



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Platinum Apt. Building Permit #: 201490773 City Drainage #: _____
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: 4100 Silver Ave. SE in ABQ, NM lot #6A Block #10 Mesa Grande Subdivision
 City Address: 4100 SILVER AVE. SE ABQ, NM 87108

Engineering Firm: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Owner: Pure Platinum, LLC Contact: Pick Goldman
 Address: 4700 N. Ravenswood Ave. Ste. B Chicago, IL 60640
 Phone#: 773 2901690 Fax#: 773 290 1699 E-mail: Pick@PSChicago.com

Architect: Environmental Dynamics, Inc. Contact: Ken Myers
 Address: 192 Truman NG. ABQ NM 87108
 Phone#: 505 2422851 Fax#: _____ E-mail: Kenny@edi-arch.com

Surveyor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 7/23/15 By: Ken Myers

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

TRAFFIC CERTIFICATION

I, Kent Beierle, NMRA, OF THE FIRM Environmental Dynamics, Inc., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/13/2014, (February 13, 2014). I CERTIFY THAT I HAVE VISITED THE PROJECT SITE ON 07/22/2015, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA AND ANNOTATIONS PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR THE CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

ENGINEER'S OR ARCHITECT'S

STAMP

Signature of Engineer or Architect

kent beierle ■

j. stace mcgee ■

michael ryan ■

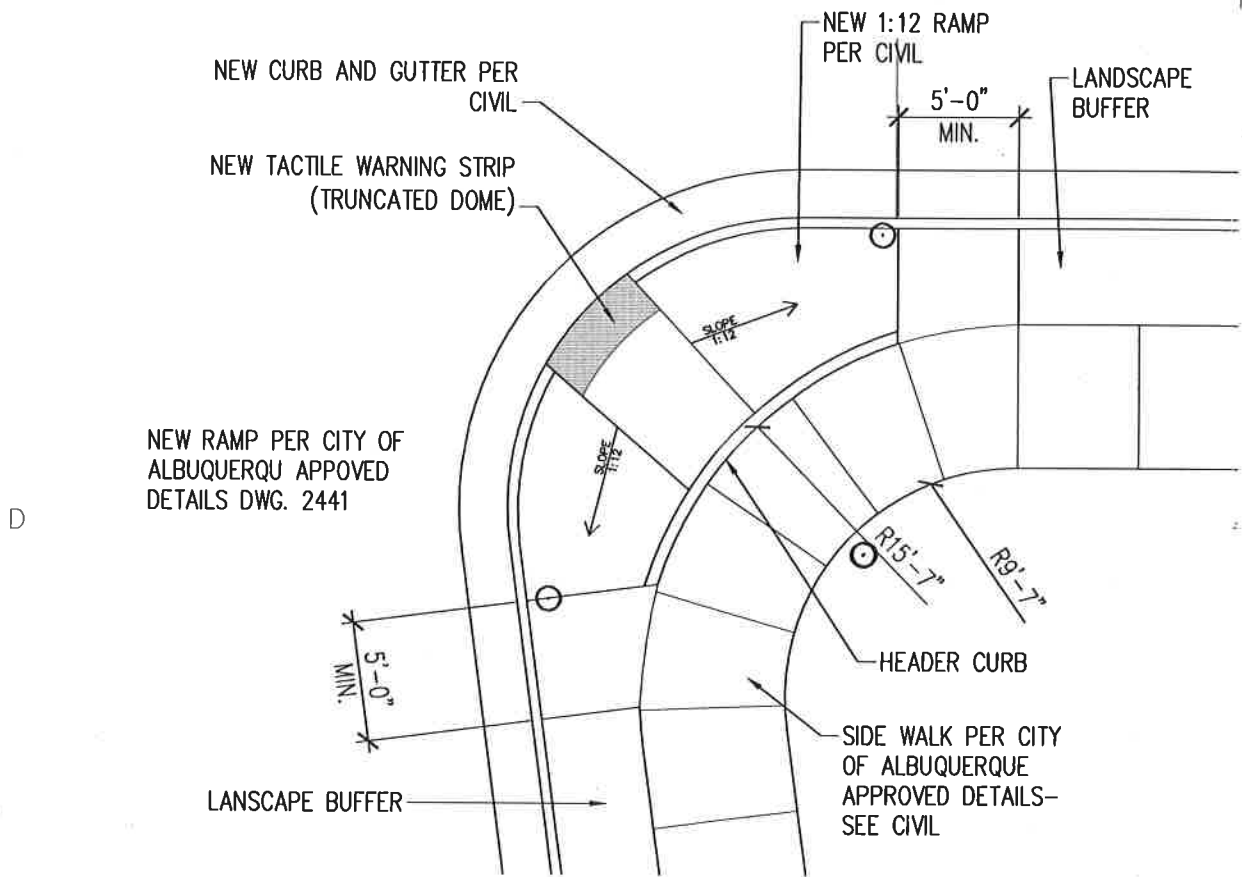
2015.07.22
Date



■ 142 Truman St. NE
Albuquerque, NM 87108
Tel 505.242.2851

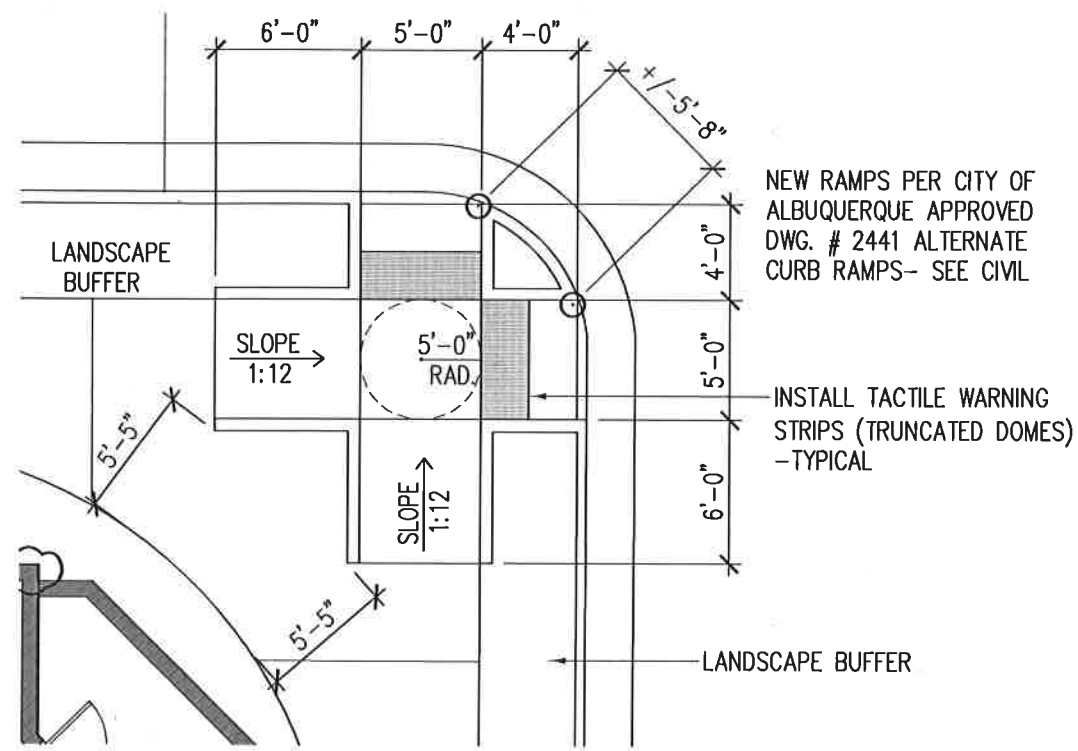
■ 100 NE 6th St Unit 102
Boynton Beach, FL 33435
Tel 561.531.4704

