

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

December 18, 2015

Clint Wilsey Architect, R.A.
66 Architect, LLC
2041 South Plaza St NW
Albuquerque, NM 87104

Re: Advanced Auto Parts, 4910 Central Ave SE
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 06-18-15 (K17-D110)
Certification dated 12-17-15

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 12-17-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\mao via: email
C: CO Clerk, File

Clint Wilsey / 66Architect, LLC
2041 S. Plaza St. NW
Albuquerque, NM 87104
505) 280-0043
clint.wilsey@gmail.com

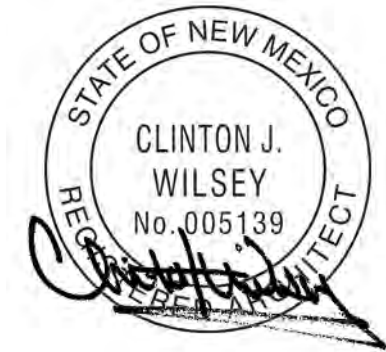
Dec. 17, 2015

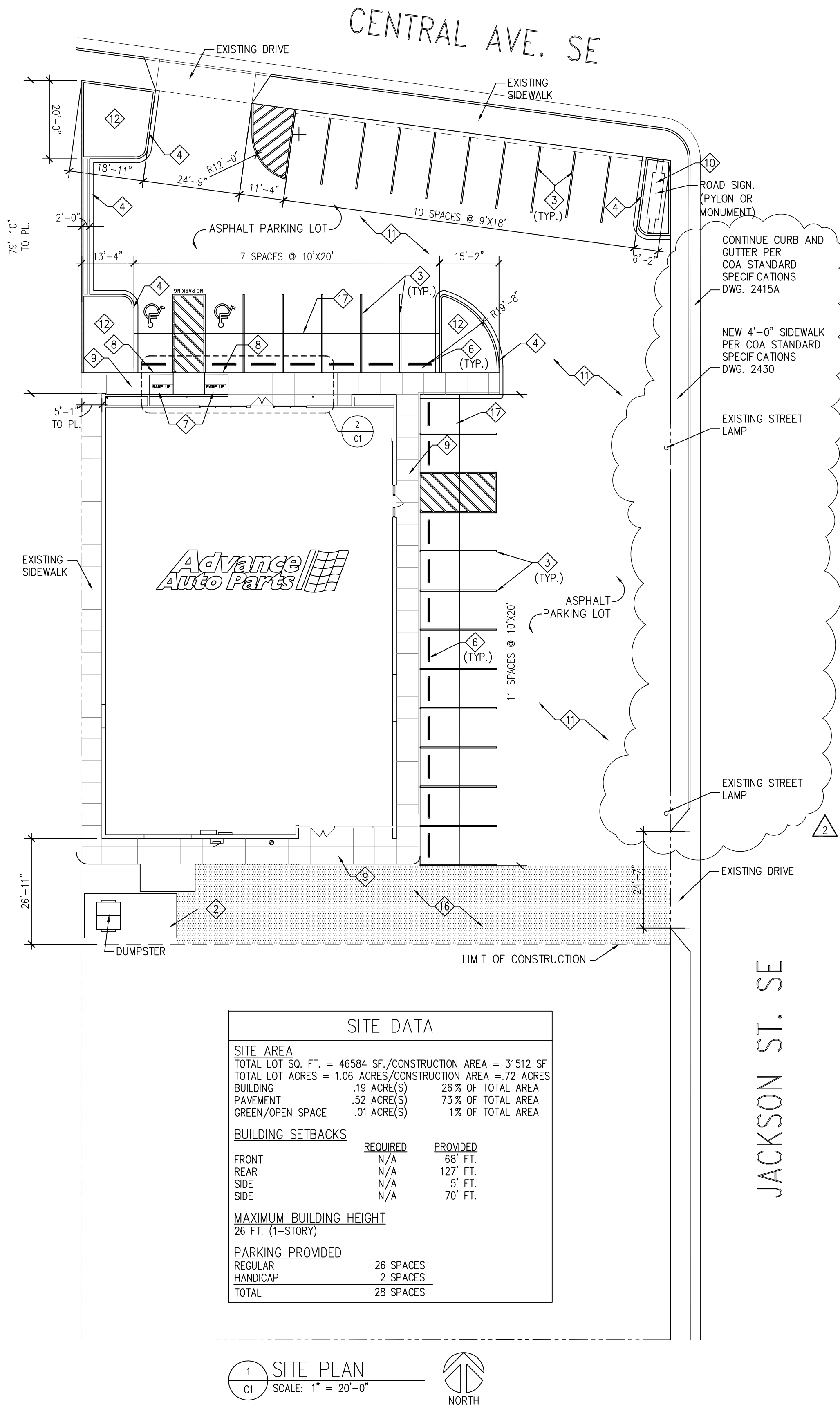
Attn. Raquel Michel:

TRAFFIC CERTIFICATION

I, Clint Wilsey NMRA 005139, of the firm 66Architect, LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent with the TCL and temporary C/O letter requirements dated 10-20-15. The record information edited onto the original design document has been obtained by Clint Wilsey of the firm 66Architect. I further certify that I have personally visited the site on 4910 Central Ave. SE, Albuquerque, NM and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

Clint Wilsey, Architect





SITE ARCHITECTURAL KEY NOTES:

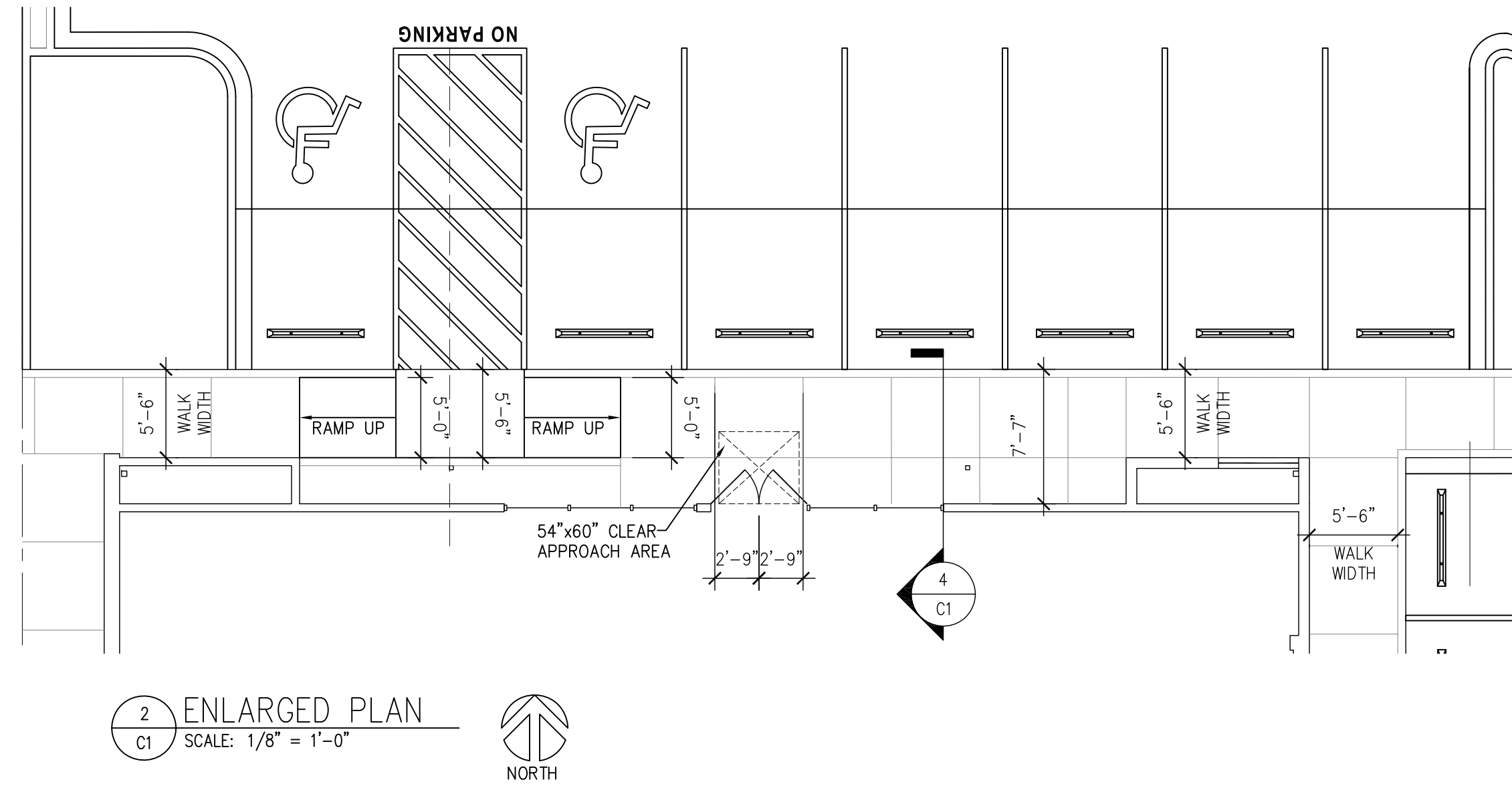
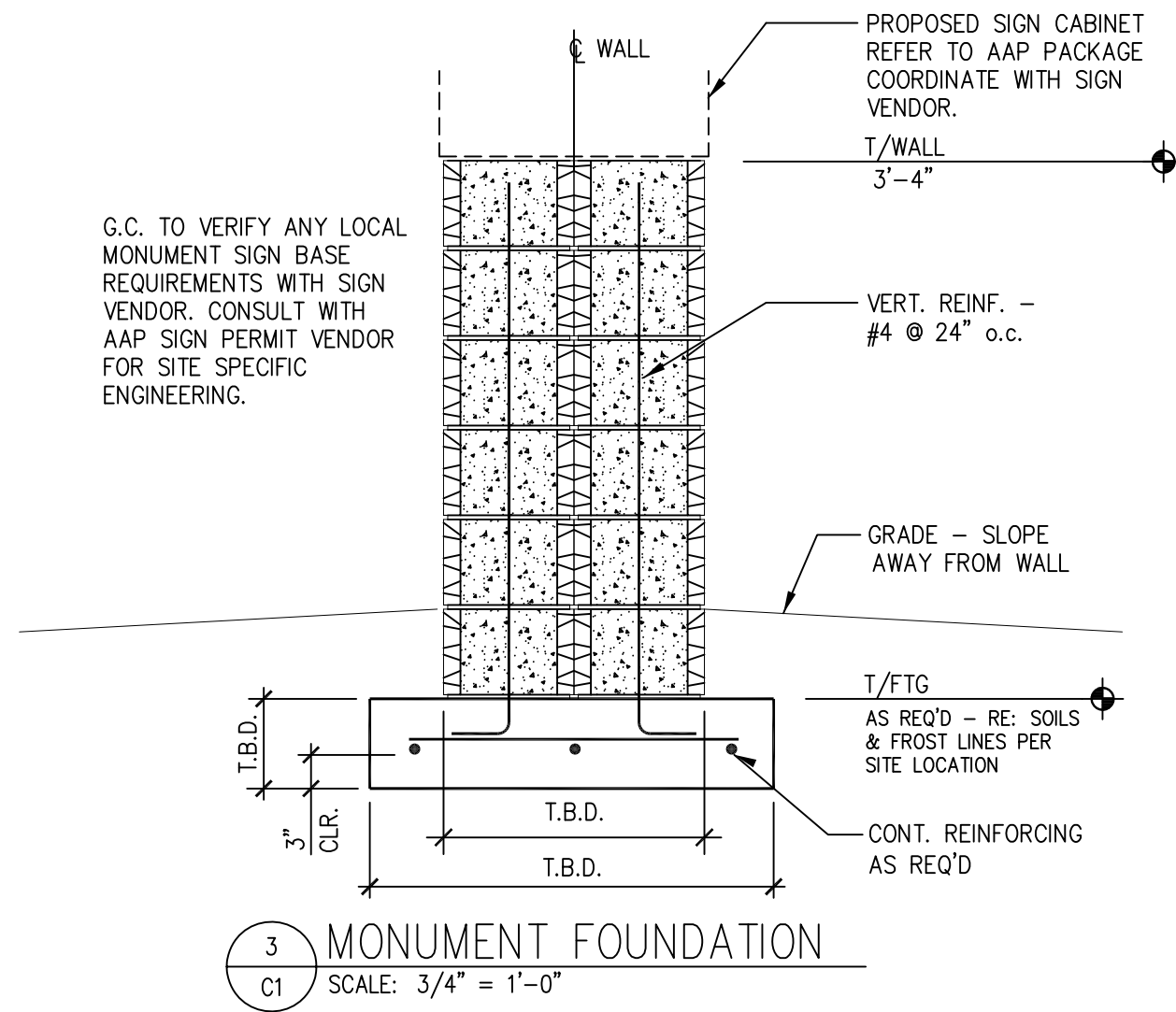
- NOT USED
- INSTALL NEW 6" THICK CONCRETE LOADING PAD OF 4000 PSI BROOM FINISHED CONCRETE W/ 3/4" AGGREGATE W/ 6"x6"x W2.1/2.1 WMM STEEL REINFORCEMENT. SLOPE AWAY FROM BUILDING 1/8" PER FOOT FOR POSITIVE DRAINAGE. REFER TO DETAIL 9/C2.
- ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE WITH TWO (2) COATS OF SHERWIN WILLIAMS "HOTLINE" FAST DRYING TRAFFIC MARKING PAINT. HANDICAP PARKING & HANDICAP SYMBOL TO BE PAINTED COLOR & SIZE AS REQUIRED BY THE GOVERNING ACCESSIBILITY CODE. CONCRETE PAVEMENT PARKING LINES FOR ACCESSIBLE SPACES SHALL BE THE SAME AS ABOVE EXCEPT USE BLUE OR YELLOW PAINT. REFER TO DETAILS 1/C3 AND 2/C3 FOR ADDITIONAL INFORMATION.
- CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. REFER TO DETAIL 3/C2. PROVIDE CATCH & SPILL WHERE APPLICABLE.
- NOT USED
