CITY OF ALBUQUERQUE

December 15, 2016

Freddie Montoya, RA
Strell Design
120 Morningside Dr. SE
Albuquerque, NM 87108

Re: Morningside Lofts - 3919 Silver Ave SE
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 10-03-16 (K17D109)
Certification dated 10-03-16

Dear Mr. Montoya,

Based upon the photos provided via email received 12-15-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

CITY OF ALBUQUERQUE

Rob Strell 991-2894

October 14, 2016

Freddie Montoya, RA
Strell Design
120 Morningside Dr. SE
Albuquerque, NM 87108

RM
30 Day
Conditional

Re: Morningside Lofts
3919 Silver Ave SE
~~60-Day Temporary~~ Certificate of Occupancy- Transportation Development
Architect's Stamp dated 10-03-16 (K17D109)
Certification dated 10-03-16

Dear Mr. Montoya,

RM
30 Day
Conditional

RM
30 Day
Conditional

Based upon the information provided in your submittal received 10-04-16, Transportation Development has no objection to the issuance of a ~~60-day Temporary~~ Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a ~~60-day Temporary~~ Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The public alley north of the development will need to be resurfaced ~~prior to release of final Certificate of Occupancy.~~ RM

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

amended 10/25/16
by Racquel Michel, P.E.
RM

Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: CO Clerk, File

PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

Need picture of
Alley Resurface
+ hole PNM made
is filled in, To release
Perm CO.

CITY OF ALBUQUERQUE

October 14, 2016

Freddie Montoya, RA
Strell Design
120 Morningside Dr. SE
Albuquerque, NM 87108

Re: Morningside Lofts
3919 Silver Ave SE
60-Day Temporary Certificate of Occupancy- Transportation Development
Architect's Stamp dated 10-03-16 (K17D109)
Certification dated 10-03-16

Dear Mr. Montoya,

Based upon the information provided in your submittal received 10-04-16, Transportation Development has no objection to the issuance of a 60-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 60-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The public alley north of the development will need to be resurfaced prior to release of final Certificate of Occupancy.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: CO Clerk, File

PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Morningside Lofts Building Permit #: T201690020 City Drainage #: K17D109

DRB#: 15 DRB-70038 EPC#: Work Order#:

Legal Description: LOTS II-A AND II-B, BLOCK 4 MANKATO PLACE

City Address: 3919 SILVER AVE. SE

Engineering Firm: Miller Engineering Consultants Contact: John Jacquez

Address: 3500 Comanche NE Bldg. F Albuquerque, NM 87107

Phone#: 505-888-7500 Fax#: E-mail: jjacquez@mecnm.com

Owner: Robert Srell Contact: Freddie Montoya

Address: 120 Morningside Dr. SE Albuquerque, NM 87108

Phone#: 505-268-2321 Fax#: 505-268-2328 E-mail: freddiemontoya@strelldesign.com

Architect: Strell Design Contact: Freddie Montoya

Address: 120 Morningside DR. SE Albuquerque, NM 87108

Phone#: 505-268-2321 Fax#: 505-268-2338 E-mail: freddiemontoya@strelldesign.com

Other Contact: Contact:

Address:

Phone#: Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

x HYDROLOGY/ DRAINAGE
x TRAFFIC/ TRANSPORTATION
___ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

X ENGINEER/ ARCHITECT CERTIFICATION

___ CONCEPTUAL G & D PLAN
___ GRADING PLAN
___ DRAINAGE MASTER PLAN
___ DRAINAGE REPORT
___ CLOMR/LOMR

___ TRAFFIC CIRCULATION LAYOUT (TCL)
___ TRAFFIC IMPACT STUDY (TIS)
___ EROSION & SEDIMENT CONTROL PLAN (ESC)

___ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

___ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY

___ PRELIMINARY PLAT APPROVAL
___ SITE PLAN FOR SUB'D APPROVAL
___ SITE PLAN FOR BLDG. PERMIT APPROVAL
___ FINAL PLAT APPROVAL
___ SIA/ RELEASE OF FINANCIAL GUARANTEE
___ FOUNDATION PERMIT APPROVAL
___ GRADING PERMIT APPROVAL
___ SO 19 APPROVAL
___ PAVING PERMIT APPROVAL
___ GRADING/ PAD CERTIFICATION
___ WORK ORDER APPROVAL
___ CLOMR/LOMR

___ PRE-DESIGN MEETING
___ OTHER (SPECIFY)

RECEIVED OCT 14 2016 LAND DEVELOPMENT SECTION

Paid 450.00

IS THIS A RESUBMITTAL?: ___ Yes X No

DATE SUBMITTED: October 3, 2016 By: Freddie Montoya

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: ___

STRELL DESIGN

LETTER OF TRANSMITTAL

DATE: 10/03/16

TO: Stanice Elliott

COMPANY: City of Albuquerque Planning Deparment Traffic Section

FROM: Freddie Montoya, Architect

PROJECT: Morningside Lofts

BUILDING PERMIT #: T201690020

WE ARE SENDING YOU: (X) Attached () Under separate cover via (Hand deliver) the following items:

() Shop drawings () Product data () Plans () Samples () Specifications
() Copy of letter () Change order ()X Other:

COPIES	DATE	NUMBER	DESCRIPTION
1	10/03/16		TRAFFIC CERTIFICATION
1	10/03/16		DRAINAGE AND TRANSPORTATION INFORMATION SHEET
1	10/03/16		AS-BUILT DRAWING

THESE ARE TRANSMITTED (as checked below):
() For Your Use () No Exception Taken () Make Corrections Noted () Rejected
() For Review & Comment () Revise & Resubmit () For Your Distribution () Resubmit
() As Requested (X) Copies for Approval () Copies for Distribution

Remarks: The only physical change that was made is the layout for the parking at the carports and the location of two concrete patios.

RECEIVED
OCT 04 2016
LAND DEVELOPMENT SECTION

COPY TO: FILE

SIGNED: Freddie Montoya, Architect

STRELL DESIGN

TRAFFIC CERTIFICATION

I, FREDDIE P. MONTOYA, NMRA, OF THE FIRM STRELL DESIGN, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/12/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY FREDDIE P. MONTOYA OF THE FIRM STRELL DESIGN. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/27/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

STATE OF NEW MEXICO
FREDDIE P MONTOYA
NO.2676
REGISTERED ARCHITECT

Signature of Engineer or Architect

10/3/16
Date

RECEIVED
OCT 04 2016
LAND DEVELOPMENT SECTION

120 MORNINGSIDE DRIVE SE, ALBUQUERQUE NM 87108
TEL. 505.268.2321 FAX. 505.268.2328

CITY OF ALBUQUERQUE

October 25, 2016

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE Bldg. F
Albuquerque, NM 87110

Re: Morningside Lofts
3919 Silver Ave SE
Request for Permanent C.O. - Accepted
Engineer's Stamp dated: 8-10-15 (K17D109)
Certification dated: 10-25-16

Dear Mr. Miller,

Based on the Certification received 10/19/2016, the site is acceptable for release of a permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

TE/SB
C: email, Cordova, Camille C.; Connor, Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: MORNINGSIDE LOFTS **Building Permit #:** _____ **City Drainage #:** K17D009

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: LOT 11A & 11B BLOCK 4 MANRATO PLACE CITY OF ALB., BERNALILLO CTY., NM

City Address: 3919 SILVER AVE., SE, ALBUQUERQUE, NM 87108

Engineering Firm: MILLER ENGINEERING CONSULTANTS **Contact:** JOHN JACQUEZ

Address: 3500 COMANCHE NE, BLDG. F, ALBUQUERQUE, NM 87107

Phone#: 888-7500 **Fax#:** 888-3800 **E-mail:** JJACQUEZ@MECNM.COM

Owner: ROBERT STRELL **Contact:** ROBERT STRELL

Address: 120 MORNINGSIDE, ALBUQUERQUE NM 87108

Phone#: 268-2321 **Fax#:** 268-2328 **E-mail:** ROB@STRELLDESIGN.COM

Architect: STRELL DESIGN **Contact:** ROBERT STRELL

Address: 120 MORNINGSIDE, ALB., NM 87108

Phone#: 268-2321 **Fax#:** 268-2328 **E-mail:** ROB@STRELLDESIGN.COM

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

X HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION
____ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

X ENGINEER/ ARCHITECT CERTIFICATION

____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ EROSION & SEDIMENT CONTROL PLAN (ESC)

____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR

____ PRE-DESIGN MEETING
____ OTHER (SPECIFY) _____

RECEIVED
OCT 19 2016
LAND DEVELOPMENT SECTION

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DATE SUBMITTED: 10/19/16 By: _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: ___

Bernadine York

From: Bernadine York
Sent: Wednesday, October 19, 2016 1:01 PM
To: 'plndrs@cabq.gov'
Cc: John Jacquez; Jana Miller
Subject: Morningside Lofts, Strell Design
Attachments: COA Certificate of Occupancy & As-Built20161019_12390964.pdf

Please find attached PDF of the submittal for Certificate of Occupancy for Morningside Lofts. We will submit 2 hardcopies this afternoon.
Thank you.