1



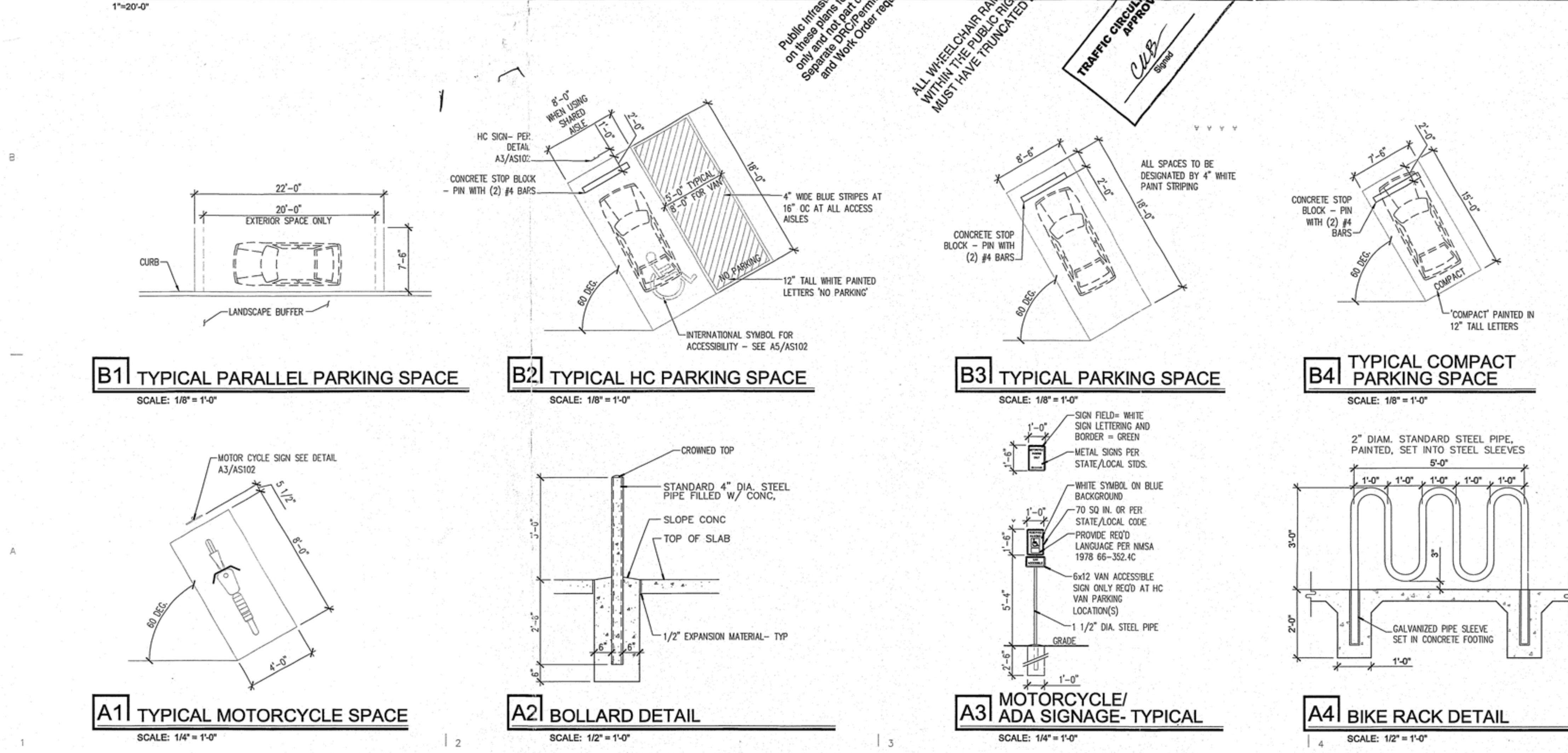
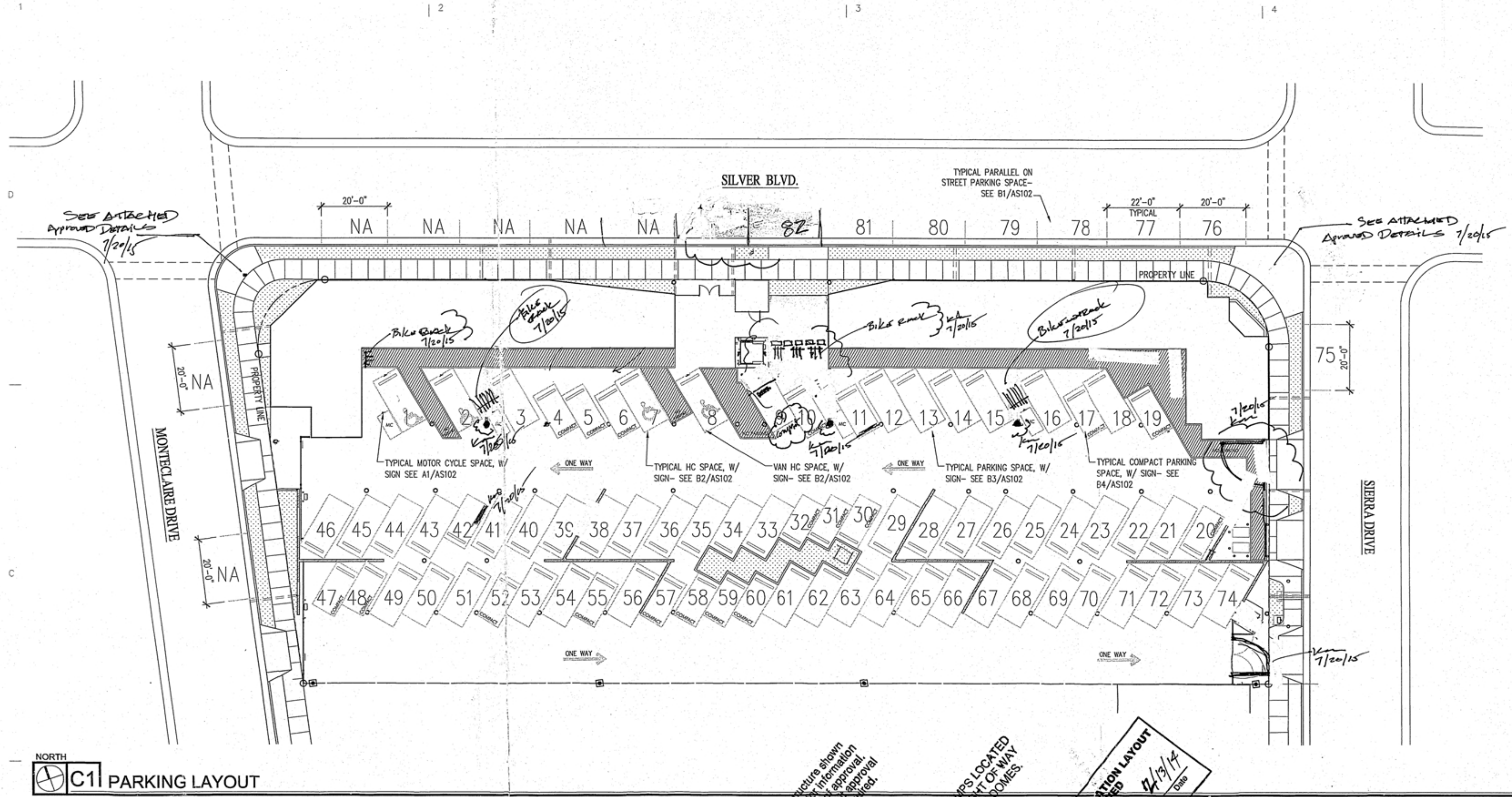
D1 HC RAMP DETAIL @ NORTH WEST CORNER
1/8"=1'-0"

2



D2 HC RAMP DETAIL @ NORTH EAST CORNER
1/8"=1'-0"