- ANCHOR DOWN CONCRETE WHEEL STOPS 30" FROM FACE OF CONCRETE WALK/SIDEWALK. REFER TO DETAIL 10/C2.
- PROVIDE HANDICAP RAMP WHEN PAVING IS NOT FLUSH WITH ENTRY SIDEWALK PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS. REFER TO DETAILS ON SHEET C3.
- HANDICAP PARKING SIGN FOR SPACES ADJACENT TO BUILDING ENTRANCE. REFER TO DETAIL 5/C3.
- NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AWAY FROM BUILDING 1/8"/FT. FOR POSITIVE DRAINAGE.
- ROAD PYLON SIGN FURNISHED & INSTALLED BY ADVANCE AUTO PARTS- REFER TO SHEET SL1 FOR ELECTRICAL REQUIREMENTS. G.C. IS RESPONSIBLE TO PROVIDE ELECTRICAL. VERIFY LOCATION WITH AAP AND SIGN INSTALLER. -IF MONUMENT SIGN IS REQUIRED, GC TO CONSULT WITH ADVANCE AUTO PARTS' SIGN COORDINATOR AND ARCHITECTURAL DESIGNER FOR DETAILS. GC IS TO PROVIDE AND INSTALL MONUMENT FOUNDATION DESIGNED FOR SITE SPECIFIC SOIL CONDITIONS AND RELATED ELECTRICAL BASED ON ENGINEERING PROVIDED BY SIGN PERMITTING VENDOR. RE: 3/C1
- ASPHALT PAVEMENT. REPAIR, RESURFACE, REPLACE EXISTING ASPHALT AS NEEDED. MAINTAIN EXISTING SITE GRADES, ELEVATIONS & DRAINAGE.
- LANDSCAPING
- CONCRETE CURB, REFER TO DETAIL 7/C2 FOR ADDITIONAL INFORMATION.
- PROVIDE BOLLARDS AT ALL EXTERIOR MOUNTED METERING DEVICES. (GAS, WATER, ELECTRIC) MIN. (2) TWO AS REQUIRED - SEE DETAIL 5/C2.
- NOT USED
- AREA OF HEAVY DUTY ASPHALT PAVEMENT.
- 6" CONCRETE APRON WITH 6" X 6" X 1/8" W.W.F. STEEL REINFORCEMENT. USE 4000 PSI CONCRETE MIX. DO NOT USE SLAG OR FLY ASH FOR CEMENTITIOUS MATERIAL.

