CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

September 23, 2016

Mr. Richard Dourte RHD Engineering LLC 4305 Purple Sage Ave. NW Albuquerque, NM, 87120

RE: Copper Townhomes

Grading & Drainage Plan

Engineer's Stamp Date 8-15-16 (File: K17D111)

Dear Mr. Dourte:

Based upon the information provided in your submittal received 8-16-2016, the above referenced Grading and Drainage Plan is approved for Building Permit with the following conditions:

PO Box 1293

1. The plan continues to lack sufficient information for the Contractor to follow for several elements. However, given the small scale of the project, they can potentially be best addressed in the field. The construction of the private site work should be supervised by you or a representative to ensure that minor field corrections that will likely be needed are fully coordinated to prevent as-built condition issues that could delay the Certification for Occupancy:

Albuquerque

a. A wall appears to be encroaching into the proposed building on Lot 13-A.

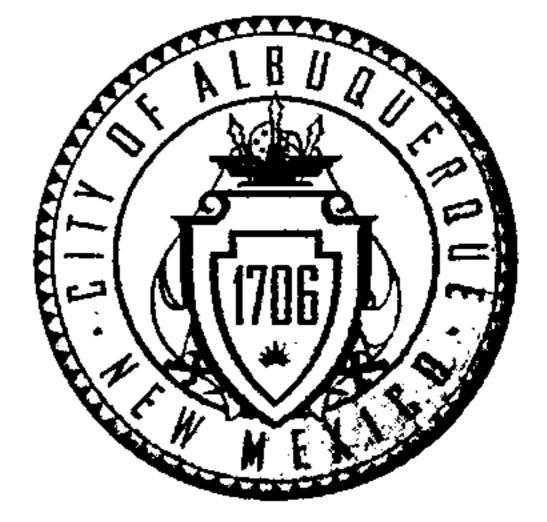
New Mexico 87103

b. There are dimensions shown that are floating on the plan without leader lines (39.92', 120.14', 40.05', etc).

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- c. The building landing notes show a single elevation and it's not clear where it is to be set. Furthermore, consider incorporating a minimum slope to prevent nuisance ponding/ice patching near the building entrance, (the single elevation suggests that it is to be laid flat).
- d. The landscape buffers appear to be shown flat graded along the north face of the buildings; are they intended to drain? The sidewalk culverts have no build notes or dimensions, and they are offset from the apparent roof drain locations.
- e. Disconnected and broken line work implies that the electronic drawing might have issues that the Contractor will need assistance with in the field (if the contractor uses the electronic file for staking).

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

- f. Major elements of the project that are shown to be described in the DRC Set are not properly defined in the DRC Set (these items will need to be corrected on the DRC Set):
 - i. There is little direction for the Contractor on how to lay out the horizontal geometry of the unattached sidewalk, and the dimension of the west tie in appears to be approximately 2.75 feet wide.
 - ii. The way the driveway on Aliso is drawn is not constructible.
 - iii. The edge of pavement to edge of pavement dimension for the alley section is 16 feet. The cut off wall is outside of this dimension along the southern edge, so it will be encroaching into the adjacent property.
 - iv. There is no direction on how to construct the 6" swale in the unimproved segment of the alley (to prevent the contractor from just dropping a blade through the middle of the alley).

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions you can contact me at 924-3986.

Sincerely,

Albuquerque

New Mexico 87103

www.cabq.gov

Abiel Carrillo, P.E.

Principal Engineer, Planning Dept.

