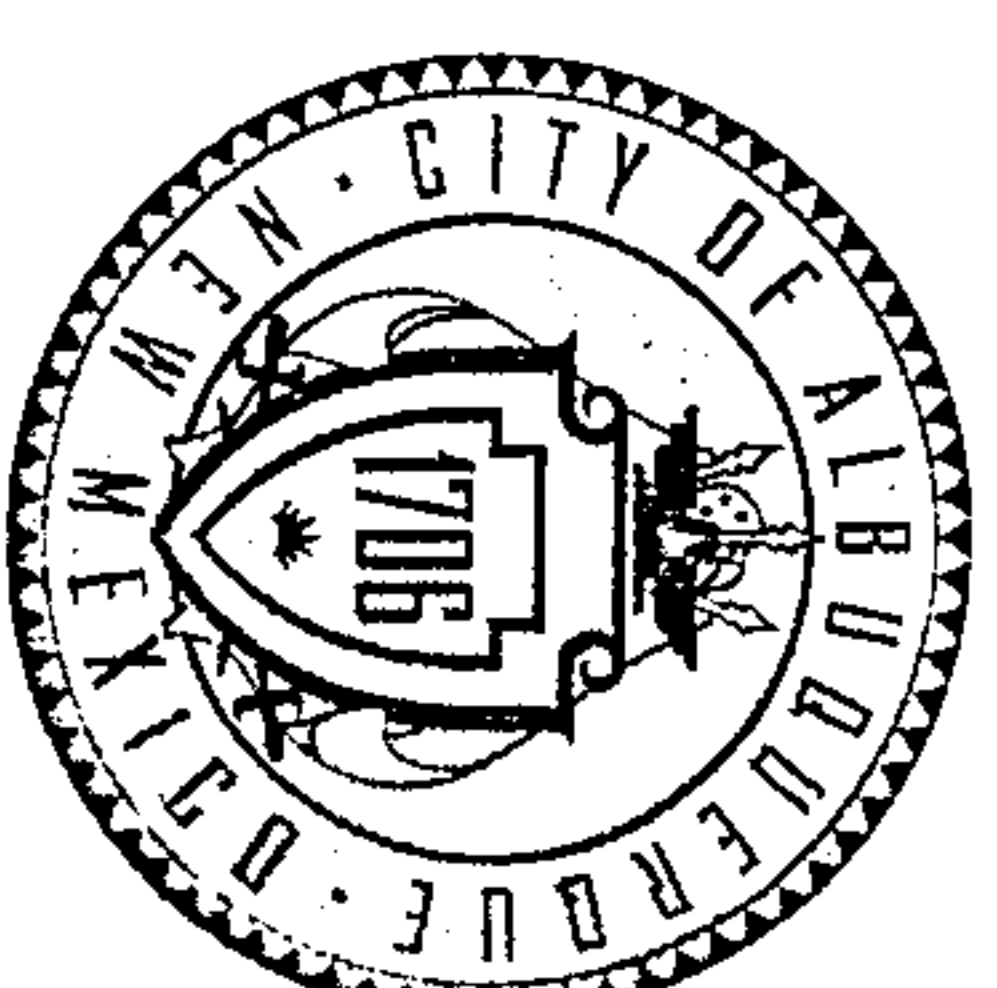
PART 2 PRODUCTS2.01 MATERIALS

- A. Hollow Core Units: ASTM C90, Type I, at concealed block.
 - 1. Use fly ash to greatest extent possible. Fly ash not to exceed 25% of cement content by weight, between 17% - 25% required.
 - 2. Verify block color matches existing
 - 3. Provide Split-faced, Plain-faced, Burnished-faced block as required.
- B. Aggregate: Scoria, natural color at exposed block.
- C. Aggregate: Natural color at concealed block.
- D. Mortar: ASTM C 270-94 "Standard Specification for Mortar for Unit Masonry," Type S.
- E. Grout: ASTM C 476-90 "Standard Test Method for Splitting Tensile Strength of Cylindrical Concrete Specimens."
- F. Cell Reinforcing: ASTM A 615-95b "Standard Specification for Deformed and Plain Billet-Steel Bars for Concrete Reinforcement," Grade 40. Comply with Section 03210.