Dina York
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg. F
Albuquerque, NM 87107
Phone: 505.888.7500
Fax: 505.888.3800
Email: dyork@mecnm.com

RECEIVED
OCT 19 2016
LAND DEVELOPMENT SECTION

CITY OF ALBUQUERQUE

August 20, 2015

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE Bldg. F
Albuquerque, NM 87110

Re: Morningside Lofts
3919 Silver Ave. SE
Grading and Drainage Plan
Engineer's Stamp dated: 8-10-15 (K17D109)

Dear Mr. Miller,

Based upon the information provided in your submittal received 8/19/2015, the above referenced Grading and Drainage Plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

C: RR/SB
email

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: MORNINGSIDE LOFTS Building Permit #: _____ City Drainage #: K17D109

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 11A & 11B BLOCK 4 MANKATO PLACE CITY OF ALB BERNALILLO, NM

City Address: 3919 SILVER AVE SE ALBUQUERQUE NM 87108

Engineering Firm: MILLER ENGINEERING CONSULTANTS Contact: JOHN JACQUES

Address: 3500 COMANCHE NE, BUILDING F ALB, NM 87107

Phone#: 888-7500 Fax#: 888-3800 E-mail: jacques@mecnm.com

Owner: ROBERT STRELL Contact: Robert Strell

Address: 120 MORNINGSIDE ALB NM 87108

Phone#: 268 7321 Fax#: 2687328 E-mail: robert@strelldesign.com

Architect: Strell Design Contact: Robert Strell

Address: 120 MORNINGSIDE

Phone#: 2687321 Fax#: 2687328 E-mail: robert@strelldesign.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ___ DRAINAGE REPORT
- ___ DRAINAGE PLAN 1st SUBMITTAL
- X DRAINAGE PLAN RESUBMITTAL
- ___ CONCEPTUAL G & D PLAN
- ___ GRADING PLAN
- ___ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ___ ENGINEER'S CERT (HYDROLOGY)
- ___ CLOMR/LOMR
- ___ TRAFFIC CIRCULATION LAYOUT (TCL)
- ___ ENGINEER'S CERT (TCL)
- ___ ENGINEER'S CERT (DRB SITE PLAN)
- ___ ENGINEER'S CERT (ESC)
- ___ SO-19
- ___ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ___ SIA/FINANCIAL GUARANTEE RELEASE
- ___ PRELIMINARY PLAT APPROVAL
- ___ S. DEV. PLAN FOR SUB'D APPROVAL
- ___ S. DEV. FOR BLDG. PERMIT APPROVAL
- ___ SECTOR PLAN APPROVAL
- ___ FINAL PLAT APPROVAL
- ___ CERTIFICATE OF OCCUPANCY (PERM)
- ___ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ___ FOUNDATION PERMIT APPROVAL
- X BUILDING PERMIT APPROVAL
- X GRADING PERMIT APPROVAL
- ___ PAVING PERMIT APPROVAL
- ___ WORK ORDER APPROVAL
- ___ GRADING CERTIFICATION
- X SO-19 APPROVAL
- ___ ESC PERMIT APPROVAL
- ___ ESC CERT. ACCEPTANCE
- ___ OTHER (SPECIFY)

RECEIVED AUG 19 2015 LAND DEVELOPMENT SECTION

WAS A PRE-DESIGN CONFERENCE ATTENDED: X Yes ___ No ___ Copy Provided Phone call w/ Vernon Miller

DATE SUBMITTED: 8-19-15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

MILLER ENGINEERING CONSULTANTS
Engineers • Planners

July 29, 2015

City of Albuquerque
Planning Department
Development and Building Services
P.O. Box 1293
Albuquerque, NM 87103

Attn: Shahab Biazar, P.E., City Engineer Albuquerque Planning Department

RE: Morningside Lofts
Engineers Stamp Date 06/25/15 (K17D109)

Dear Mr. Biazar,

This letter is in response to your comments by letter dated July 21, 2015. All of your comments have been addressed as follows:

1. Provide the roof flows. These Flows must pass through the first flush ponds before exiting the site.
   All roof drains are being directed into a proposed water harvest area except for the roof drain just north of the apartments and south of the base course parking area. Due to the steepness of the proposed parking area and the sidewalk a water harvest area is not feasible in that location.

RECEIVED
JUL 29 2015
LAND DEVELOPMENT SECTION

2. Provide the Finish Floor.
   The Finish Floors have been added in larger text on sheet C-101.

3. The sidewalk culvert must extend 2 feet inside the property line.
   The sidewalk culvert has been extended 2 feet inside the property line. See sheet C-101.

4. The first flush pond must stay inside the property line.
   The first flush pond was adjusted to lay within the property line.

5. Sheet C-501 shows a typical pond section with a berm. Where is this berm located? If on the east side of the pond, how will the concrete channels enter the pond?
   The berm has been removed from the detail on sheet C-501. The flows will be able to enter the pond through the concrete channels.

6. Rudy Rael stated in an email that "because of the lots lines this will need to go through DRB".

Attached to this letter is the plat documentation with DRB approval showing this lot line issue has been approved by DRB.

If you have any questions or need any additional information, please feel free to contact our office.