LANDSCAPING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING AND IRRIGATION FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SODDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
- IRRIGATION CONTRACTOR SHALL BE EXPERIENCED IN IRRIGATION DESIGN AND INSTALLATION AND SHALL PROVIDE PROOF OF CERTIFICATION AS A "CERTIFIED IRRIGATION CONTRACTOR" ACCORDING TO THE IRRIGATION ASSOCIATION OF AMERICA. CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM INSTALLATION WITH 100% COVERAGE OF DESIGNATED PLANTING AREAS USING HEAD TO HEAD COVERAGE, MINIMIZING POSSIBLE OVERTHROW ONTO NON-POROUS SURFACES. IRRIGATION SYSTEM SHALL BE ZONED AND TIMED AS APPROPRIATE TO MEET PLANT MATERIAL AND LAWN AREA WATERING REQUIREMENTS. TIMER/CONTROL TO BE LOCATED INSIDE BUILDING NEAR ELECTRICAL PANEL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
- IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
- CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0 OR AS APPLICABLE TO THE REGION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF; (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT ADVANCE AUTO PARTS OPENS FOR BUSINESS TO THE PUBLIC. CONTRACTOR TO WARRANTY ALL LANDSCAPING FOR A TOTAL OF 1 YEAR.
- GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS. GRASS (SOD) TO BE LEVEL, ROLLED AND MOWABLE.
- PROVIDE LANDSCAPE PLANS TO ADVANCE AUTO PARTS AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
- ALL LANDSCAPING, TRESS, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF AAP MONUMENT SIGNAGE
- CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
- ALL PLANTING AREAS WITHIN PROPERTY BOUNDARY ARE TO BE WATERED WITH A FULL AUTOMATIC UNDERGROUND SPRINKLE SYSTEM WITH FREEZE GUARD. ALL IRRIGATION COMPONENTS SHALL BE CONTAINED WITHIN THE BOUNDARY OF THE SITE. IRRIGATION TO PLANTING AREAS OUTSIDE OF THE PROPERTY BOUNDARY SHALL ORIGINATE FROM IRRIGATION HEADS WITHIN THE PROPERTY BOUNDARY. CONTRACTOR SHALL RETAIN THE SERVICES OF A LICENSED IRRIGATOR WHO SHALL PROVIDE DETAILED IRRIGATION DRAWINGS WITH SUPPORTING PRESSURE LOSS AND FLOW CALCULATIONS. THESE SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT AS SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
- OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED WITH HARDWOOD ONLY. PINE STRAW OR EQUIVALENT IS NOT AN ACCEPTABLE MULCH.