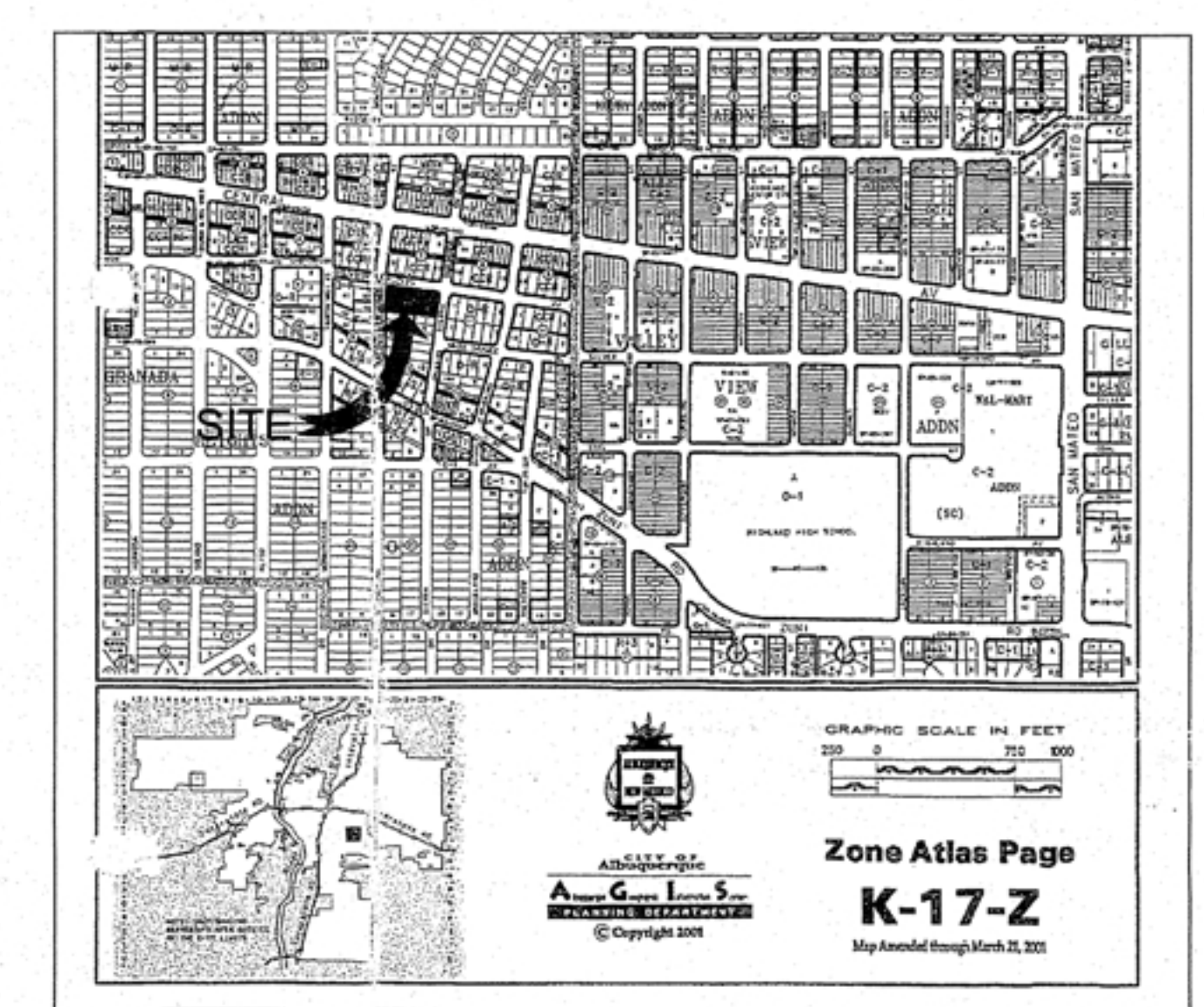
RAMPS
~~CURB CUTS~~ APPROVED
TRAFFIC ENGINEER/TRANS. DEV. DIV.
BY: [Signature]
DATE: 08-04-14



GENERAL BUILDING INFORMATION

LEGAL DESCRIPTION: LOT 6-A, BLOCK 10, MESA GRANDE SUBDIVISION
ADDRESS: 4100 SILVER AVE. ALBUQUERQUE, NM 87108
ZONING CLASSIFICATION: R-2, MULTI-FAMILY RESIDENTIAL, OR-1 PER SECTOR CODE*
*ZONING DICTATED BY NOB HILL HIGHLAND SECTOR DEVELOPMENT PLAN ENACTMENT # 96-2007

TOTAL NUMBER OF UNITS	75 UNITS
STUDIO UNITS	6 STUDIO UNITS
ONE BED ROOM UNITS	62 ONE BED ROOM UNITS
TWO BED ROOM UNITS	7 TWO BED ROOM UNITS
PARKING REQUIREMENTS	
ON STREET PARKING SPACES:	16
ON STREET PARKING AVAILABLE FOR THIS PROJECT PER ON STREET PARKING CREDIT:	8
OFF STREET PARKING SPACES (INCLUDES HC PARKING):	74
TOTAL NUMBER OF PARKING SPACES:	82
NUMBER OF COMPACT SPACES ALLOWED BY ZONING:	33% OF TOTAL SPACES: 33% x 82 = 27; 27 ALLOWED
TOTAL NUMBER OF HC PARKING SPACES (INCLUDING VAN SPACES):	19
TOTAL NUMBER OF HC VAN SPACES: (1 SPACE PER <101 SPACES):	7 PROVIDED
TOTAL NUMBER OF MOTORCYCLE SPACES:	4 PROVIDED
TOTAL NUMBER OF BIKE SPACES:	1 PROVIDED
LANDSCAPING REQUIREMENTS:	
TOTAL LANDSCAPING REQUIRED BY ZONING (15% OF NET LOT AREA):	8,187 SF (.15) = 1,228 SF
TOTAL LANDSCAPING PROVIDED:	2,035 SF
OPEN SPACE REQUIREMENTS:	
400 SF. PER EFFICIENCY AND 1 BEDROOM UNIT	REQUIRED: 30,700 SQUARE FEET
500 SF. PER 2 BED ROOM	PROVIDED: 30,914 SQUARE FEET



