

# CITY OF ALBUQUERQUE

*Planning Department*  
David Campbell, Director



*Mayor Timothy M. Keller*

January 9, 2019

Richard Dourte, P.E.  
RHD Engineering, LLC  
4305 Purple Sage Ave NW  
Albuquerque, NM, 87120

**RE: Copper Ave Townhouse**  
**3812 Copper Ave NE**  
**Permanent C.O. – Accepted**  
**Engineer's Stamp Date: 08/15/16**  
**Engineer's Certification Date: 11/27/18**  
**Hydrology File: K17D011**

PO Box 1293

Dear Mr. Dourte:

Albuquerque

Based on the Certification received 01/09/19 and Jason Rodriguez's (C.O.A. Storm Maintenance) approval email on 01/09/19, this certification is approved in support of Permanent Release of Occupancy by Hydrology.

NM 87103

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

**Brissette, Renee C.**

---

**From:** Rodriguez, Jason T.  
**Sent:** Thursday, January 10, 2019 1:43 PM  
**To:** Brissette, Renee C.; 'Richard Dourte'  
**Subject:** RE: Sidewalk culvert for Copper ave town homes

Yes they look fine it's a pass

Jason

---

**From:** Brissette, Renee C.  
**Sent:** Thursday, January 10, 2019 11:24 AM  
**To:** 'Richard Dourte'; Rodriguez, Jason T.  
**Subject:** RE: Sidewalk culvert for Copper ave town homes

Richard,

As long as Jason is happy with it, I'm happy with it. Thanks for the photos.



**RENÉE CHRISTINA BRISSETTE, PE CFM**  
senior engineer, hydrology  
o 505.924.3995  
e [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)  
[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Richard Dourte [<mailto:rhdenigneering@outlook.com>]  
**Sent:** Thursday, January 10, 2019 11:22 AM  
**To:** Brissette, Renee C.; Rodriguez, Jason T.  
**Subject:** FW: Sidewalk culvert for Copper ave town homes

Hello Ms. Brissette, Mr. Rodriguez,

Please find photos of the sidewalk culvert for the site referenced above. It may behoove you to take a look at them in the field...

Please let me know what you think..

Richard Dourte, PE  
RHD Engineering, LLC  
505-288-1621

---

**From:** [5059344908@vzwpix.com](mailto:5059344908@vzwpix.com) [<mailto:5059344908@vzwpix.com>]  
**Sent:** Thursday, January 10, 2019 10:33 AM

To: [rhdenengineering@outlook.com](mailto:rhdenengineering@outlook.com)

Subject:

=====  
This message has been analyzed by Deep Discovery Email Inspector.



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Copper Ave Townhouse **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** K11D111  
**DRB#:** 1010763 **EPC#:** \_\_\_\_\_ **Work Order#:** 787485  
**Legal Description:** Lots 11,12,13 College View Addition  
**City Address:** 3821 Copper Ave NE

**Applicant:** RHD Engineering, LLC **Contact:** Richard Dourte  
**Address:** 4305 Purple Sage Ave. NW, Alb. NM, 87120  
**Phone#:** 505.288.1621 **Fax#:** \_\_\_\_\_ **E-mail:** rhengineering@outlook.com  
**Other Contact:** Rahim Kassam **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** rahim.kassam@gmail.com

**TYPE OF DEVELOPMENT:** 3 PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE \_\_\_\_\_

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes X No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- X ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_ BUILDING PERMIT APPROVAL  
X CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 11-27-18