MILLER ENGINEERING CONSULTANTS, INC.

for

Verlyn A. Miller, P.E.
President

VAM:vam
Enclosures

cc: File

CITY OF ALBUQUERQUE

July 21, 2015

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE Bldg. F
Albuquerque, NM 87110

Re: Morningside Lofts
3919 Silver Ave SE
Grading & Drainage Plan
Engineers Stamp Dated: 6/25/15 (K17D109)

Dear Mr. Miller,

Based upon the information provided in your submittal received 6/24/15, the above referenced plan is approved for Site Plan for Building Permit action by the DRB. However before this plan can be accepted by the Hydrology section for building permit the following comments must be addressed,

- Provide the roof flows. These flows must pass through the first flush ponds before exiting the site.
- Provide the Finished Floor.
- The sidewalk culvert must extend 2 feet inside the property line.
- The first flush pond must stay inside the property line.

If you have any questions, you can contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

C: RR/SB
email

PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 01/06)

PROJECT TITLE: MORNINGSIDE LOFTS ZONE MAP/DRG. FILE # K-17-~~Z~~ 109
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 11 BLOCK 4 MANKATO PLACE, CITY OF ALB BernCO, NM
CITY ADDRESS: 3919 SILVER AVE, S.E. ALBUQUERQUE, NM 87108

ENGINEERING FIRM: MILLER ENGINEERING CONS. CONTACT: Verlyn Miller/JOHN JACQUEZ
ADDRESS: 3500 COMANCHE NE, BUILD F. PHONE: 888-7500
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87107

OWNER: ROBERT STRELL CONTACT: 268 2321
ADDRESS: 120 Morningside PHONE: Robert Strell
CITY, STATE: Albuquerque NM ZIP CODE: 87108

ARCHITECT: STRELL DESIGN CONTACT: Robert Strell
ADDRESS: 120 Morningside PHONE: 268-2321
CITY, STATE: Albuquerque NM ZIP CODE: 87107

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

PROFESSIONAL LICENSED SURVEYOR SIGNATURE LICENSE NO. DATE

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
- ____ DRAINAGE REPORT
- X DRAINAGE PLAN 1st SUBMITTAL
- ____ DRAINAGE PLAN RESUBMITTAL
- ____ CONCEPTUAL G & D PLAN
- ____ GRADING PLAN
- ____ EROSION CONTROL PLAN
- ____ ENGINEER'S CERT (HYDROLOGY)
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT
- ____ ENGINEER/ARCHITECT CERT (TCL)
- ____ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
- ____ SIA/FINANCIAL GUARANTEE RELEASE
- ____ PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D APPROVAL
- ____ S. DEV. FOR BLDG. PERMIT APPROVAL
- ____ SECTOR PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- X BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY (PERM)
- ____ CERTIFICATE OF OCCUPANCY (TEMP)
- ____ GRADING PERMIT APPROVAL
- ____ PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- ____ OTHER (SPECIFY)