142 Truman St. ne
albuquerque, nm 87108
ph 505.242.2851
www.edi-arch.com

regenerating architecture

RECEIVED
FEB 03 2014
LAND DEVELOPMENT SECTION

PLATINUM APARTMENTS
4100 SILVER AVENUE
ALBUQUERQUE, NEW MEXICO 87108

STATE OF NEW MEXICO
KENT D. BEIERLE
No. 005188
02-03-14
REGISTERED ARCHITECT

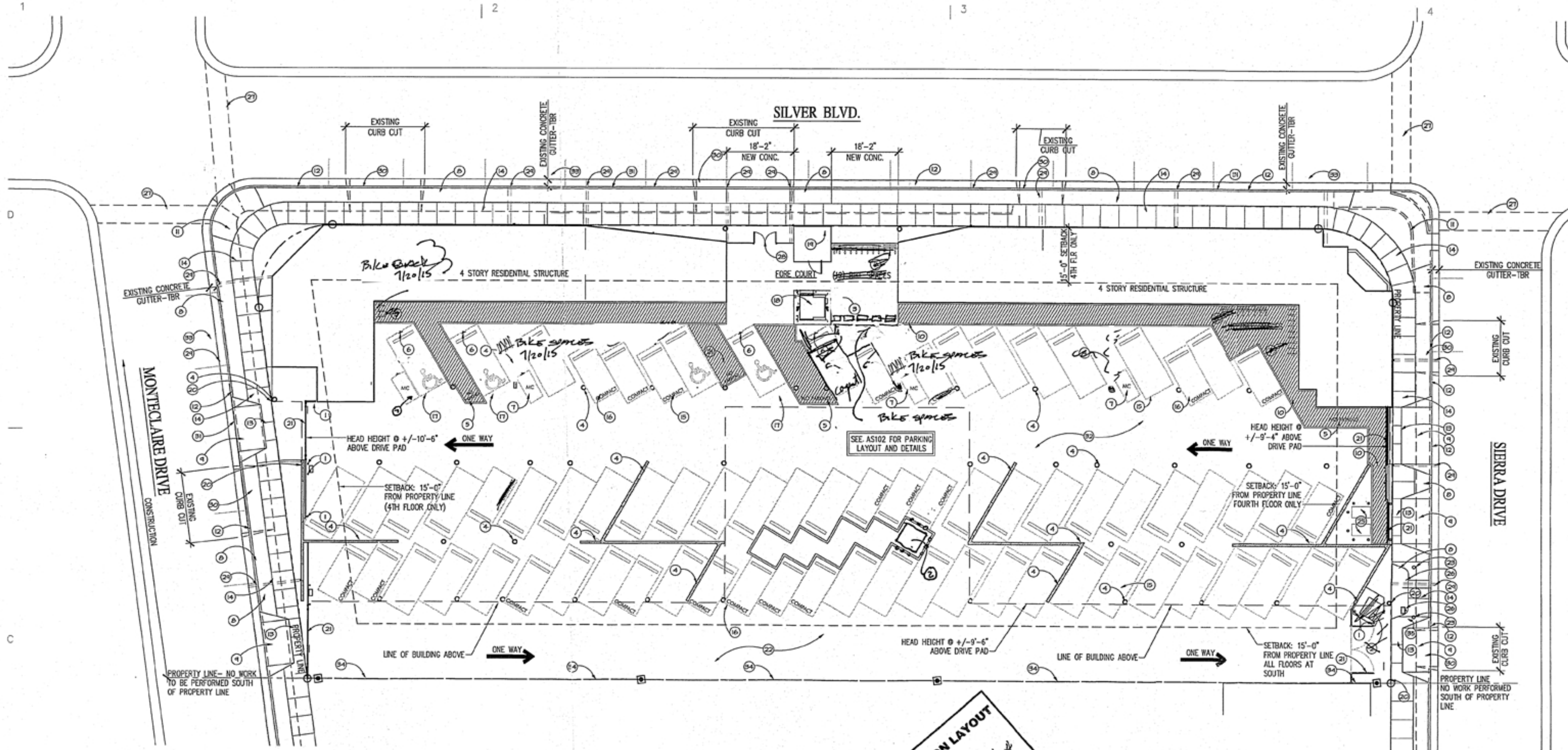
ISSUE:
SUBMITTAL DOCUMENTS

DRAWN BY: EDI
CHECKED BY: KDB
DATE: 01/27/2014

REVISIONS

TCL-