Development Review Services

Albuquerque - Making History 1706-2006



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

DRB#: 1010763	·
Lecal Description: Lots 11.12.13 College View Business Addn	
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City Address: 3821 Copper Ave. NE	_
Engineering Firm: RHD Engineering, LLC Contact: - Richard Dourte	
Address: 4305 Purple Sage Ave. NW Alb. NM. 87120	
Phone#:505-288-1621 Fax#: E-mail: rhdengineering@outloc	k.com
Owner: Rahim Kassam Contact:	
Address:	
Phone#: E-mail: rahim.kassam@gmail.co	m
Architect: Address:	
Address: Phone#: E-mail:	
Surveyor: The Survey Office Contact: Gary Maple	
Address: 333 Lomas NE, Alb. NM 87102	
Phone#: 505-998-0303 Fax#: E-mail: maple@thesurveyoffice	- .com
Contractor;	
Address:	
Phone#: E-mail:	
TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:	
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OTHER (SPECIFY) OTHER (SPECIFY)	
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WAS A PRE-DESIGN CONFERENCE ATTENDED: X Yes No X Copy Provided reference the report DATE SUBMITTED: S - 15 - 16 By: F F F F F F F F F	rt

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans

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- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

RHD Engineering, LLC

Richard H. Dourte 4305 Purple Sage Ave. NW Albuquerque, NM 87120 (505)288-1621rhdengineering@outlook.com

August 15, 2016

Mr. Abiel Carrillo, PE Hydrology, Planning Department Development Review Services 600 Second Street City of Albuquerque, NM 87102

RE: Copper Ave. Town House Condos, Drainage Plan (K17D111)

Dear Mr. Carrillo,

Thank you for your email dated August 4, 2016 (enclosed) regarding the above referenced project. The following is in response to your items:

- 1. Lighter hatching of the areas you referenced was incorporated in this plan.
- 2. The areas between the alley and the buildings are to be paved, this is indicated by hatching on the new plan.
- 3. The alley will be paved 16ft, the details including the transition are shown.
- 4. The alley width has been changed to conform to the existing r/w.
- 5. At DRC, it was determined that concrete edging was not needed on the north side of the alley.
- 6. A cut-off wall has been added.
- 7. Roof drains have been added to the plans, please see keyed note #4, sidewalk culverts have been added, please see note #5.
- 8. A details showing the sidewalk and 2% cross slope to the landing for the building entrances has been added to the plan.

9. Finish top of concrete elevations for the building landing areas have been added, yes stairs are to be incorporated. The stairs are on private property, the doors open into the building, not into the public sidewalk, please see the detail that has been included on this plan.

10. The 5% cross slope has been reviewed by Transportation at a DRC predesign-meeting.

11. This sidewalk transition will be reviewed by Transportation at DRC.

18 50,0

LAND DEVELOPMENT SECTION !

- 12. The alley construction and the improvements within Copper ave. are to be done by work order, City Project no. 787485.
- 13. The detail for the street x-section now includes the 2% slope being shown for the sidewalk.

If you have any questions, please feel free to call me at 288-1621.

Thank you..

Sincerely,

Richard Dourte, PE

RHD Engineering, LLC

Abiel Carrillo to Richard Dourte cc Racquel Michel

Copper Ave Townhomes - K17D111

Richard,

This email is being sent in lieu of a formal attached letter to help expedite the review of initial submittals. Response to comments should continue to be included in the resubmittal. A reply to this email will not be considered a resubmittal.

Based on the information provided in your submittal received 7-12-2016, the above-referenced grading and drainage plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Provide a lighter hatching for the landscaping and paved alley areas, the pen weight of those areas make the text underneath illegible to the contractor.
- 2. Provide additional detail of the surface/section proposed between the buildings and the alley. The TA elevations suggest asphalt, but it should be clarified, and the asphalt should be placed over a prepared base.
- 3. Show how the paved alley transitions from the full section 18' to the width of the driveway (i.e. how the edge curbing ties in to the driveway).
- 4. The section for the paved alley shows a width of 18', but the hatching on the plan view and the apparent property line make it seem like the 18' paved width doesn't fit in the right of way.
- 5. The alley section should include concrete edging on both sides of the road per the standard drawing.
- 6. Call out a cut off wall at the west end of the alley pavement section.
- 7. Show the location of roof flow discharge points. Roof flows are not allowed to discharge onto the surface of the sidewalk.
- 8. Show spot elevations to support the maximum 2% cross slope that is allowed along the sidewalk.
- 9. Show spot elevations around the concrete pads on the north side of the building.
 - a. Are stairs needed to access the building?