- G. Bond Beam and Lintel Reinforcing: ASTM A 615, Grade 40. Comply with Section 03210.
- H. Joint Reinforcing: Standard Dur-O-Wal or approved equal.
- I. Control Joint Material: Rubber, neoprene or PVC joint material for use with standard sash block by Dur-O-Wal or approved equal.
- J. Vertical Bar Positioner: Steel by Dur-O-Wal or approved equal.
- K. Mortar Plasticizer: Easy Spread by American Colloid Company or approved equal.

PART 3 EXECUTION3.01 GENERAL

- A. Provide jamb, header, lintel, bond beam, etc. units as required to complete the work. Lay only dry and unfrozen masonry units.
- B. All exposed masonry shall be scoria aggregate, split face, scored finish unless noted otherwise on the drawings. Masonry not exposed to view may be smooth finished.
- C. Discard any broken, chipped, or discolored masonry units.

CITY OF ALBUQUERQUE



January 22, 2014

Kent D. Beierle, R.A.
EDI Regenerating Architecture
142 Truman St. NE
Albuquerque, NM 87108

Loaned for
marked to
R.A.
C.D.B.
1-22-14

Re: **Platinum Apartments, 4100 Silver Ave, Traffic Circulation Layout**
Architect's Stamp dated 01/20/13 (K17-D108)

Dear Mr. Beierle,

Based upon the information provided in your submittal received 01/21/14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

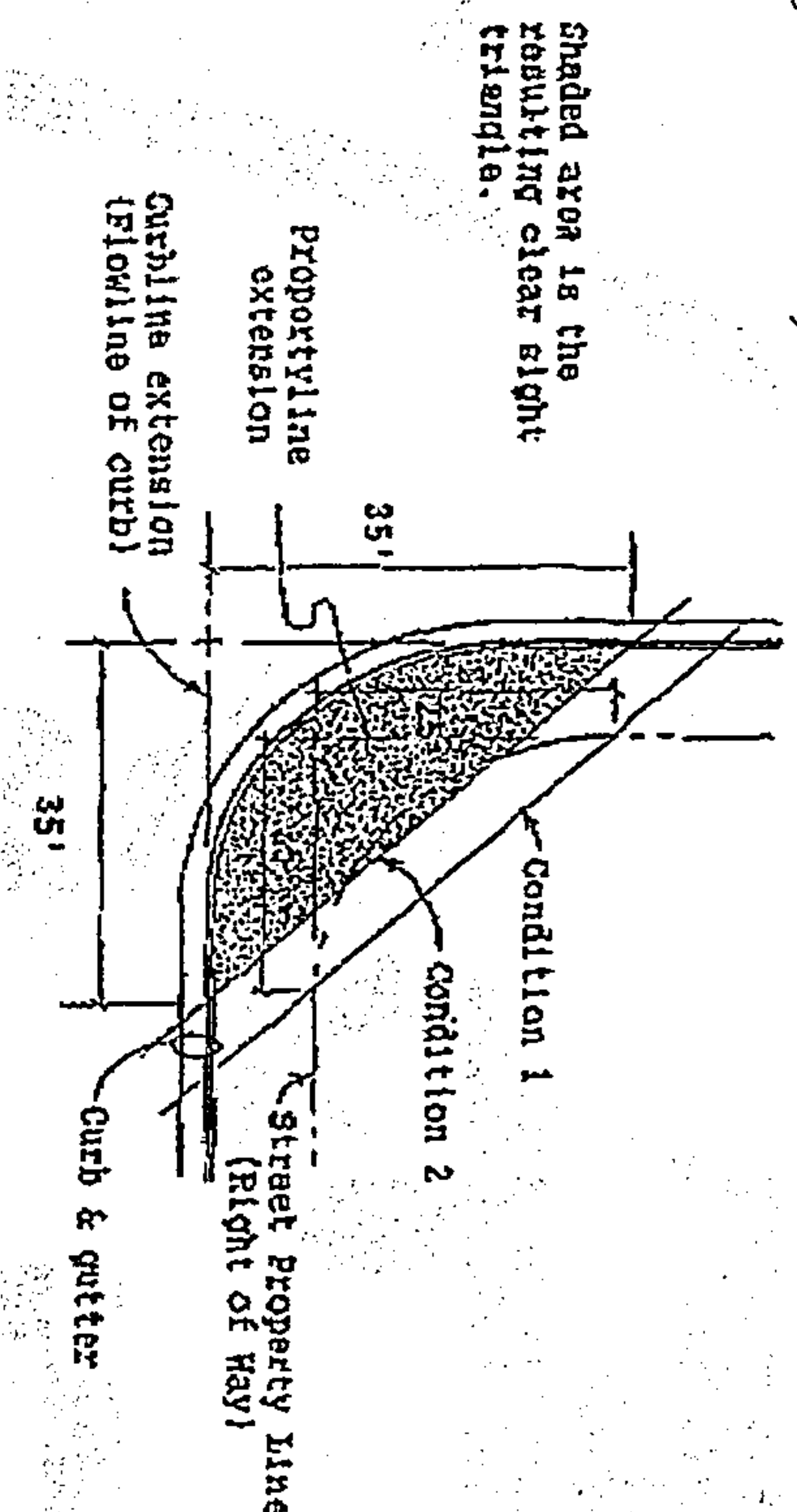
1. Demonstrate the proposed building location will not interfere with the sight distance of the intersection. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*).