PARKING
LAYOUT
DIAGRAM

13012
AS102

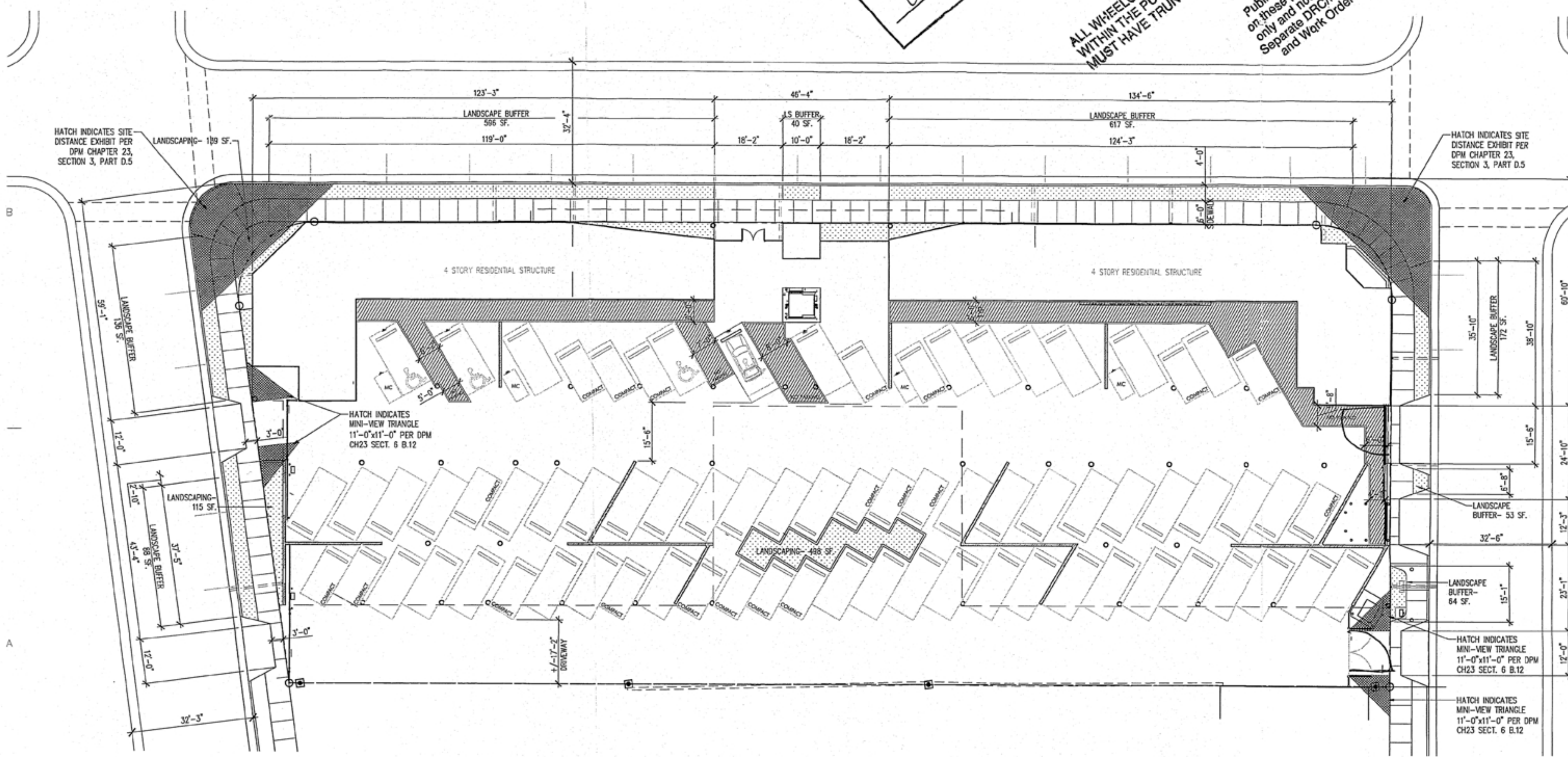


C1 TRAFFIC CIRCULATION LAYOUT REFERENCE PLAN
1"=20'-0"

TRAFFIC CIRCULATION LAYOUT
APPROVED
3/13/14
Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans is for information
only and is not for approval.
Separate DDC/Permit approval
and Work Order required.



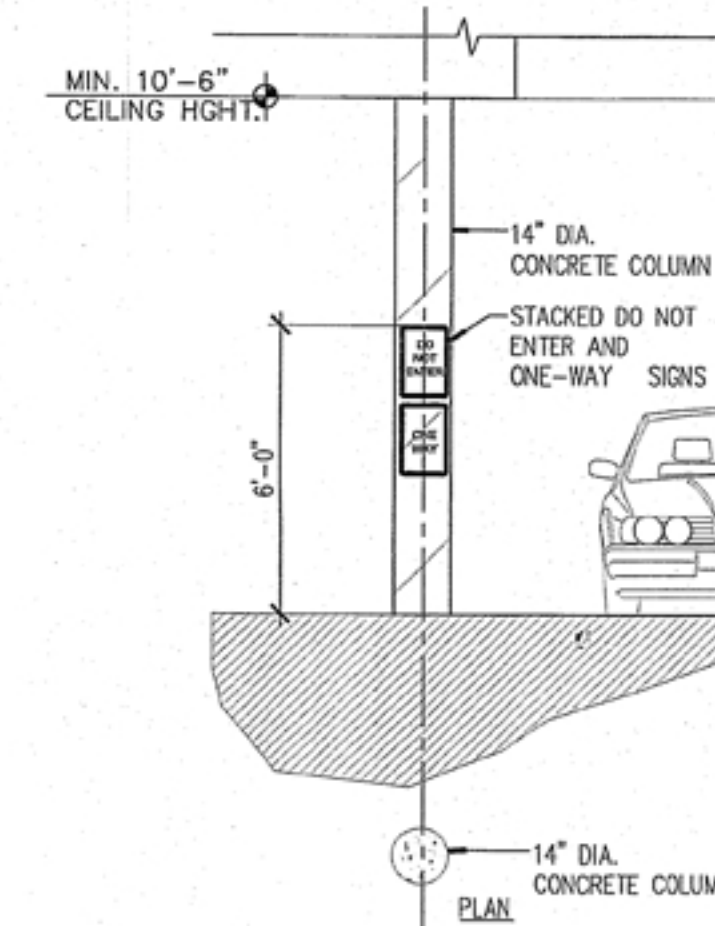
A1 TRAFFIC CIRCULATION DIMENSION PLAN
1"=20'-0"