RECEIVED
JUN 24 2015
LAND DEVELOPMENT SECTION

WAS A PRE-DESIGN CONFERENCE ATTENDED:
- ____ YES
- X NO
- ____ COPY PROVIDED

Verified
$50.00

SUBMITTED BY: _____ DATE: 6/25/15

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

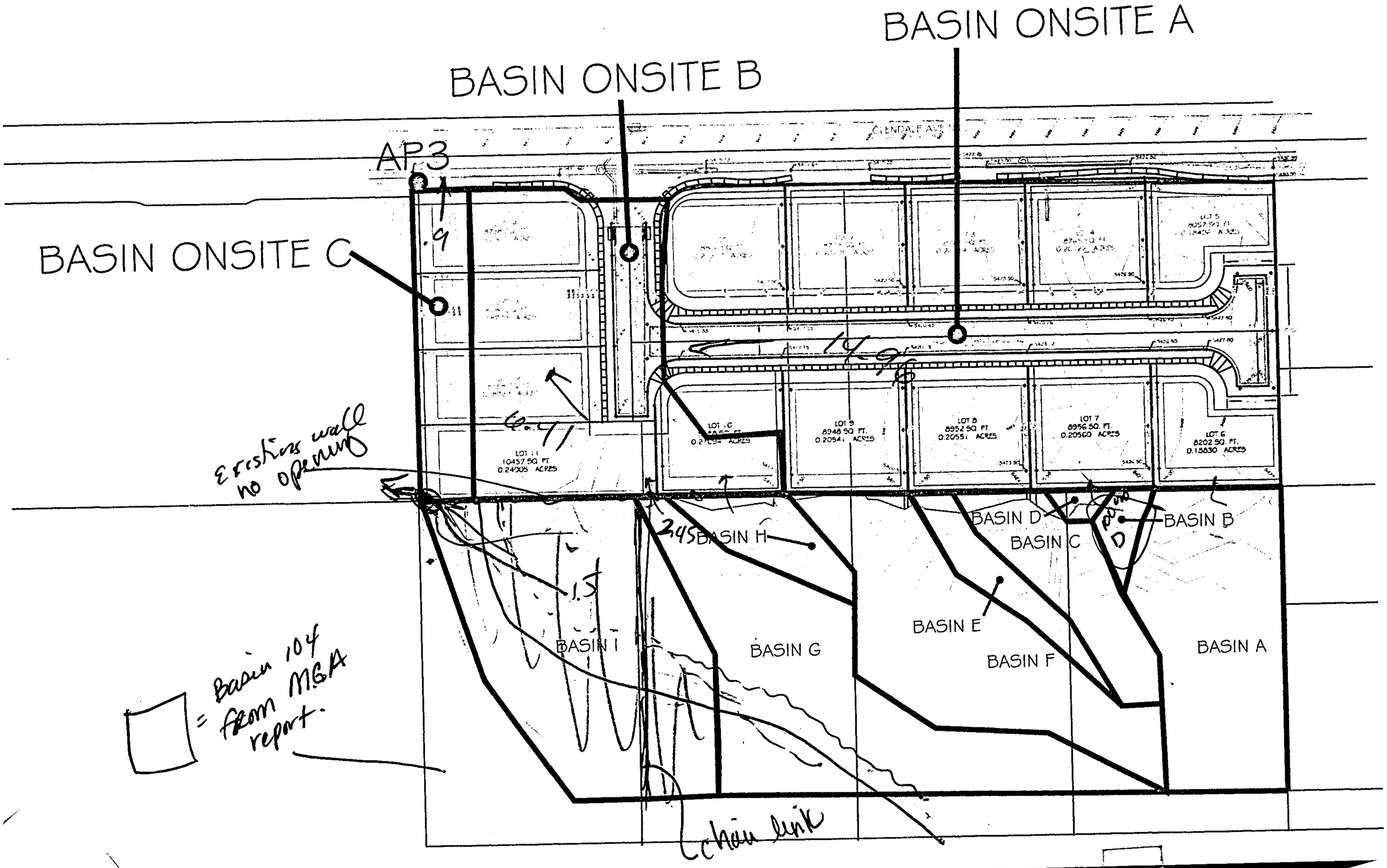
Morningside
FREDDIE Lofts
MONTOUP
268-2321 60-DAM
(C) 203-4135 - Resumé
Anthony

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1008656 **AGENDA ITEM NO: 4**

SUBJECT:	**ENGINEERING COMMENTS:**
Vacation of ROW	Hydrology has no objection if the sidewalk along Glendale Blvd fits in the ROW.
Sidewalk Variance and Waiver	Hydrology defers to Transportation and Planning.
Site Plan for Subdivision Preliminary Plat Approval	An approved drainage report, grading plan and infrastructure list are required. Hydrology forward comments last week. The sidewalk shown on Lot 5 should be in the ROW. The side yard drainage easements should be wider than 5 feet on the lots that receive offsite flows so that if the air conditioner is placed in this area there will still be area for flow. 10' would work. This will affect the setback note on the site plan. The plat should specify the beneficiary and maintenance responsibility of the drainage easement(s). The owner of Lot 14 will be responsible for the maintenance of the sidewalk culvert and whatever is built to convey the flows from Lot 14 to the sidewalk culvert. Who is the beneficiary of the 5 foot drainage easement on lots 1-4 and why is there a drainage easement on the side yard of these lots? Tract A is to be privately maintained with private drainage easements.


BASIN ONSITE A
BASIN ONSITE B
BASIN ONSITE C
AP3
.9
GLENDALE AVE
LOT 11
10457 SQ. FT.
0.24005 ACRES
LOT 10
LOT 9
8948 SQ. FT.
0.20541 ACRES
LOT 8
8952 SQ. FT.
0.20551 ACRES
LOT 7
8956 SQ. FT.
0.20560 ACRES
LOT 6
8202 SQ. FT.
0.15830 ACRES
Existing wall
no opening
2.45
BASIN H
BASIN D
BASIN C
BASIN B
pond D
1.5
BASIN I
BASIN G
BASIN E
BASIN F
BASIN A
= Basin 104
from MGA
report.
chain link

PLAT OF

LOTS 11-A AND 11-B, BLOCK 4
MANKATO PLACE

(BEING A REPLAT OF LOT 11, BLOCK 4, MANKATO PLACE AND PORTIONS OF VACATED MORNINGSIDE DRIVE AND SILVER AVENUE S.E.)