**By:**

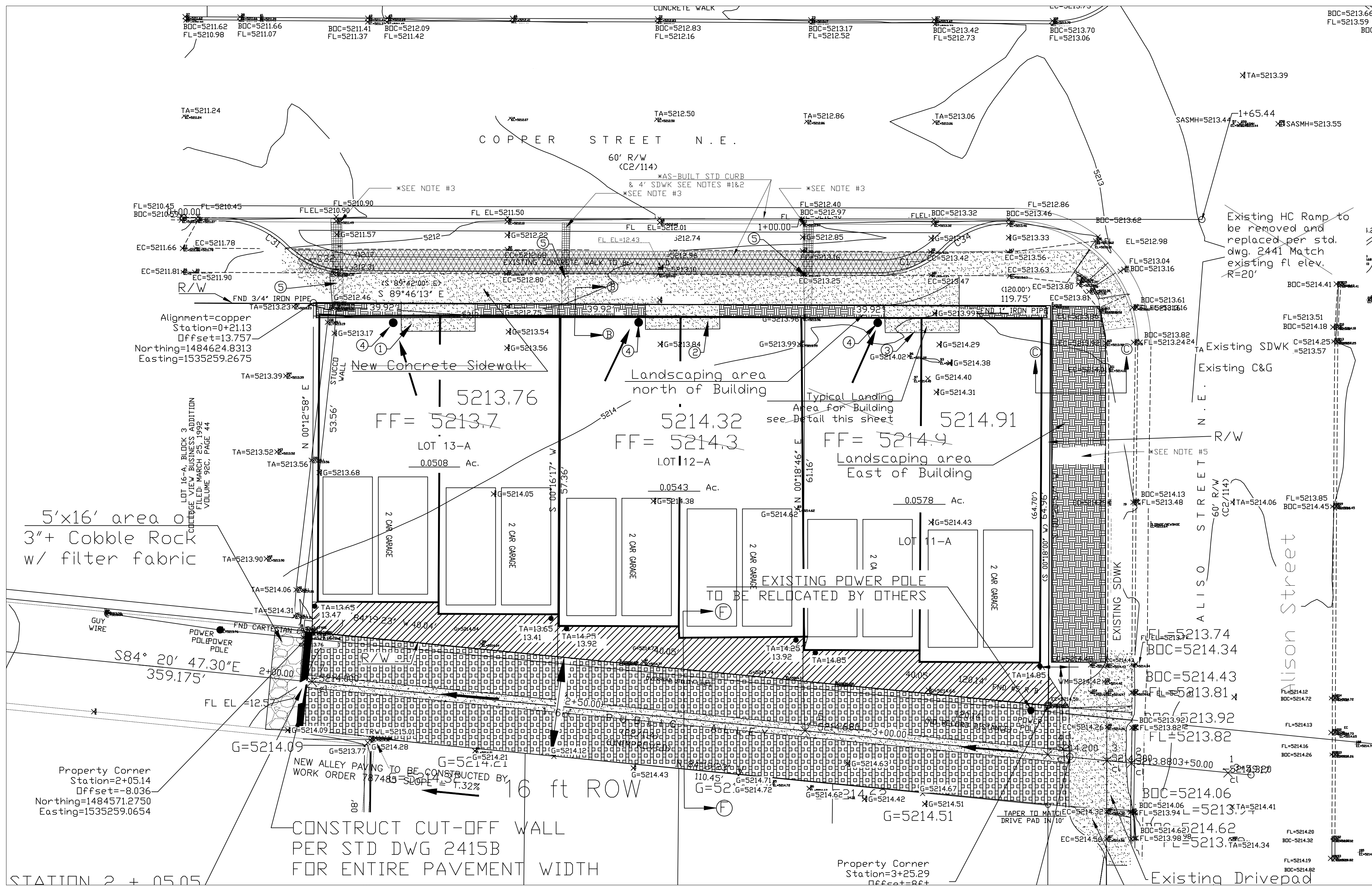
Richard Dourte

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





### EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

### CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

### Keyed notes:

- ① - Building Landing TC=13.10
- ② - Building Landing TC=13.77
- ③ - Building Landing TC=14.35
- ④ - Roof Drains
- ⑤ - Sidewalk culverts, to be built with w.o. 787485



VICINITY MAP:

K-17-Z



FIRM MAP:

35001C0353H

### LEGAL DESCRIPTION:

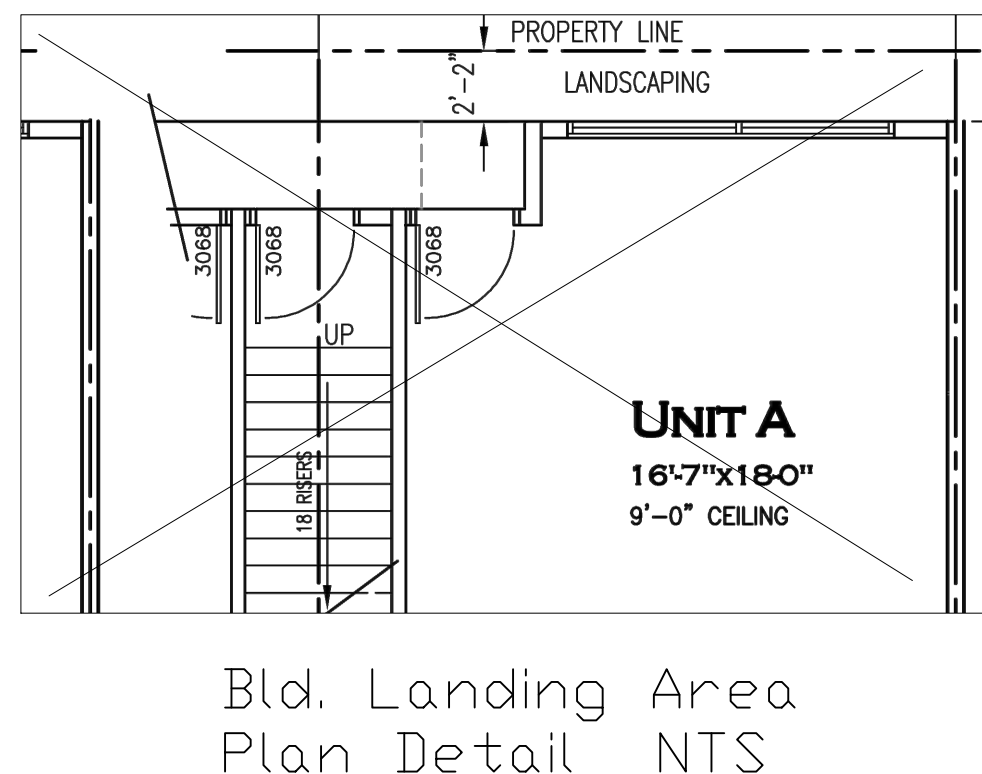
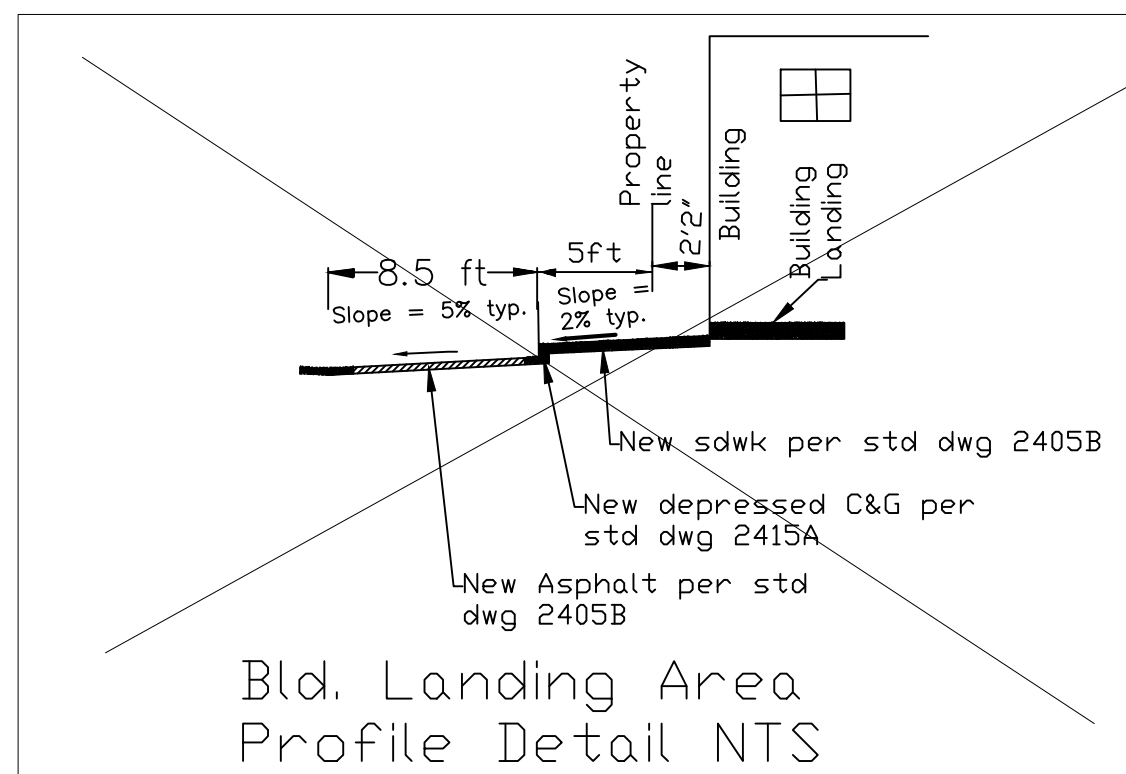