GENERAL NOTES

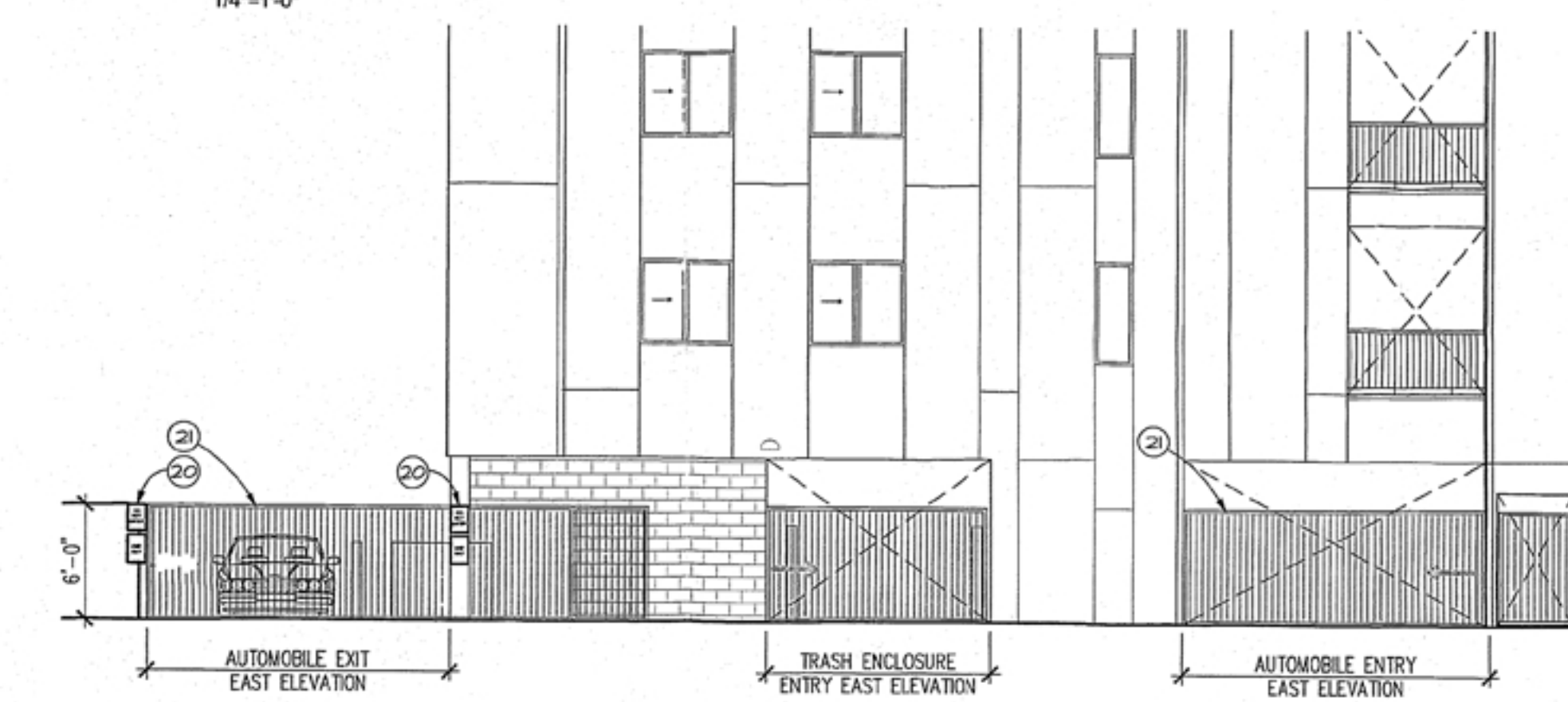
- PARKING AREA TO SLOPE A MIN. OF 1% AND A MAX. OF 8% PER ALBUQUERQUE DPM
- LANDSCAPING TO MEET ALL STREET TREE ORDINANCE REQUIREMENTS
- LANDSCAPING TO MEET ALL CITY OF ALBUQUERQUE WATER CONSERVATION REQUIREMENTS
- NO ASPHALT IS TO BE REMOVED AS THE RESULT OF THIS PROJECT

