

CITY OF ALBUQUERQUE



August 20, 2015

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE Bldg. F
Albuquerque, NM 87110

**Re: Morningside Lofts
3919 Silver Ave. SE
Grading and Drainage Plan
Engineer's Stamp dated: 8-10-15 (K17D109)**

Dear Mr. Miller,

Based upon the information provided in your submittal received 8/19/2015, the above referenced Grading and Drainage Plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3999 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

C: RR/SB
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: MORNINGSIDE LOFTS Building Permit #: _____ City Drainage #: K17D109
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: LOT 11A & 11B BLOCK 4 MANHATTAN PLACE CITY OF ALB. REPN (DRM)
 City Address: 3919 SILVER AVE SE ALBUQUERQUE NM 87103
 Engineering Firm: MILLER ENGINEERING CONSULTANTS Contact: JOHN LAQUEE
 Address: 3500 COMANCHE NE BUILDING F ALB. NM 87107
 Phone#: 888-7500 Fax#: 888-3800 E-mail: laquee@millercn.com
 Owner: ROBERT STRELL Contact: Robert Strell
 Address: 120 MORNINGSIDE ALB NM 87103
 Phone#: 268-7321 Fax#: 268-3328 E-mail: rob@strelldesign.com
 Architect: Strell Design Contact: Robert Strell
 Address: 120 MORNINGSIDE
 Phone#: 268-7321 Fax#: 268-7325 E-mail: rob@strelldesign.com
 Surveyor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____
 Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL ☒ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 8-19-15