Albuquerque

PO Box 1293

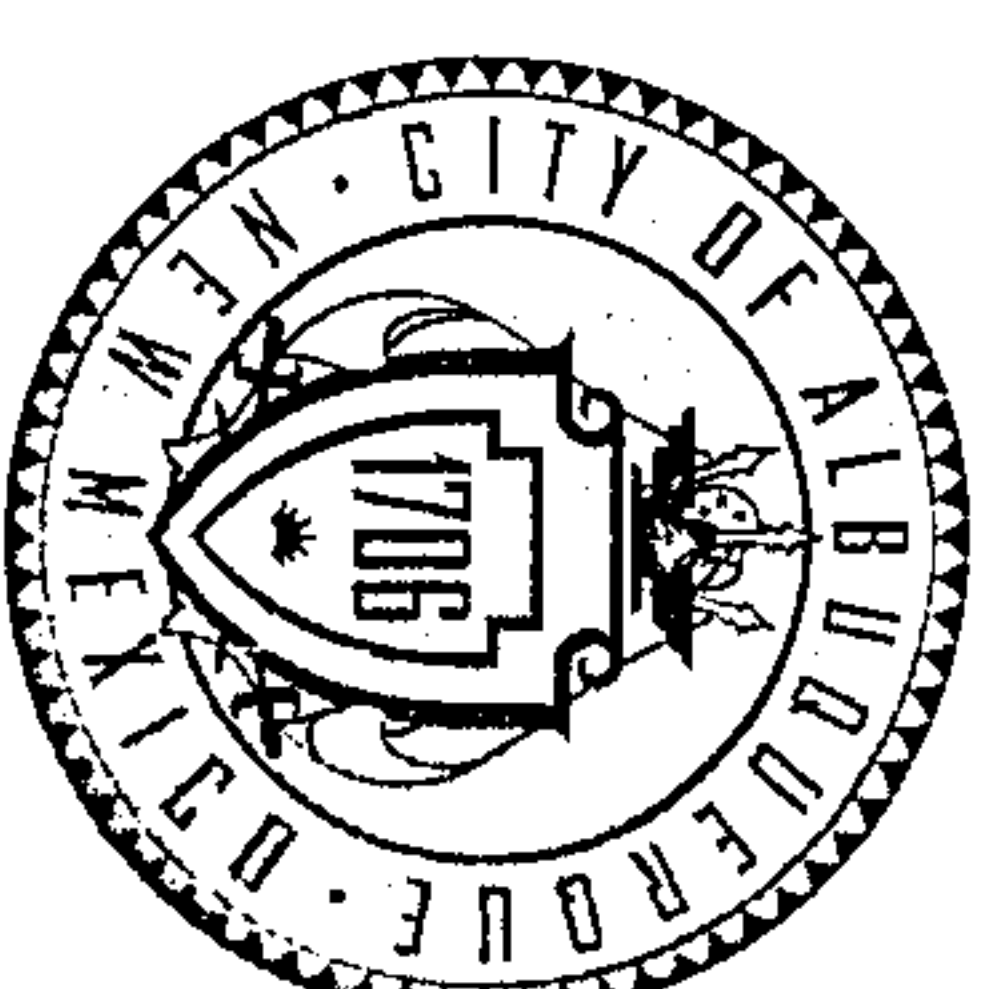
New Mexico 87103

www.cabq.gov



2. Demonstrate the "mini clear sight triangle" is maintained at proposed driveways (see *DPM Ch 23, Section 6 Curb Cuts and Driveways, part B.12 Visibility for Driveways*).
3. Please add the following note: "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
4. On-Street parking Allowance to fulfill zoning's parking requirement must be approved by the Traffic Engineer, Kristal Metro prior to TCL approval. The application requires 15 working days. On-street parking allowances are based on available parking along public right-of-ways fronting the

CITY OF ALBUQUERQUE



- property. The development will only be granted 50% of available street parking.
5. Recommend maintaining existing intersection corner layouts to avoid a COA Work Order to patch street asphalt.
 6. Clarify Key Note 31 (for example, remove existing infrastructure and replace with curb & gutter, sidewalk or landscape buffer as indicated).
 7. Remove Key Note 27; this is COA Street Maintenance jurisdiction.
 8. Please check the dates submitted; I believe the architect's date is incorrect.
 9. Please correct minor labeling errors discussed over the phone with Ken Myers. The submitted site plan with mark-ups is available to borrow. Please return this site plan with next submittal.

If you have any questions, you can contact me at 924-3924.