KEYED NOTES

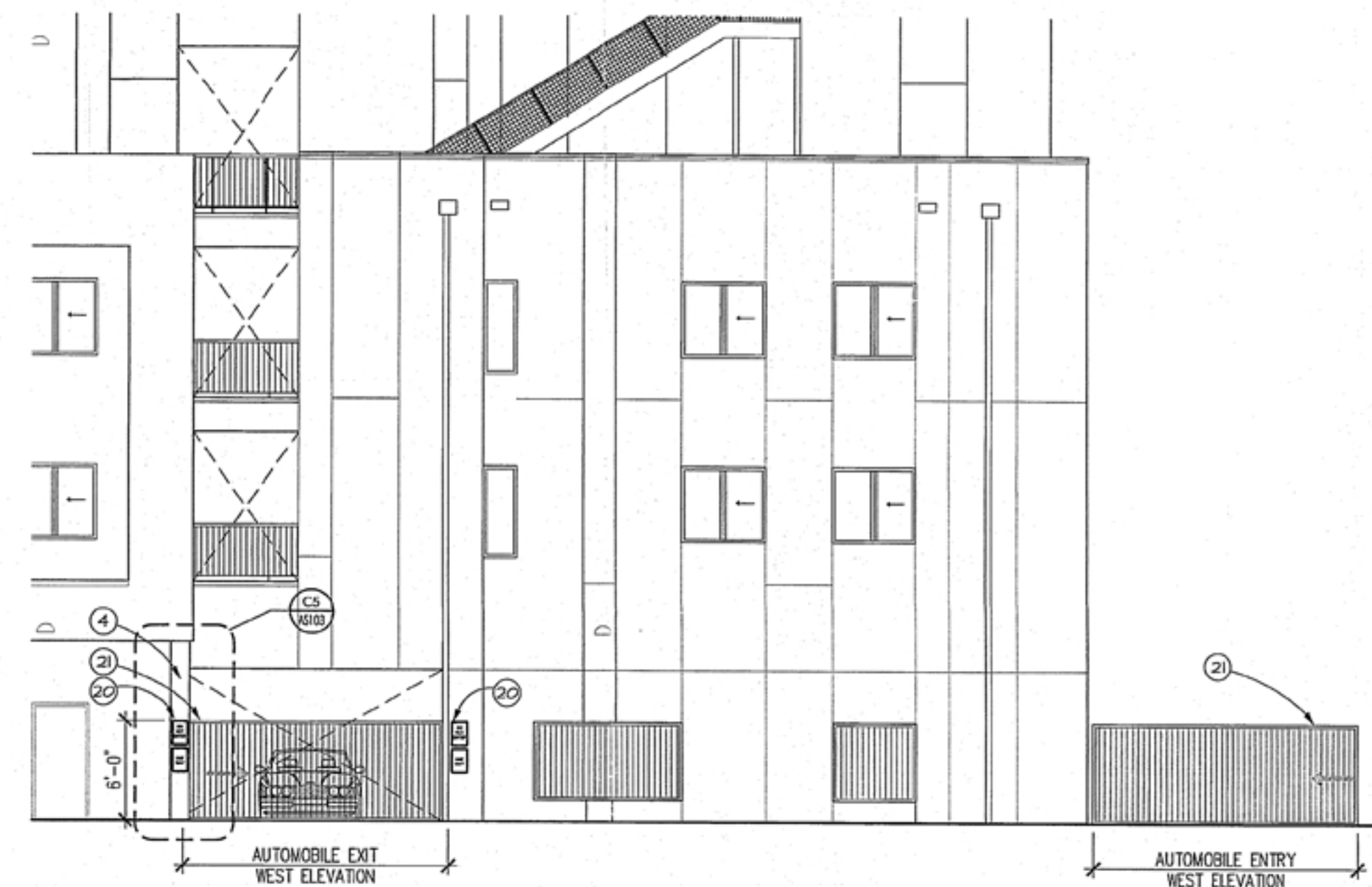
- 3'-0" TALL BALLARD-TYPICAL SEE DETAIL A2/AS-102
- PROPOSED ELECTRICAL TRANSFORMER- MAX. HEIGHT 3'-0" ABV GRADE
- BICYCLE RACK SEE DETAIL A4/AS-102
- STRUCTURAL COLUMN OR WALL AS REQUIRED-TYPICAL, PAINT 4'-0" AFF W/ CAUTION ORANGE COLOR
- PAINTED 'NO PARKING' SIGN IN 12" TALL WHITE LETTERS
- HC SIGN- SEE DETAIL A3/AS102
- MOTOR CYCLE PARKING SPACE WITH SIGN- SEE DETAIL A1/AS102, AND A3/AS-102
- PROPOSED LANDSCAPING BUFFER- SEE AS102 FOR REQUIREMENTS
- NEW DRIVE PAD PER CITY OF ALBUQUERQUE STANDARD DRAWING No. 2425
- STRIPED AND DESIGNATED WALK PATH- WIDTH AS INDICATED ON PLAN A1/AS103
- EXISTING CURB RAMP AND WHEEL CHAIR ACCESS RAMP TO REMAIN
- NEW CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWING No. 2415A
- NEW ADA APPROVED 3'-0" WIDE WALKWAY SLOPE AT MAX. 2%
- NEW 6'-0" SIDE WALK PER CITY STANDARD DRAWING 2430
- TYPICAL PARKING SPACE PER DPM CHAPTER 23-FIG. 23.7.1- SEE DETAIL B3/AS-102
- TYPICAL COMPACT PARKING SPACE PER DPM CHAPTER 23-FIG. 23.7.1- SEE DETAIL B4/AS-102
- TYPICAL HC PARKING SPACE- SEE DETAIL B2/AS-102
- ELEVATOR
- MECHANICAL CHASE
- STACKED 'ONEWAY' AND 'DO NOT ENTER' SIGNS- SEE PARTIAL ELEVATIONS A5/AS103, AND B5/AS103