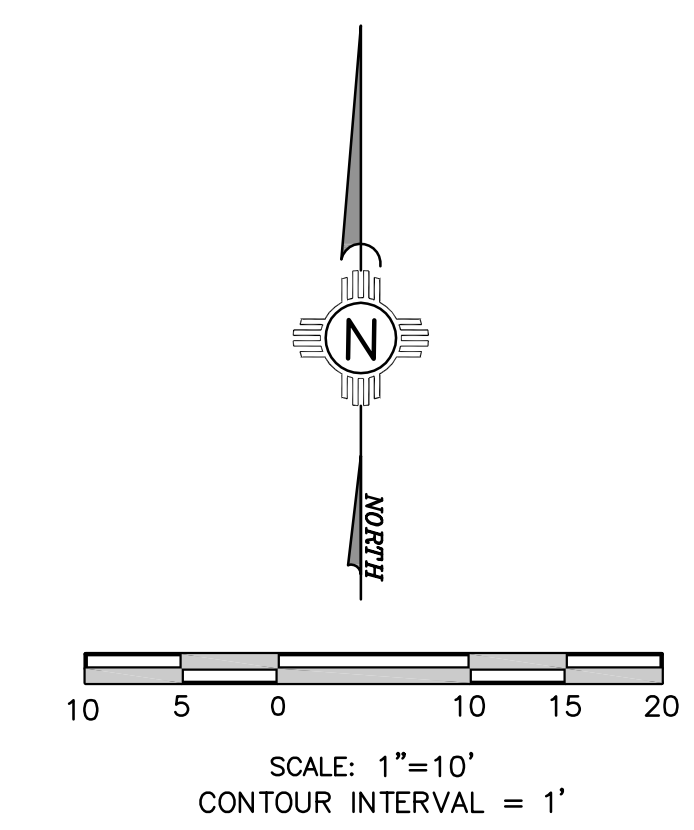
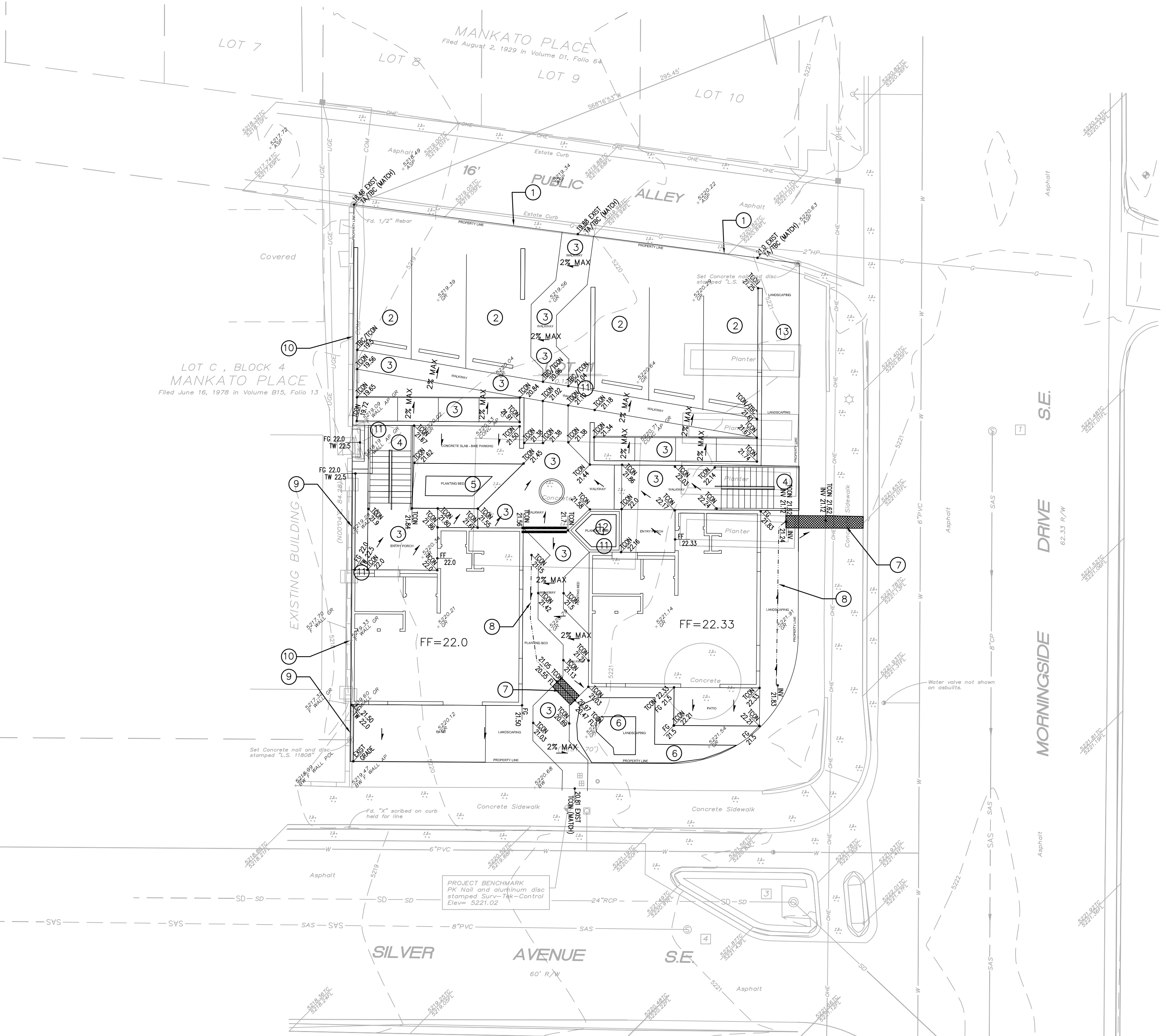
By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