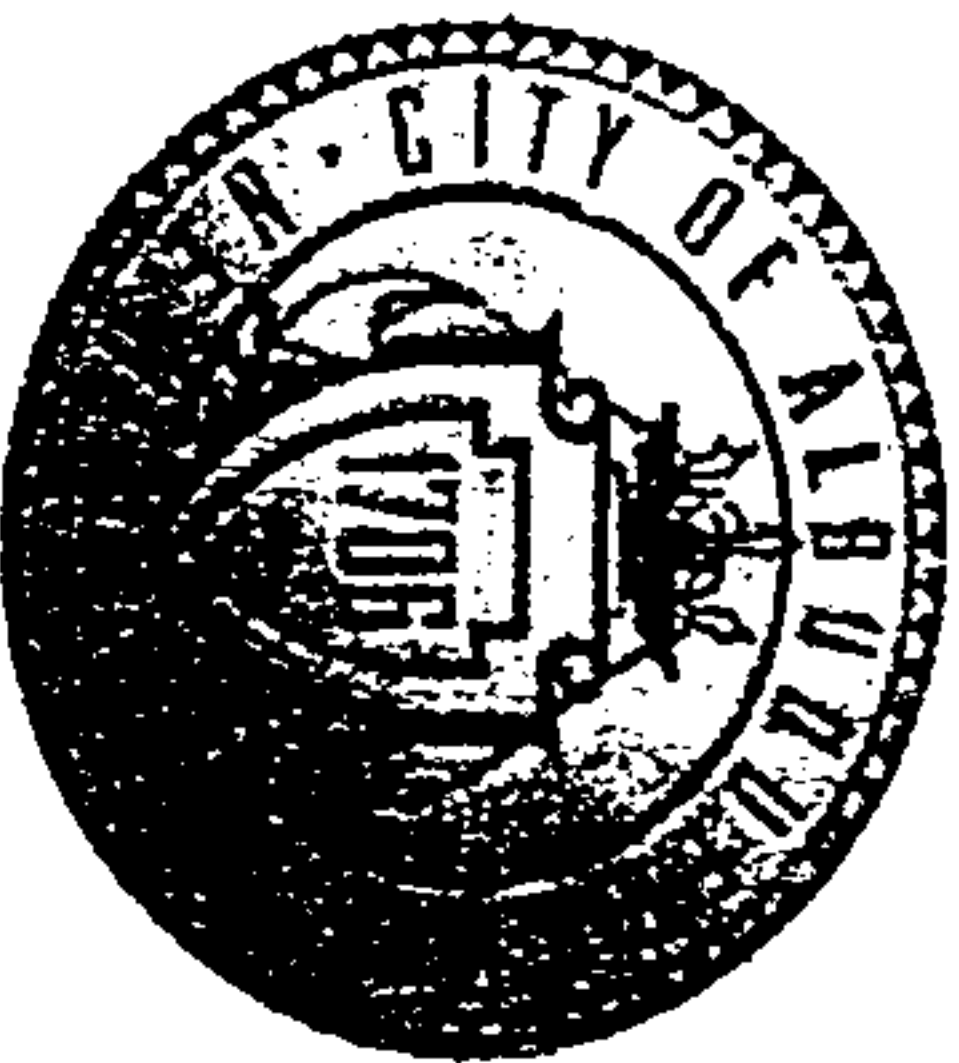
Sincerely,

Cynthia K Beck
Associate Engineer, Planning Dept.
Development Review Services

Albuquerque
C: File

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Platinum Apartments Building Permit #: _____ City Drainage #: K7D1D8

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Ken Myers / Scott Berke Buyer: ec Contact: 292-3851 Kenmyers@aish.com