- 10. The parking aisle is shown with a 5% cross slope. Coordinate with Transportation Development because it appears to be too steep.
- 11. The sidewalk at the NE corner tie-in should provide a better horizontal transition to the wheelchair ramp. Furthermore, the width of the existing sidewalk should be coordinated with Transportation Development, since it is currently only 4' wide.
- 12. How are the right of way improvements to be completed? Mini Work Order? Work Order?
- 13. Minor comment: The plan references the standard drawings, but graphically the details should emphasize the max 2% cross slope on the sidewalk. Unfortunately we have seen some contractors point to the detail to excuse incorrect construction of the sidewalk.

Any question just let me know.

Abiel Carrillo, PE, CFM

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102

Carrillo, Abiel X.

From: Carrillo, Abiel X.

Sent: Thursday, August 04, 2016 8:44 AM

To: 'Richard Dourte'

Cc: Michel, Racquel M.

Subject: Copper Ave Townhomes - K17D111

Richard,

This email is being sent in lieu of a formal attached letter to help expedite the review of initial submittals. Response to comments should continue to be included in the resubmittal. A reply to this email will not be considered a resubmittal.

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Any question just let me know.

•

Abiel Carrillo, PE, CFM

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

KI7DII

Project Title: Copper. Ave Townhouse Condos	Building Permit #:_	City Drainage #: 151-171-1
DRB#: 1010763 EPC#:		Work Order#: 787485
Legal Description: Lots 11,12,13 College Vie	w Business Addn	
City Address: 3821 Copper Ave. NE		
Engineering Firm: RHD Engineering, LLC		Contact: - Richard Dourte
Address: 4305 Purple Sage Ave. NW Alb	NM. 87120	
Phone#:505-288-1621 Fax#:		E-mail: rhdengineering@outlook.com
Owner: Rahim Kassam		Contact:
Address:		······································
Phone#: Fax#:		E-mail: rahim.kassam@qmail.com
Architect:		Contact:
Address:		
Phone#: Fax#:		E-mail:
Surveyor: The Survey Office		Contact: Gary Maple
Address: 333 Lomas NE, Alb. NM 87102		
Phone#: 505-998-0303 Fax#:	<u></u>	E-mail: maple@thesurveyoffice.com
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
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DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPI	
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SO-19	WORK ORDER APPROVAL	
OTHER (SPECIFY)	GRADING CERTIFICATION	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	x Yes No x Co	opy Provided reference the report
DATE SUBMITTED: 7 12 - 16	By: Ducke	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, ark scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

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- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Drainage Report

For

Copper Ave. Town Houses
Albuquerque, New Mexico
City Drainage Project no. K17/D111

Prepared by

RHD Engineering, LLC Albuquerque, New Mexico

July 2016



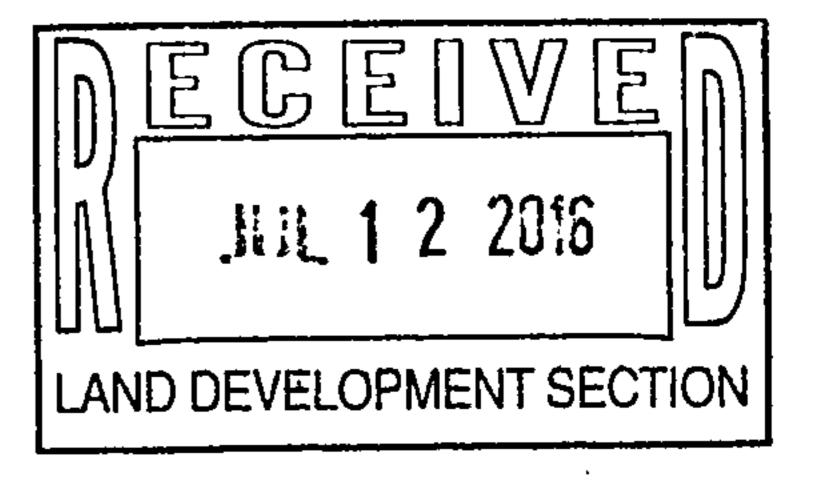


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Introduction page 3
Existing Conditions page 3
Vicinity Map page 4
Proposed Conditions page 5
Summary page 5
Appendix
Site Hydrology/hydraulic Calculations Appendix A
Site Grading and Grading Plan

Introduction:

This site received "Conceptual Drainage Plan" approval on July 7, 2016 by Mr. Abiel Carrillo, PE (copy of letter attached). This report includes the information disclosed on the approved conceptual plan as noted.