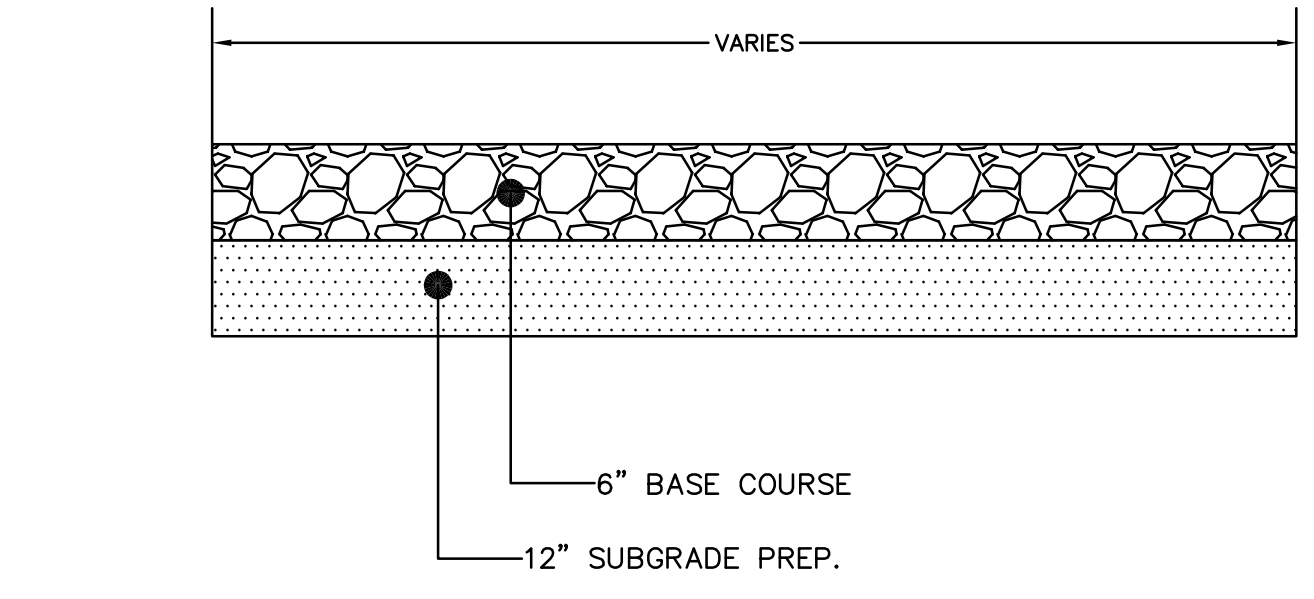
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Phone call w/ Verlyn Miller


T:\Clients\Strell Design\grad sheets\grading and drainage plan.dwg, CD PLAN C-102 (2), 8/11/2019, 8:57:00 AM, jlopez, 1:1



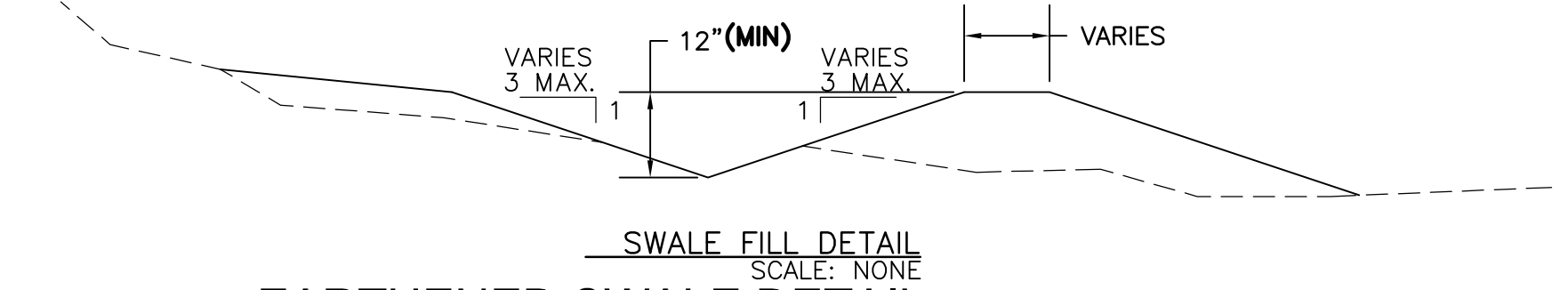
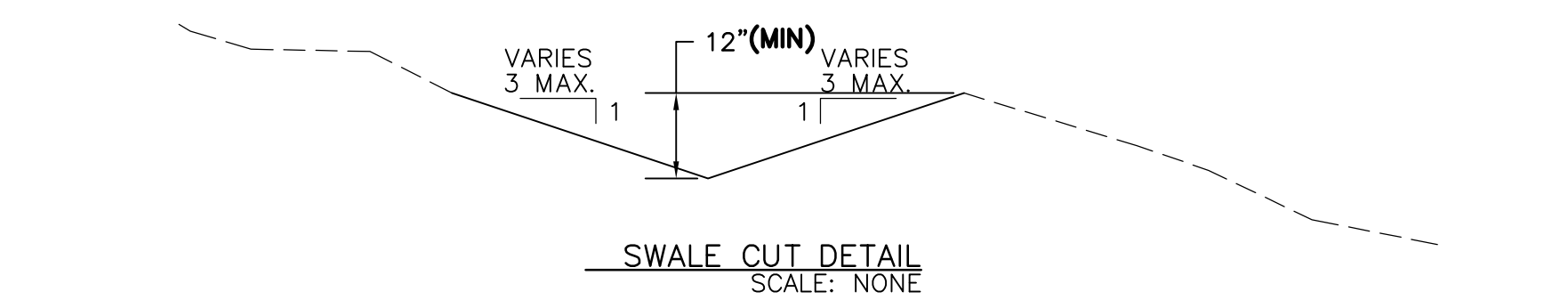
A1 GRADING AND DRAINAGE PLAN
SCALE: 1"=10'