SITUATE WITHIN

SECTION 23, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2015

DOC# 2015031662
04/17/2015 10:47 AM Page: 1 of 3
PLAT R:$25.00 B: 2015C P: 0036 M. Toulouse Oliver, Bernalillo Cour

PROJECT NUMBER: 1010265

Application Number: 15DRB-70038

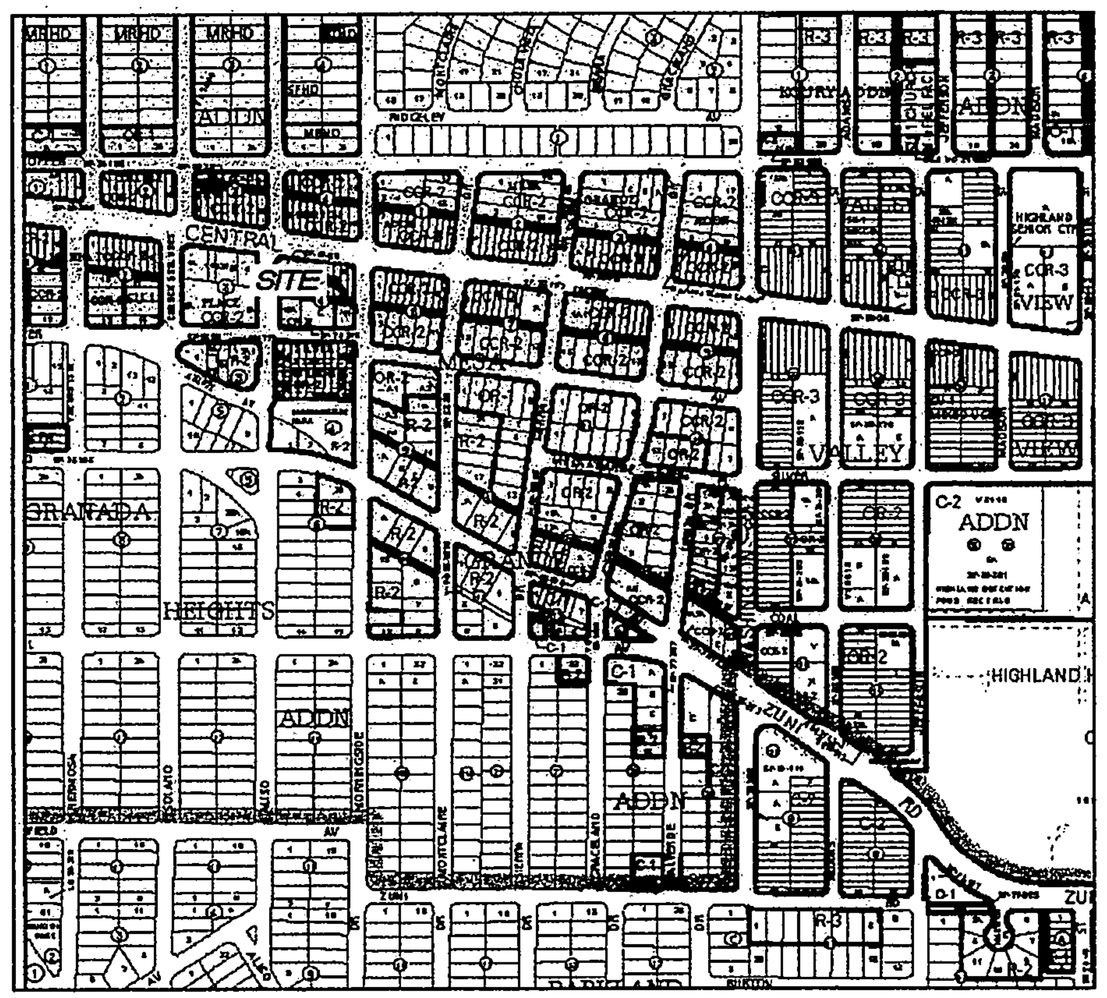
PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico	1-27-15 Date
New Mexico Gas Company	1-27-15 Date
Qwest Corporation d/b/a CenturyLink QC.	1/27/15 Date
Comcast	1/27/15 Date

CITY APPROVALS:

City Surveyor, Department of Municipal Development	1/27/15 Date
Real Property Division	4-17-15 Date
Environmental Health Department	N/A 4-17-15 Date
Traffic Engineering, Transportation Division	3/12/15 Date
ABCWUA	03/04/15 Date
Parks and Recreation Department	3-4-15 Date
AMAFCA	3-4-15 Date
City Engineer	3-4-15 Date
DRB Chairperson, Planning Department	4-17-15 Date



VICINITY MAP

Not to Scale

GENERAL NOTES

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. City of Albuquerque Zone Atlas Page K-17-Z.
8. No Existing Utility Easements appear on the plat of record.
9. The subject property lies within Section 23, Township 10 North, Range 3 East, New Mexico Principal Meridian.

SUBDIVISION DATA

1. Total number of existing Lots: 1
2. Total number of Lots created: 2
3. Gross Subdivision acreage: 0.1329 acres

140774.DWG

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1017-057-127209-33705 (2014 & 2015)
for Strell, Robert E

Bernalillo County Treasurer — Date: 4-17-15

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.