The new information is identified with ** for clarity.

(Per the approved Conceptual Drainage Plan)

The legal description for this site is lots 11-A, 12-A, 13-A of the College View Business Addition. These lots are located on the southwest corner of Copper ave and Aliso dr. The entire site is 0.1628 acres in size. This site is located in a zone x flood zone, (FM35001C0353H) however Copper ave does contain a flood zone, the flood zone is contained within the street. Three townhouses with four units is proposed to be constructed on this site.

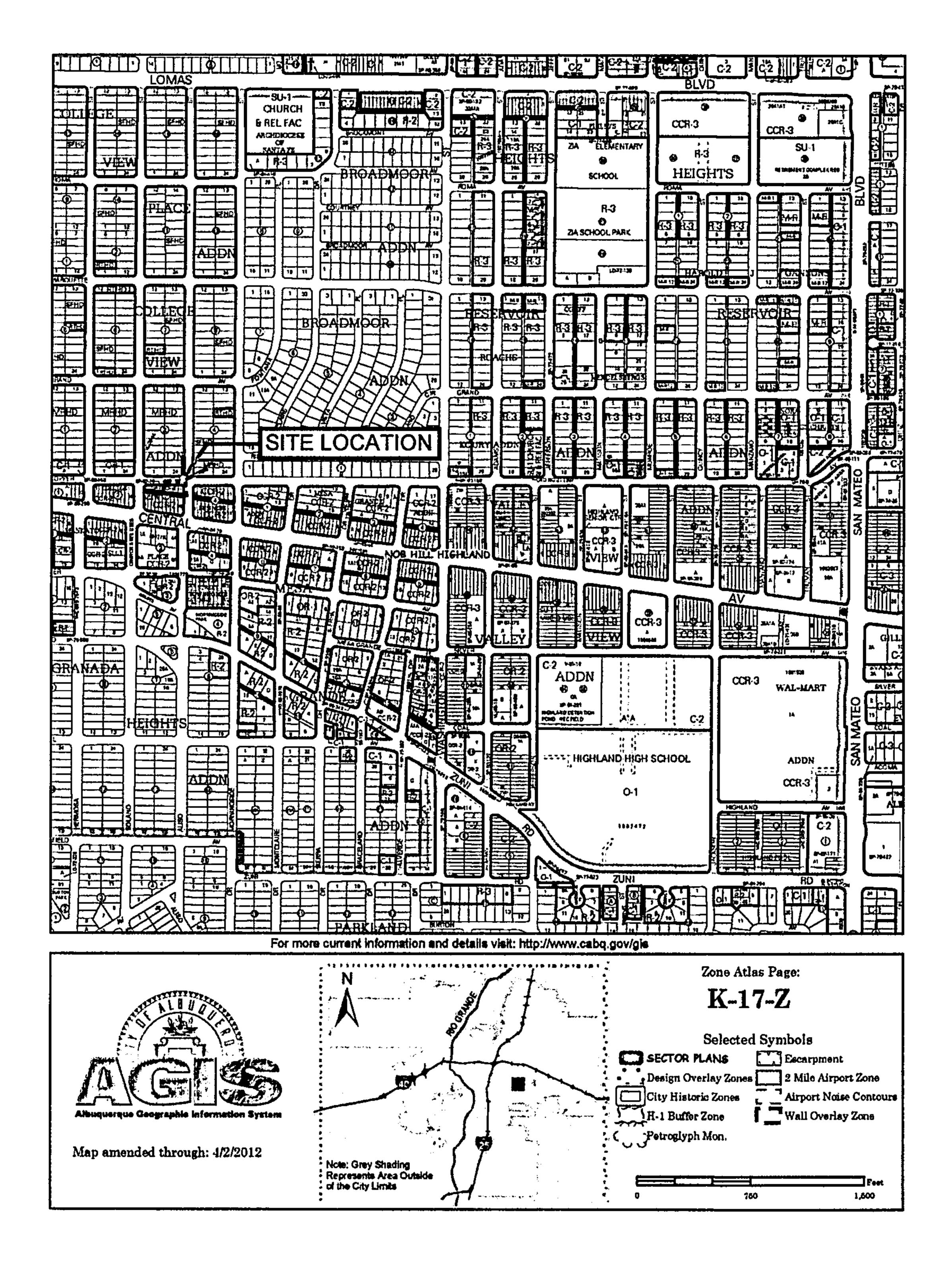
A predesign meeting with Mr. Carrillo was held to discuss the drainage pattern for this site:

- 1- The site was to drain to Copper ave.
- 2- The landscaping area to the east of this site was to contain the 100 yr, 6hr event.
- 3- This site is mostly building, complying with the Nob Hill Sector Plan. These buildings will need to drain to the north. The small landscaping area to the north will pond some of the first flush flows to the extent practical. This landscaping area will create non-continuous drainage for developed storm water.

Existing Conditions:

(Per the approved Conceptual Drainage Plan)

Presently, this site is hard packed earth and flows in a south westerly direction.



Proposed Conditions:

(Per the approved Conceptual Drainage Plan)

The proposed conditions are to comply with the issues discussed at the predesign meeting with Mr. Carrillo, as follows:

- 1- The site was to drain to Copper ave.
- 2- The landscaping area to the east of this site was to contain the 100 yr, 6hr event.
- 3- This site is mostly building, complying with the Nob Hill Sector Plan. These buildings will need to drain to the north. The small landscaping area to the north will pond some of the first flush flows to the extent practical. This landscaping area will create non-continious drainage for developed storm water.

** Alley Drainage and improvements.

The north side of the 3 buildings will drain toward the alley. The slope of the alley is moderate at 1.32%. The alley will be paved with a cutoff wall on the west end and connect to the existing drive pad on Alison ave.

Summary:

(Per the approved Conceptual Drainage Plan)

The additional flows generated by this site is only 0.74 cfs - 0.51 cfs = 0.23 cfs, and only 1204 cf - 668 cf = 536 cf for the 100 yr, 6hr rain fall event.

** The developed flows in the alley are 0.30 cfs, depth is approximately 0.075ft and the flow velocity is moderate at 1.1ft/sec, thus no energy dissipation is anticipate to the required at the down stream end of the alley. The alley down stream does appear to have been graveled in the past, this should help stabilize the alley west of the proposed paved section.

APPENDIX A

Drainage Calculations for Site

Zone 2 (100yr, 6hr)

Land Treatment	Peak discharge	Excess Precipitation
Type A -	1.56 cfs/ac	0.53 inches
Type B -	2.28 cfs/ac	0.78 inches
Type C -	3.14 cfs/ac	1.13 inches
Type D -	4.70 cfs/ac	2.12 inches

Existing Conditions for Site

Type C 0.1628ac = 7,092sf

Peak Flow generated

0.1628 ac x 3.14 cfs/ac = 0.51 cfs

Excess Precipitation

7,092sf x 1.13 in/12 = 668 cf

Proposed Conditions for site

(Per the approved Conceptual Drainage Plan)

Peak Flow generated

0.1530 ac x 4.70 cfs = .72 cfs 0.0098 ac x 2.28 cfs = .02 cfsTotal = .74 cfs

Excess Precipitation

6665 sf x 2.12 in/12 = 1,177 cf 427 sf x .78 in/12 = 27 cfTotal = 1,204 cf

The Landscaping area on East side of building:

Area = 590sfVolume needed to be retained $590sf \times 1.13in/12 = 56cf$

Capacity for the area east of building Area = 55ft x 10ft = 550sf Depth = 0.25ft Volume = 550sf x 0.25ft/2 = 69cf

Thus the capacity is greater than the volume required.