SITE GENERAL NOTES:

- THE CONTRACTOR IS TO STAKE THE LOCATION OF THE PYLON SIGN AND NOTIFY ADVANCE AUTO PARTS CONSTRUCTION PROJECT MANAGER FOR THE EARLIEST POSSIBLE INSTALLATION DATE.
- PARKING LOT GRADING SHALL NOT EXCEED 5% MAX. CROSS SLOPE.
- PARKING SPACES ARE TO BE 10' X 20' UNLESS OTHERWISE NOTED.
- ALL ABANDONED ENTRANCES/EXITS ARE TO BE REMOVED.
- THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR SETUP AND COSTS OF ALL TEMPORARY UTILITY SERVICES (INCLUDING TEMPORARY POWER) UNTIL THE PROJECT IS TURNED OVER TO AND ACCEPTED BY ADVANCE AUTO PARTS.
- THE CONTRACTOR IS TO PRESSURE WASH ALL PAVED AREAS AND SIDEWALKS THE MORNING PRIOR TO STORE OPENING.
- THE CONTRACTOR SHALL FURNISH AND INSTALL A MAILBOX ON SITE. THE MAILBOX TYPE, LOCATION, AND INSTALLATION SHALL COMPLY WITH THE LOCAL U.S. POST OFFICE REQUIREMENTS. VERIFY REQUIREMENTS PRIOR TO PURCHASE AND ROUGH-IN.
- BASE OF PARKING LOT LIGHT POLES SHALL REMAIN UNPAINTED AND RUBBED SMOOTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SIGNED AND SEALED CERTIFICATION THAT PARKING LOT MEETS REQUIREMENTS SET FORTH IN THE CONSTRUCTION DOCUMENTS.