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

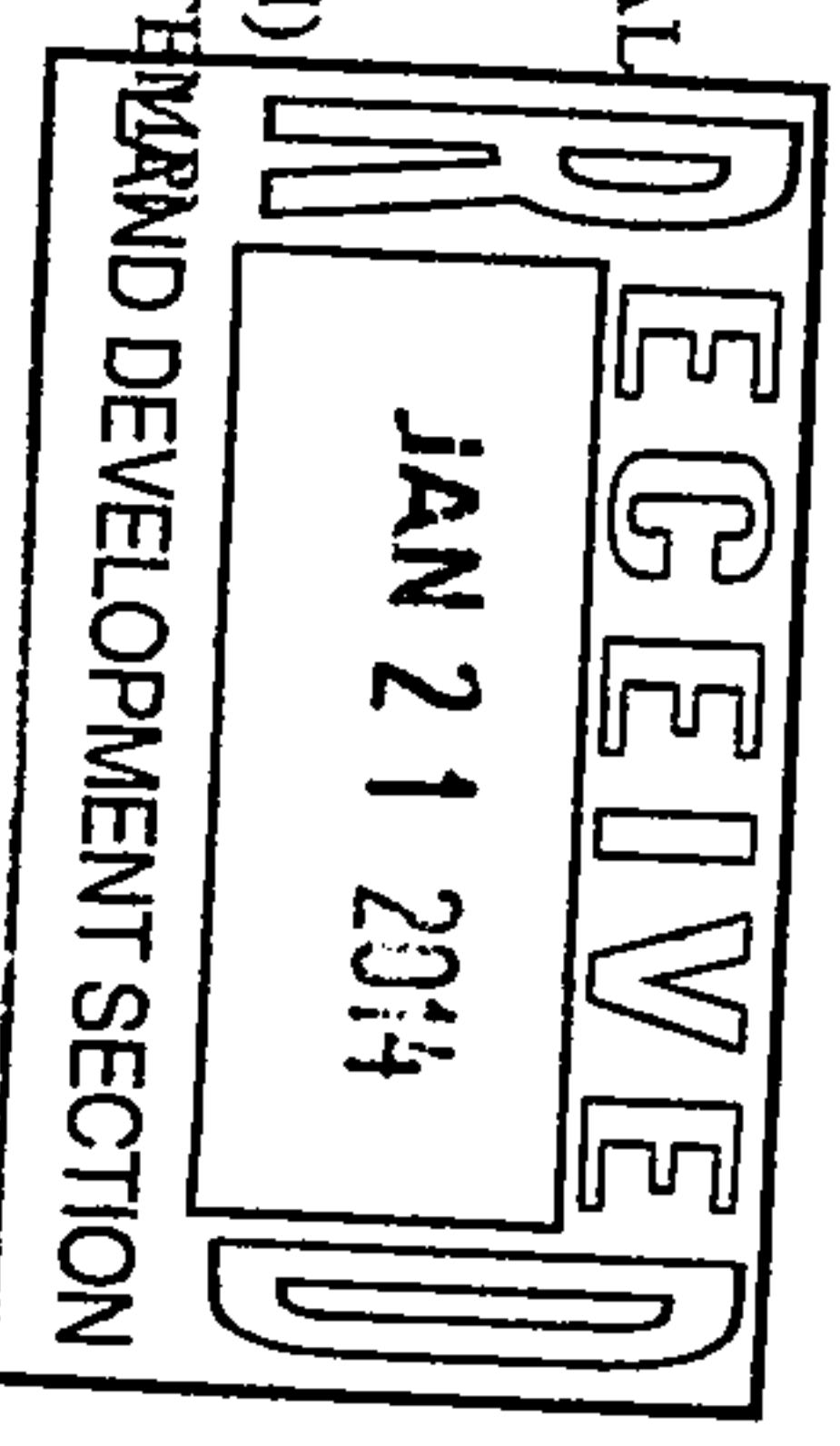
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL) TH
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

