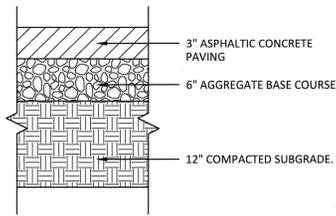


NOTE: PROVIDE CONTROL JOINTS AT 6' O.C. AND EXPANSION JOINTS AT 24' O.C.

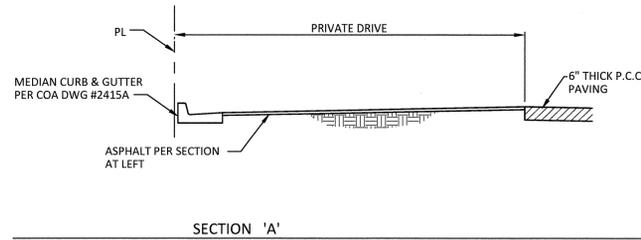
CONCRETE PAVING

NTS



ASPHALT PAVEMENT SECTION

NTS



LEGEND

- TC — NEW CONTOUR LINE
- FL — TOP OF CURB
- TSW — FLOW LINE
- FF = 5168.3 — TOP OF SIDEWALK FINISH FLOOR ELEVATION
- ◆ 59.8 — SPOT ELEVATION
- DS — DOWN SPOUT
- X 29.11 — AS-BUILT ELEVATION



VICINITY MAP

K-17

LEGAL: Lot 6-A, Block 10, Mesa Grande Addition

AREA: 37,360 sf (0.8577 acre)

BENCHMARK: City of Albuquerque Station '5-K17A' being a brass cap ELEV = 5322.211 (NAVD 1988)

SURVEYOR: Anthony L Harris dated November, 2012

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Panel 353 (dated 9/26/08), this site is identified as being within Zone 'X' which is located outside the 100-year floodplain.

EXISTING CONDITIONS: The existing site is developed with 2 commercial buildings along with associated paved parking on lots 1-4. There is a concrete slab and asphalt paving on the eastern 2 lots. A small portion of the site is covered with gravel landscaping. The site slopes down from the east to the west at approximately 1%.

PROPOSED IMPROVEMENTS: The proposed improvements include a 57,785 sf four-story residential building with 75 units. The ground floor includes surface parking which is covered by the three floors above.

DRAINAGE APPROACH: The drainage plan will follow historic drainage patterns. Most developed runoff will discharge to the adjacent streets via two driveways. Upper level balcony areas will drain via downspouts and pass under the adjacent public sidewalks through drain lines.

Existing land treatment: 6% C and 94% D
 $Q = [(0.049)(3.14) + (.764)(4.70)](0.8131) = 3.7$ cfs

Proposed land treatment: 5% C and 95% D
 $Q = [(0.041)(3.14) + (.772)(4.70)](0.8131) = 3.8$ cfs

The proposed improvements increase site runoff slightly, but the impact to downstream drainage facilities will be minimal.

KEYED NOTES

- A. INSTALL 4" DRAIN LINE UNDER SIDEWALK AND THROUGH CURB PER COA STD DWG NO 2235.
- B. INSTALL 4" HIGH BY 8" WIDE OPENINGS AT GRADE IN WALLS FOR DRAINAGE.

S. O. 19 : NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R/W.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

DRAINAGE CERTIFICATION

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/12/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS PROVIDED BY DAVID P ACOSTA, NMPS 21082, OF CONSTRUCTION SURVEY TECHNOLOGY, INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 7/17/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