B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

C. Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.

D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

The purpose of this plat is to:

1. Grant the new easements as shown hereon.
2. Combine the portions of vacated right of way for Morningside Drive and Silver Avenue S.E., vacated by 15DRB-70037 into existing Lot 11, Block 4, Mankato Place and divide into new Lots 11-A and 11-B as shown hereon.
3. Dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
January 27, 2015

PROFESSIONAL SURVEYOR — STATE OF NEW MEXICO — No. 9750 — RUSS P. HUGG

SHEET 1 OF 3

SURVTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368
Fax: 505-897-3377

RECEIVED
JUL 29 2015
LAND DEVELOPMENT SECTION

PLAT OF

LOTS 11-A AND 11-B, BLOCK 4
MANKATO PLACE

(BEING A REPLAT OF LOT 11, BLOCK 4, MANKATO PLACE AND PORTIONS OF VACATED MORNINGSIDE DRIVE AND SILVER AVENUE S.E.)

SITUATE WITHIN

SECTION 23, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

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PLAT $125.00 B: 2015C P: 0036 M. Toulouse Oliver, Bernalillo Cour

LEGAL DESCRIPTION

Lot Numbered Eleven (11) in Block Numbered Four (4), of MANKATO PLACE, an Addition to the City of Albuquerque, as the same is shown and designated on the plat entitled "MANKATO PLACE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on August 2, 1929 in Plat Book D1, Folio 64.

TOGETHER WITH:

Vacated portions of Morningside Drive and Silver Avenue SE, vacated by 15DRB-70037, being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane grid bearings, Central Zone (NAD83) and ground distances as follows:

BEGINNING at the Northwest corner of the parcel herein described, (a 1/2" Rebar found in place) said point being the Northwest corner of said Lot 11, Block 4, Mankato Place whence the Albuquerque Control Survey Monument "5-K17A" bears N 68° 16' 53" E, 295.45 feet distant; Thence,

S 82° 26' 05" E, 70.78 feet along the Northerly line of said Lot 11 to the Northeast corner of the parcel herein described (a concrete nail and disc stamped L.S. 11808" set); Thence,

S 00° 01' 07" W, 59.89 feet to a point of curvature (a concrete nail and disc stamped L.S. 11808" set); Thence,

Southwesterly, 31.58 feet on the arc of a curve to the right (said curve having a radius of 20.00 feet, a central angle of 90° 28' 53" and a chord which bears S 45° 15' 33" W, 28.40 feet) to a point of tangency (a concrete nail and disc stamped L.S. 11808" set); Thence,

N 89° 30' 00" W, 50.52 feet to the Southwest corner of the parcel herein described (a concrete nail and disc stamped L.S. 11808" set); Thence,

N 00° 21' 25" E, 87.76 feet along the Westerly line of said Lot 11 to the Northwest corner and point of beginning of the parcel herein described.

Said parcel contains 0.1329 acre, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF LOTS 11-A AND 11-B, BLOCK 4, MANKATO PLACE (BEING A REPLAT OF LOT 11, BLOCK 4, MANKATO PLACE AND PORTIONS OF VACATED MORNINGSIDE DRIVE AND SILVER AVENUE SE) SITUATE WITHIN SECTION 23, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional public right of way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Robert E. Strell

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 29th day of JANUARY, 2015, by Robert E. Strell.

Notary Public

My commission expires OFFICIAL SEAL PAULINE GARCIA Notary Public State of New Mexico My Comm. Expires 2-21-16

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

a. Plat entitled "MANKATO PLACE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on August 2, 1929 in Plat Book D1, Folio 64.

b. Plat entitled "LOTS 1 THROUGH 20, INCLUSIVE SILVER STREET TOWNHOMES", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 14, 2005 in Plat Book 2005C, Page 204.

c. Plat entitled "REPLAT OF LOTS 12, 13 & EAST ½ OF 14 IN BLOCK 4, MANKATO PLACE", filed in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 1978 in Volume B15, Folio 13.

d. Title Commitment prepared by First American Title Insurance Company File No. NM04-473187-AL01 LMO, dated October 26, 2004.