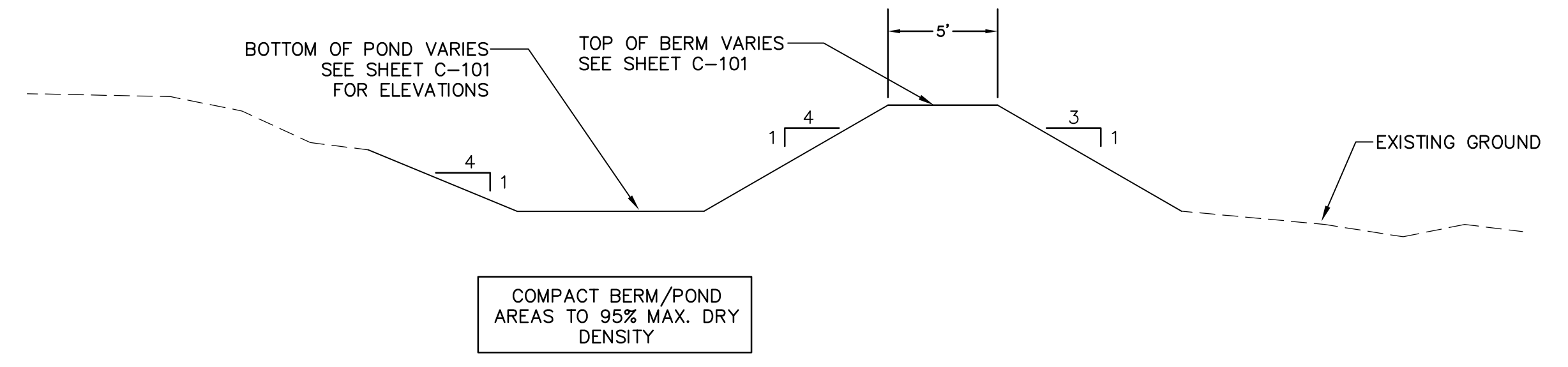
D1 TYPICAL BASE COURSE SECTION
SCALE: NOT TO SCALE