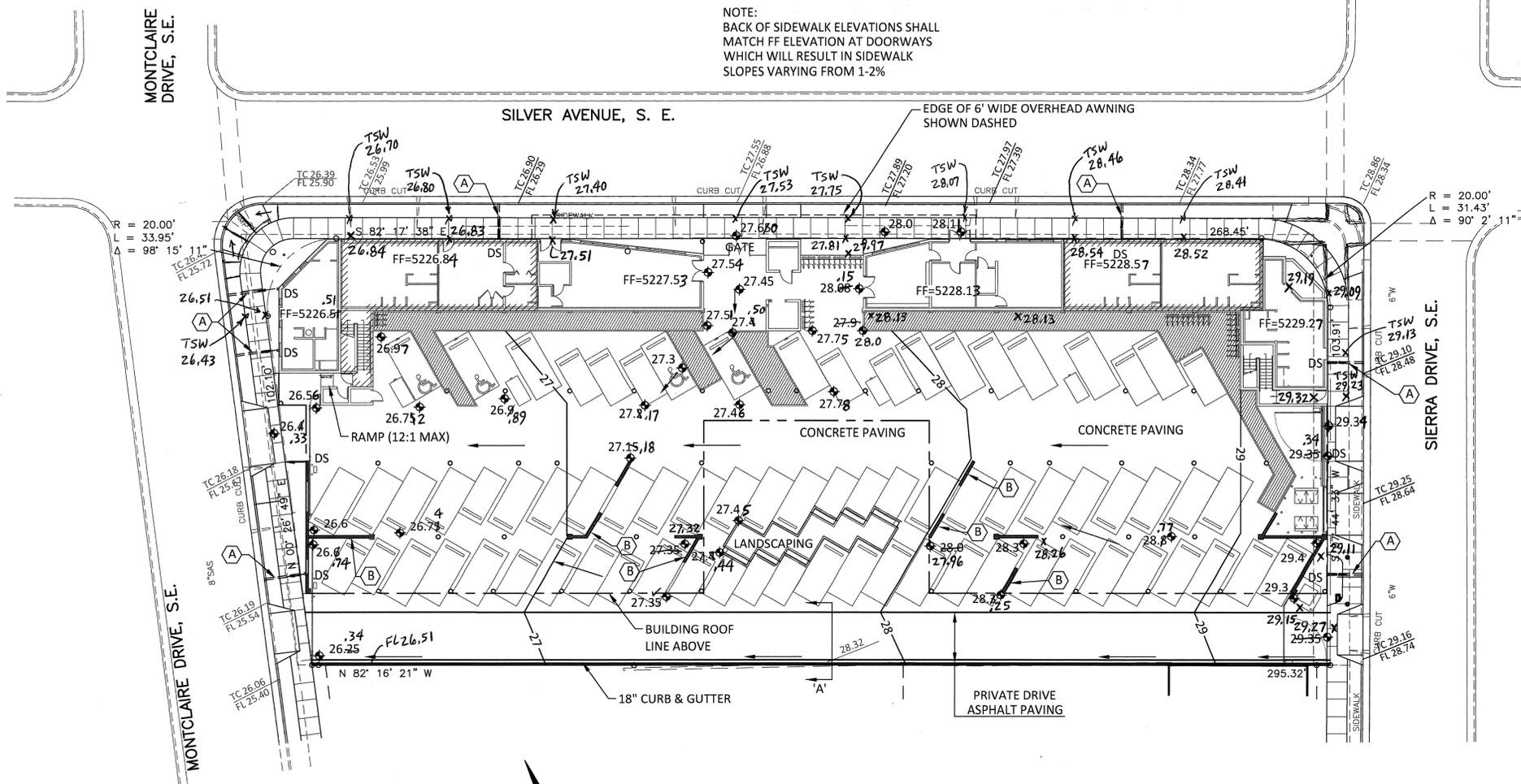
THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M McGee 7/17/15

SCOTT M MCGEE, NMPE 10519

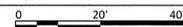


NOTE: BACK OF SIDEWALK ELEVATIONS SHALL MATCH FF ELEVATION AT DOORWAYS WHICH WILL RESULT IN SIDEWALK SLOPES VARYING FROM 1-2%



GRADING PLAN

1" = 20 FT



CITY OF ALBUQUERQUE



July 23, 2015

Scott McGee, PE
Scott M. McGee PE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

Re: Sierra Platinum Apartments
4100 Silver Ave NE
Request for Permanent C.O. – Not Accepted
Engineer's Stamp dated: 5-12-14 (K17D108)
Certification dated: 7-17-15

Dear Mr. McGee,

Based on the Certification received on 7/20/2015, the Sierra Platinum Apartments are not acceptable for release of Certificate of Occupancy by Hydrology. The sidewalk culverts were not approved by Jason Rodriguez and the cutouts in the walls were not provided.

In the new plan being submitted provide roof flows and new calculations for the site.

PO Box 1293

If you have any questions, you can contact me at 924-3999 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

C: RR/SB
CO Clerk
email