MONUMENT SIGN GENERAL NOTES:

- G.C. TO COORDINATE WITH SIGN VENDOR AND VERIFY THE SITE SPECIFIC DESIGN OF MONUMENT SIGN & STRUCTURE. IF MUNICIPALITY REQUIRES ARCHITECTURAL BUILDING MATERIALS TO BE IMPLEMENTED THEN THEY SHALL BE PROVIDED BY THE G.C.
- IF REQ'D G.C. TO CONSULT WITH SIGN PERMIT VENDOR TO GET ENGINEERING.
- G.C. TO SUPPLY ALL LABOR AND EXCAVATING EQUIPMENT. G.C. RESPONSIBLE FOR ORDERING AND POURING CONCRETE.
- G.C. RESPONSIBLE FOR MASONRY, GROUTING, REINFORCING, SEALANTS, FLASHING, CLEANING.
- G.C. RESPONSIBLE FOR CALLING ALL NECESSARY INSPECTIONS.
- G.C. TO SECURE & COORDINATE PERMITS FOR SIGN LOCATION.
- G.C. RESPONSIBLE FOR CONTACTING ALL NECESSARY UNDERGROUND LOCATORS.
- G.C. RESPONSIBLE FOR STUBBING ELECTRICAL INTO FOUNDATION PRIOR TO POURING.
- G.C. RESPONSIBLE FOR COORDINATING ANY ADDITIONAL REQUIREMENTS WITH AAP SIGN VENDOR PRIOR TO START OF SIGN CONSTRUCTION.

PERMIT DRAWINGS



Advance Auto Parts
4910 CENTRAL AVE. SE
ALBUQUERQUE, NM 87108
STORE # 107819

REV	DATE	REVISIONS	
		DESCRIPTION	
1	6/12/15	PLAN CHECK REVISION	
2	11/9/15	SIDEWALK SUBMISSION	
3			
4			

DATE	GROSS SQ. FT.
5-22-15	8,282 S.F.

PROJECT # 107819
DRAWN BY: Clint Wilsey
CHECK BY: Clint Wilsey

VERSION 04-14 83x83

ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR CONSENT OF THE DESIGN PROFESSIONAL. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED.



66ARCHITECT, LLC
Clint Wilsey, Architect
clint.wilsey@gmail.com
505 280-0043

SITE PLAN

C1



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND

TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: Advance Auto Parts Building Permit #: 201591371 City Drainage #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: lot 5, block 33, Valley View Addition, UPC#101705743417142702
City Address: 4910 Central Ave. SE Albuquerque NM 87108

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: Advance Auto Parts, Inc. Contact: _____
Address: 5008 Airport Rd. NW, Roanoke VA, 24012
Phone#: _____ Fax#: _____ E-mail: _____

Architect: 66Architect, LLC Contact: Clint Wilsey
Address: 2041 South Plaza St. NW Albuquerque, NM 87104
Phone#: 505-280-0043 Fax#: _____ E-mail: clint.wilsey@gmail.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 12-17-15 By: Clint Wilsey

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, an scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

October 20, 2015

Clint Wilsey
66 Architect, LLC
2041 S. Plaza St., NW
Albuquerque, NM 87104

**Re: Advanced Auto Parts
6-Month Temporary Certificate of Occupancy- Transportation
Development**
Engineer's/Architect's Stamp dated 6-18-15 (K17-D110)
Certification dated 10-13-15

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 10-13-15, Transportation Development has no objection to the issuance of a 6-Month Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 6-Month Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Addition of 4 ft. sidewalk along eastern frontage per COA Standards, along with a bump out around existing power pole.
- Upon completion and submittal for Final CO, Certification date language must state that project is being certified in accordance to approved plan and it's stamp date.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File