- 6'-0" TALL MOTORIZED GATE WITH SECURITY CONTROLLED ENTRY
- ASPHALT DRIVE WAY
- EXISTING UTILITY POLE- TO BE REMOVED
- EXISTING UTILITY POLE- TO REMAIN
- SWANSON STYLE TRASH RECEPTACLE
- EXISTING CABLE BOX AND METER
- EXISTING CROSS WALKS TO REMAIN
- 6'-0" TALL ENTRY GATE WITH SECURITY CONTROLLED ENTRY
- HARD PIPE CONNECTION FROM DOWN SPOUT TO NEW GUTTER. GUTTER DETAIL PER ALBUQUERQUE STANDARD DRAWING 2235
- EXISTING CURB CUTS TO BE REMOVED
- EXISTING CONCRETE INFRASTRUCTURE TO BE REMOVED REPLACE WITH SIDEWALK, CURB, GUTTER AND LANDSCAPING BUFFER AS INDICATED.
- 6" THICK CONCRETE DRIVING SURFACE- PROVIDE MIN. 1% SLOPE PER ALBUQUERQUE DPM
- TYPICAL NEW ON STREET PARKING SPACE PER DPM CHAPTER 23- FIG. 23.7.1 SEE DETAIL B1/AS102
- NEW CHAIN LINK FENCE WITH DECORATIVE SCREEN
- SIDE WALK OBSTRUCTION DETAIL PER CITY DETAIL DRAWING No. 2431- PER DRAWING MAINTAIN MIN. 3' CLEARANCE



C5 COLUMN DETAIL
1/4"=1'-0"



B5 PARTIAL EAST ELEVATION
1/8"=1'-0"



A5 PARTIAL WEST ELEVATION
1/8"=1'-0"

PLATINUM APARTMENTS
4100 SILVER AVENUE
ALBUQUERQUE, NEW MEXICO 87108



ISSUE:

SUBMITTAL DOCUMENTS

DRAWN BY: EDI
CHECKED BY: KDB
DATE: 01/27/2014

REVISIONS

TCL
REFERENCE +
DIM. PLAN
PARTIAL ELEV.

13012
AS103

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