LEGEND:			
• 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	=====	GRADE BREAK-HIGH POINT
• MATCH (95.19)	MATCH EXISTING ELEVATIONS	-----	SWALE
TCON	TOP OF CONCRETE	-----SD-----	STORM DRAIN LINE
FL	FLOW LINE, CURB		
INV	INVERT		
FG	FINISH GRADE	===== 5895 =====	PROPOSED MAJOR CONTOUR
TBC	TOP OF BASE COURSE	----- 5895 -----	PROPOSED MINOR CONTOUR
TC	TOP OF CURB	----- 5895 -----	EXISTING MAJOR CONTOUR
TG	TOP OF GRATE	-----	EXISTING MINOR CONTOUR
	FLOW ARROW		

- KEYED NOTES:**
- MATCH NEW TOP OF BASE COURSE ELEVATION WITH EXISTING TOP BACK OF CURB. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS AND LOCATION PRIOR TO CONSTRUCTION.
 - NEW BASE COURSE PARKING LOT. SEE SECTION THIS SHEET.
 - NEW CONCRETE SIDEWALK. AS PER COA STANDARD DWG 2430. CONTRACTOR SHALL SUBMIT A JOINT PATTERN TO THE PROJECT ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - NEW STAIRS SEE ARCHITECTURAL PLANS FOR DETAILS.
 - NEW WATER HARVEST AREA 1. (PONDING REQUIRED TO MANAGE FIRST FLUSH AS DEFINED BY NEW COA DRAINAGE ORDINANCE). TOP=21.45, INV=20.45. VOLUME=63 CF. SEE DETAIL THIS SHEET.
 - NEW WATER HARVEST AREA 2. (PONDING REQUIRED TO MANAGE FIRST FLUSH AS DEFINED BY NEW COA DRAINAGE ORDINANCE). TOP=20.0, INV=19.0. VOLUME=88 CF. SEE DETAIL THIS SHEET.
 - NEW 24" WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP. AS PER COA STANDARD DETAIL 2236. EXTEND 2' PAST PROPERTY LINE.
 - NEW EARTHENED SWALE. SEE DETAIL THIS SHEET.
 - NEW RETAINING WALL BY OTHERS. NEW WALL SHALL NOT PLACE ANY ADDITIONAL FORCES ON THE EXISTING WALL.
 - BUILDING FOOTING SHALL NOT PLACE ANY ADDITIONAL FORCES ON THE EXISTING WALL.
 - APPROXIMATE LOCATION OF ROOF DRAIN. IF NOT A HARD SCAPE AREA THE CONTRACTOR SHALL PLACE A SPLASH BLOCK. ALL ROOF DRAINS SHALL BE DIRECTED TO WATER HARVEST AREAS WHENEVER POSSIBLE.
 - NEW WATER HARVEST AREA 3. (PONDING REQUIRED TO MANAGE FIRST FLUSH AS DEFINED BY NEW COA DRAINAGE ORDINANCE). TOP=21.5, INV=20.5. VOLUME=14 CF. SEE DETAIL THIS SHEET.
 - ALL LANDSCAPE AREAS SHALL BE DEPRESSED.



D5 EARTHENED SWALE DETAIL
SCALE: NOT TO SCALE



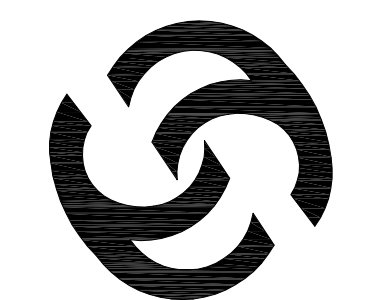
D5 TYPICAL WATER HARVEST SECTION DETAIL
SCALE: NOT TO SCALE

ME MILLER ENGINEERING CONSULTANTS
Engineers • Planners
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BUILDING F
ALBUQUERQUE, NM 87107
(505) 888-7500
(505) 888-3800 (FAX)
WWW.MECNM.COM

Morningside Lofts
3919 Silver Ave. SE
Albuquerque, NM 87198



STRELL DESIGN
120 MORNINGSIDE S.E. ALBUQUERQUE N.M. 87108
TEL: 505-268-2321 FAX: 505-268-2328



PERMIT SET

GRADING AND DRAINAGE
PLAN

C-101