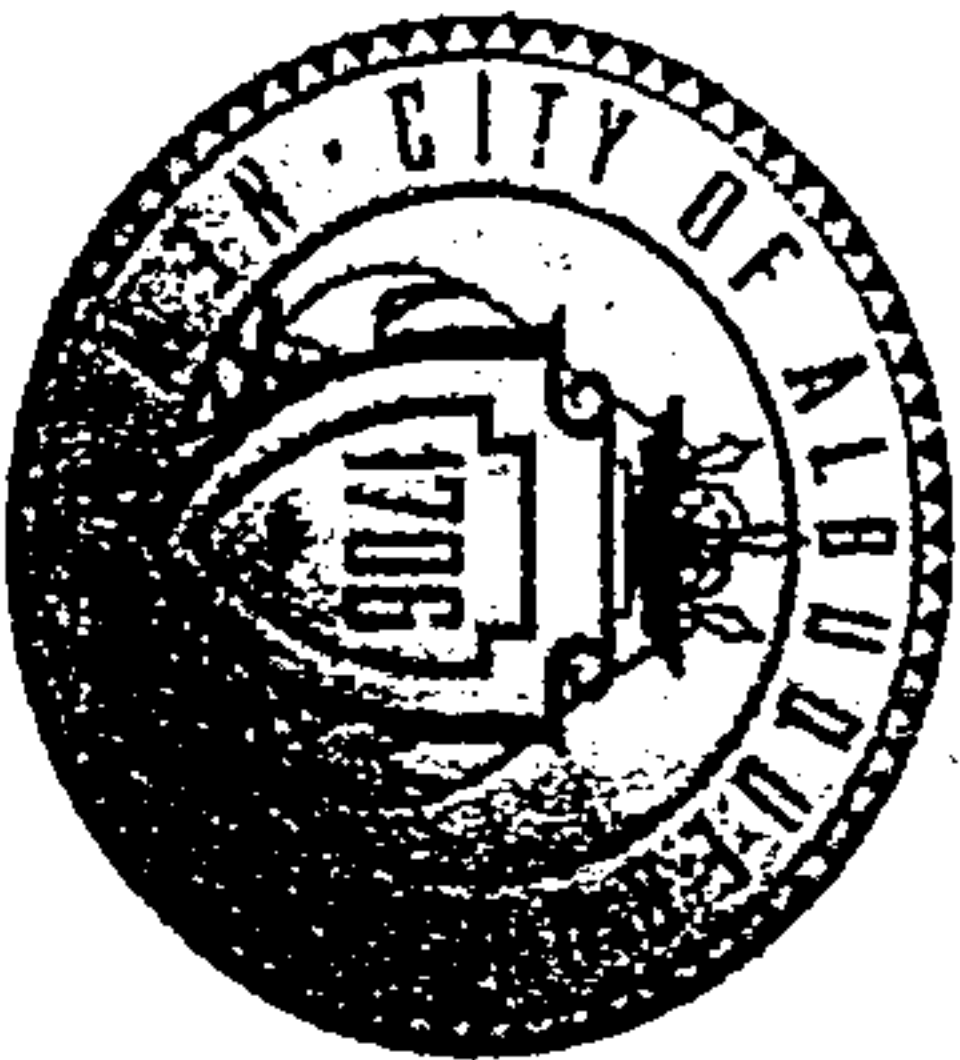
DATE SUBMITTED: 1/21/14

By: [Signature] Yes ☒ No ☐ Copy Provided

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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Verbal NO 1/22/14
ckb



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Reviewed 1/9/14
disapproved

Project Title: Eastlund Apartments Building Permit #: N/A City Drainage #: K17D108

DRB#: 1009567 EPC#: N/A Work Order#: _____

Legal Description: Lot 1-6 Block 10 of West Grande Street Addition

City Address: 4100 Silver Ave SE

Engineering Firm: Scott McGee L.L.C. Contact: Scott McGee

Address: 9100 TANDAN DR NE Albuquerque, NM 87111 E-mail: SCOTTMCGEE@GMAIL.COM

Phone#: 505.263.2905 Fax#: _____

Owner: 4120 Silver Ave L.L.C. Contact: Pick Goldman

Address: 4700 N. Ravenswood Suite B Chicago, IL 60640 E-mail: PICK@PSCHICAGO.COM

Phone#: 773.290.1600 Fax#: 773.290.1555

Architect: ENVIRONMENTAL DYNAMICS, INC. Contact: KENT BEIERLE

Address: 142 TELLMAN ST. NE Albuquerque, NM 87108 E-mail: KENT@EDI-ARCH.COM

Phone#: 505.242.2851 Fax#: N/A

Surveyor: Wayland Surveying Contact: THOMAS JOHNSON

Address: 330 LOUISIANA BLVD NE Albuquerque, NM 87108 E-mail: INFO@WAYLAND.SURV.COM

Phone#: 505.255.2052 Fax#: 505.255.2887

Contractor: Avilion Construction Contact: BRIAN GERLITZ

Address: 7820 PAN AMERICAN FREEWAY E NE Suite 4 Albuquerque, NM 87109 E-mail: BGERLITZ@AVILIONCONSTRUCTION.COM

Phone#: 505.346.0085 Fax#: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☒ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: _____ By: _____

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10 Jan 2014
Verbal - No. Permitted will be submitted.