The Landscaping area on North side of building:

Area = 254sfDepth = 0.2ftVolume = 254sf 0.2sf/2 = 25.4cf

** Landscaping area on the North side of the building:

This area will be reduced due to the landings for the door ways into the buildings.

Each landing is approximately 12ft wide, the entire length is 120 ft, thus the volume of the pond will be reduced by (3x12)/120=0.3,

The Volume will be 17.8cf

** Alley drainage

The developed flows generated by the alley and the area south of the buildings is 2770sf. These flows will go west toward the terminus of the alley paving.

Flows generated are:

 $4.70cfs/ac \times (2770sf/43560sf/ac) = 0.30cfs$

Depth of flow in the alley is:

 $Q=(1.49/n)x(A) x(R)^2/3 x S^1/2$

n=.017 S=.0132 ft/ft R= A/P A= area Q=0.30cfs

For a depth of 0.075 ft, A=1/2((.075/.02)x2)x0.075 = 0.281 sf R=0.281/7.5 = 0.0375 $Q=(1.49/.017)x(0.281)x(0.0375)^2/3 x(0.0132)^1/2$

Q=0.31cfs thus the velocity is Q/A=0.31/.281=1.1ft/sec

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT - Development Review Services



Richard J. Berry, Mayor

July 7, 2016

Mr. Richard Dourte RHD Engineering LLC 4305 Purple Sage Ave. NW Albuquerque, NM, 87120

RE:

Copper Ave Townhomes
Grading & Drainage Plan
Engineer's Stamp Date 5-26-16 (File:K17D111)

Dear Mr. Dourte:

Based upon the information provided in your submittal received 5-26-2016, the above referenced Grading and Drainage Plan is conceptually approved for Development Review Board action for Platting action (lot line adjustments).

PO Box 1293

Please be aware that the approval for Grading/Building Permit will require a separate submittal with the additional detail that would be expected on a construction grading plan.

Albuquerque

If you have any questions you can contact me at 924-3986.

New Mexico 87103

www.cabq.gov

Abiel Carrillo, P.E.

Sincerely

Principal Engineer, Planning Dept. Development Review Services

Orig: Drainage file

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT - Development Review Services



Richard J. Berry, Mayor

July 7, 2016

Mr. Richard Dourte RHD Engineering LLC 4305 Purple Sage Ave. NW Albuquerque, NM, 87120

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Copper Ave Townhomes
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Albuquerque

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New Mexico 87103

Abiel Carrillo, P.E.

Sincerely

www.cabq.gov

Principal Engineer, Planning Dept. Development Review Services

Orig: Drainage file

DR4B 1010763



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Copper. Ave Townhouse Condos	Building Permit #: City Drainage #: KID []
DRB#:	Work Order#
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City Address: 3821 Copper Ave. NE	
Engine and Diverse Diverse T. C.	
Engineering Firm: RHD Engineering, LLC	Contact: - Richard Dourte
Address: 4305 Purple Sage Ave NW Alb. N	
Phone#:505-288-1621 Fax#:	E-mail: rhdengineering@outlook.com
Owner: Rahim Kassam	Contact:
Address:	
Phone#: Fax#:	E-mail: rahim.kassam@gmail.com
Architect:	
Address:	Contact:
Phone#:	E
Taxii.	E-mail:
Surveyor: The Survey Office	Contact: Gary Maple
Address: 333 Lomas NE, Alb. NM 87102	
Phone#: 505-998-0303 Fax#:	E-mail: maple@thesurveyoffice.com
Contractor;	Contact:
Address:	COllidol.
Phone#: Fax#:	E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
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OTHER (SPECIFY)	WORK ORDER APPROVAL SEC CERT. ACCEPTANCE ORADING CERTIFICATION SOTHER (SPECIFY) DRB P147
WAS A PRE-DESIGN CONFERENCE ATTENDED: x	Yes No x Copy Provided reference the report
DATE SUBMITTED: -5-26-16 By:	