PROFESSIONAL SURVEYOR STATE OF NEW MEXICO No. 9750 RUSS P. HUGG

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JUL 29 2015
LAND DEVELOPMENT SECTION

140.774. DWG

SHEET 2 OF 3

SURVTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

PLAT OF
LOTS 11-A AND 11-B, BLOCK 4
MANKATO PLACE

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JANUARY, 2015

DOCN 2015031662
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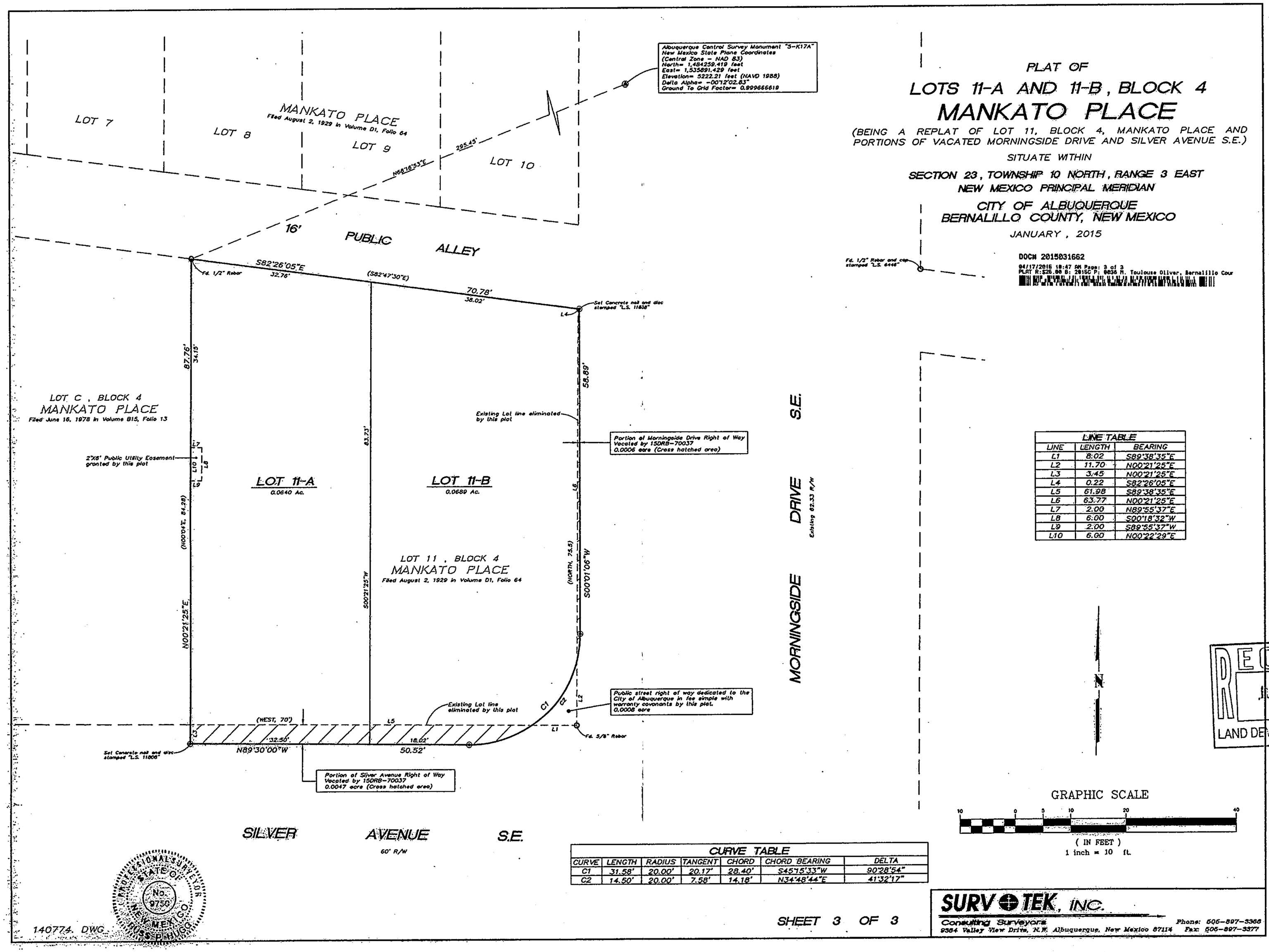
PLAT R:$20.00 B: 2015C P: 0036 M. Toulouse Oliver, Bernalillo Cour



LINE TABLE		
LINE	LENGTH	BEARING
L1	8.02	S89°38'35"E
L2	11.70	N00°21'25"E
L3	3.45	N00°21'25"E
L4	0.22	S82°26'05"E
L5	61.98	S89°38'35"E
L6	63.77	N00°21'25"E
L7	2.00	N89°55'37"E
L8	6.00	S00°18'32"W
L9	2.00	S89°55'37"W
L10	6.00	N00°22'29"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	31.58'	20.00'	20.17'	28.40'	S45°15'33"W	90°28'54"
C2	14.50'	20.00'	7.58'	14.18'	N34°48'44"E	41°32'17"

RECEIVED
JUL 29 2015
LAND DEVELOPMENT SECTION

PROFESSIONAL SURVEYOR
STATE OF NEW MEXICO
No. 9750
MARK D. PATTERSON

140774.DWG

SHEET 3 OF 3

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Consulting Surveyors
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