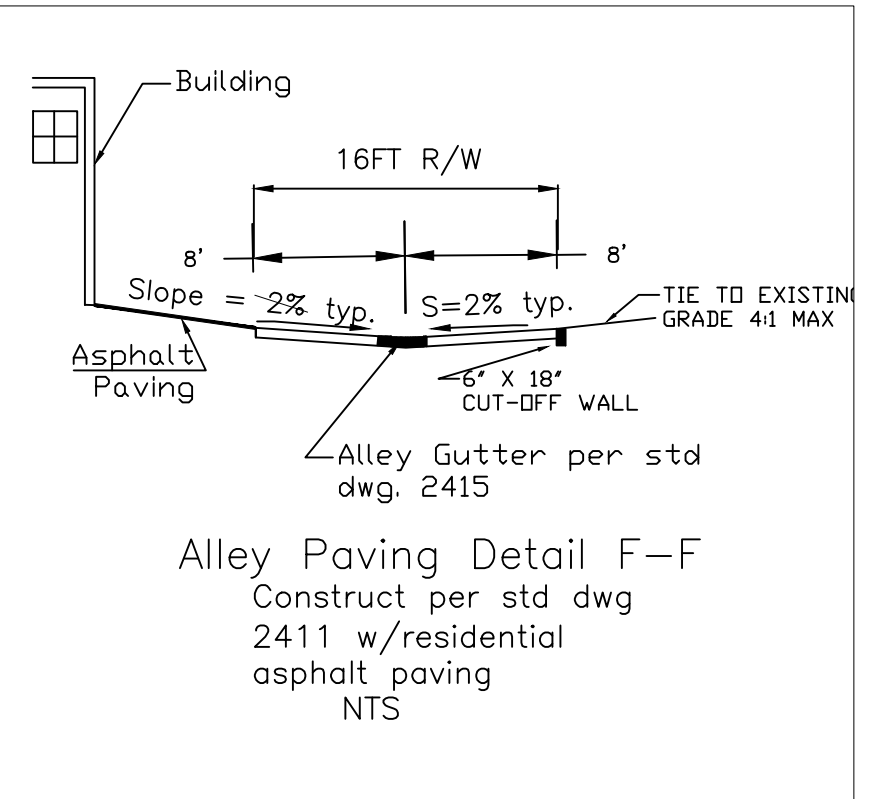
Lots 11, 12 and 13, College View Business Addition  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

### NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

### LEGEND

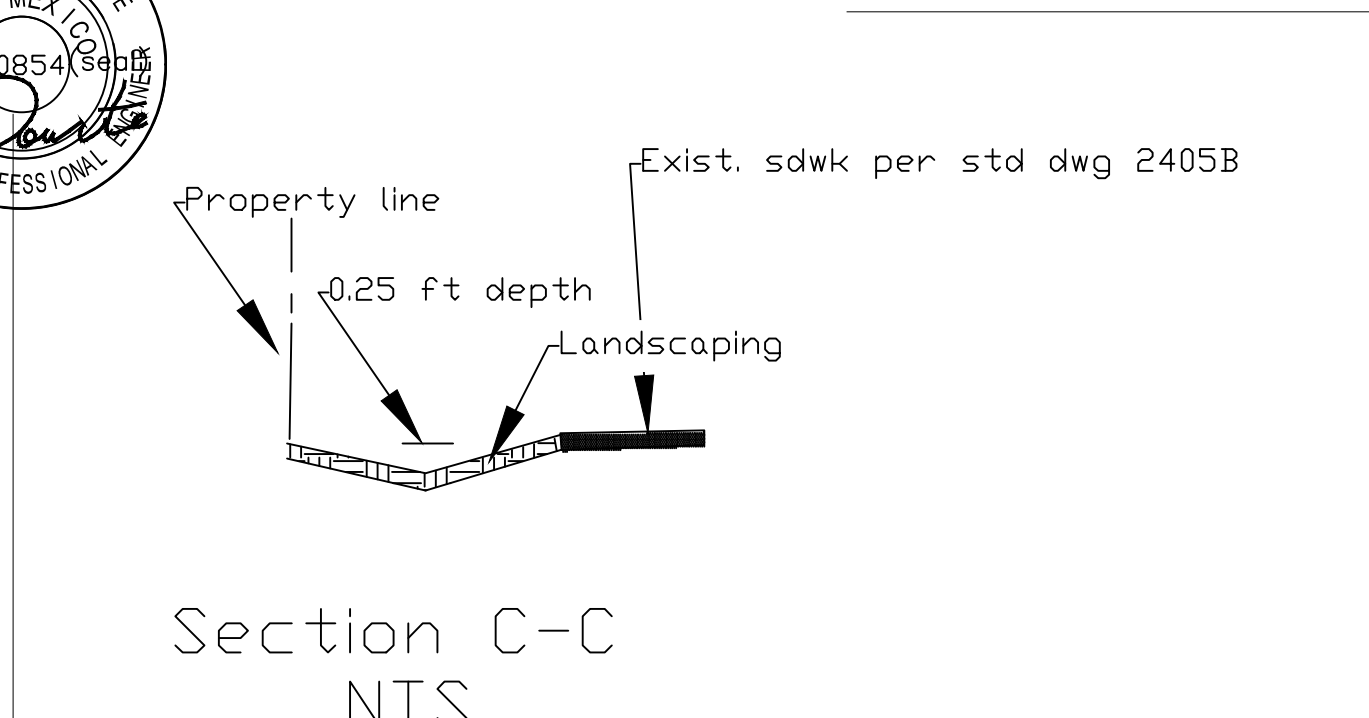
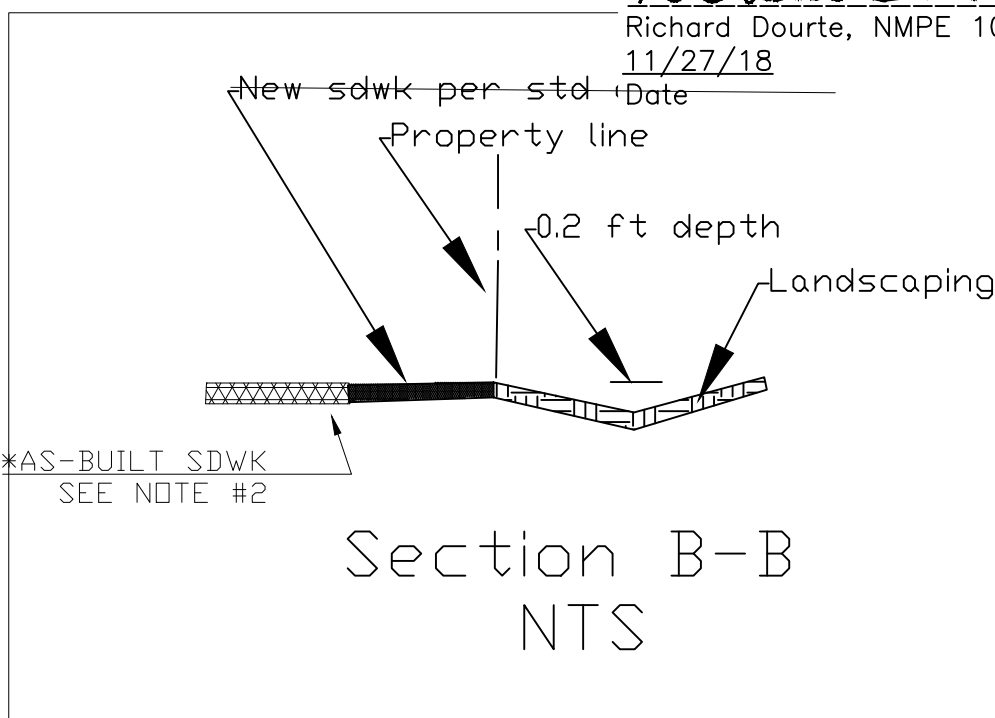
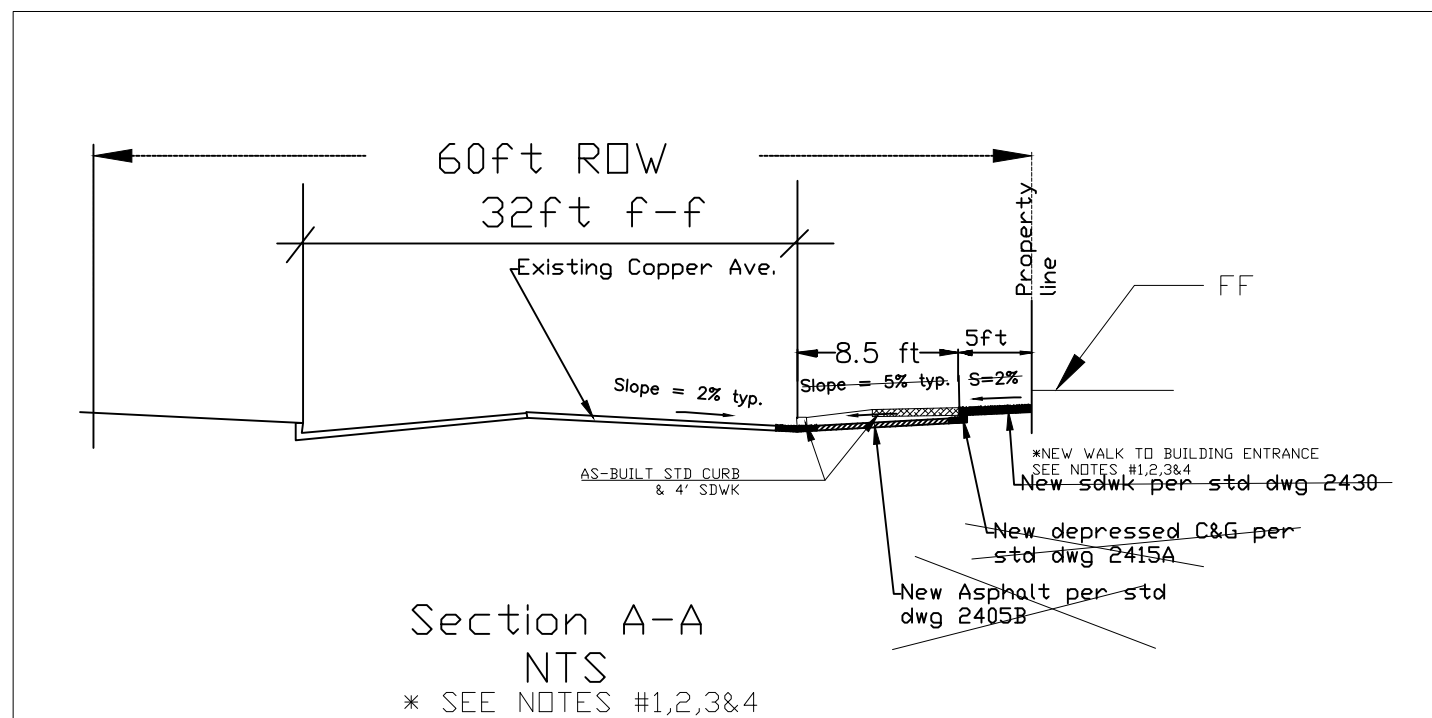
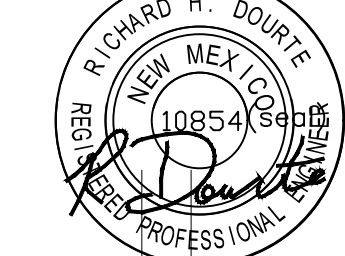
• 46.00	PROPOSED SPOT ELEVATION
TW=44.00 BW=39.00	TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION
— 5601 —	EXISTING CONTOUR
— 5600 —	EXISTING INDEX CONTOUR
— 5601 —	PROPOSED CONTOUR
— 5600 —	PROPOSED INDEX CONTOUR
— — —	LOT LINE
— — —	CENTERLINE
— — —	RIGHT-OF-WAY
— — —	PROPOSED NEW BUILDING
=====	EXISTING CURB AND GUTTER
— — — — —	PROPOSED EDGE OF CONCRETE
← — — — —	PROPOSED FLOWLINE
=====	NEW PAVING, 2" ON 12" PREP. SUBGRADE 95% COMPACTION PER ASTM D-1557
=====	NEW SIDEWALK
=====	NEW ALLEY PAVING
=====	NEW LANDSCAPING



DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR  
I, Richard Dourte, NMPE 10854 OF THE FIRM RHD Engineering, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-15-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTATION HAS BEEN OBTAINED BY TONY HARRIS, NMPS 11463 OF THE FIRM THE SURVEY OFFICE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/01/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF THE REQUEST FOR BUILDING C.O. (DESCRIBE ANY EXCEPTIONS AND /OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH.)  
1. THE PARKING LANE WAS NOT CONSTRUCTED, THE LOCATION OF THE CURB IS THE SAME AS THE PREBUILD LOCATION.  
2. THE SIDEWALK IS NOW LOCATED HORIZONTALLY IN THE SAME LOCATION AS THE PREBUILD LOCATION (APPROX.).  
3. THE SIDEWALK CULVERTS (3) WERE EXTENDED TO THE PREBUILD CURB LOCATION.  
4. NO BUILDING LANDINGS WERE CONSTRUCTED, THESE WERE INCORPORATED INTO THE BUILDING.  
5. A NEW SIDEWALK WAS ADDED FROM NEW DOOR IN THE SIDE OF BLD. TO SIDEWALK.  
6. FOR ALLEY AS-BUILTS SEE AS-BUILTS FOR PROJECT NO. 787485.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENTATION ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Richard Dourte  
Richard Dourte, NMPE 10854  
11/27/18



ENGINEER'S SEAL	Title: Copper Ave Townhouse Condos	DRAWN BY
	GRADING AND DRAINAGE PLAN	DATE
	RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	SHEET #
	Richard Dourte P.E. #10854	3 of 6
		JOB #
		787485