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- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Drainage Report

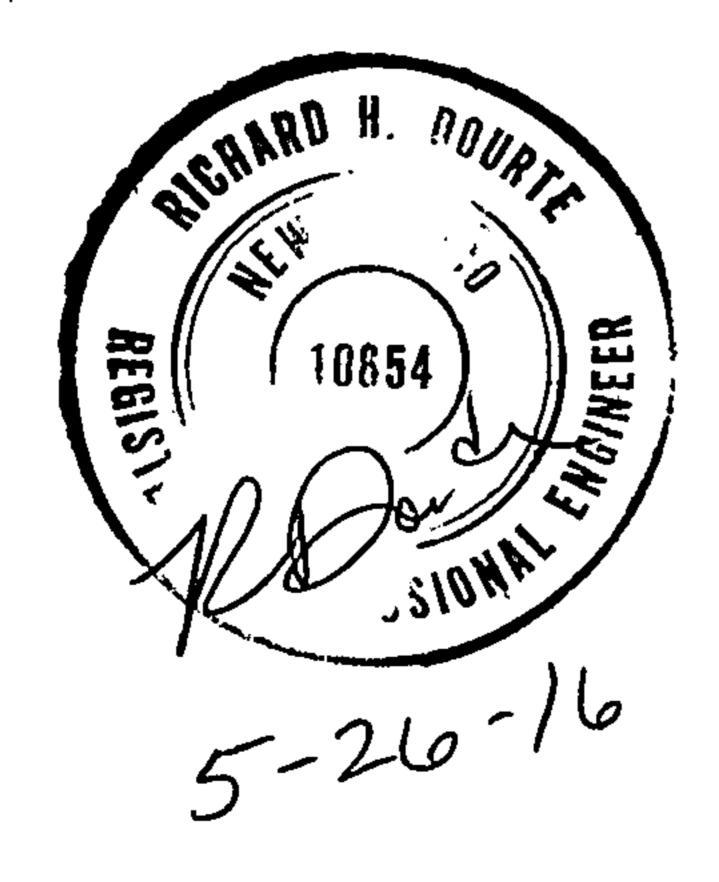
For

Copper Ave. Town Houses Albuquerque, New Mexico

Prepared by

RHD Engineering, LLC Albuquerque, New Mexico

May 2016



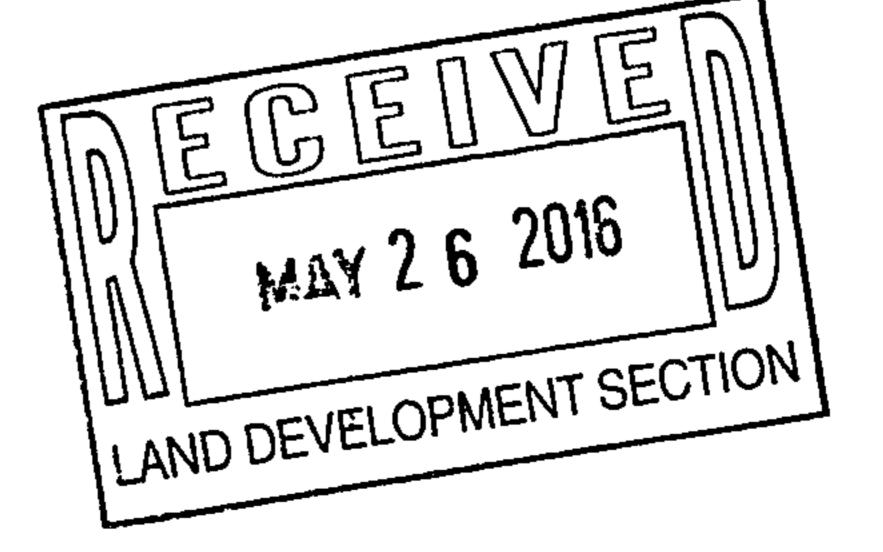


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Site Hydrology/hydraulic Calculations
Site Grading and Grading Plan

Introduction:

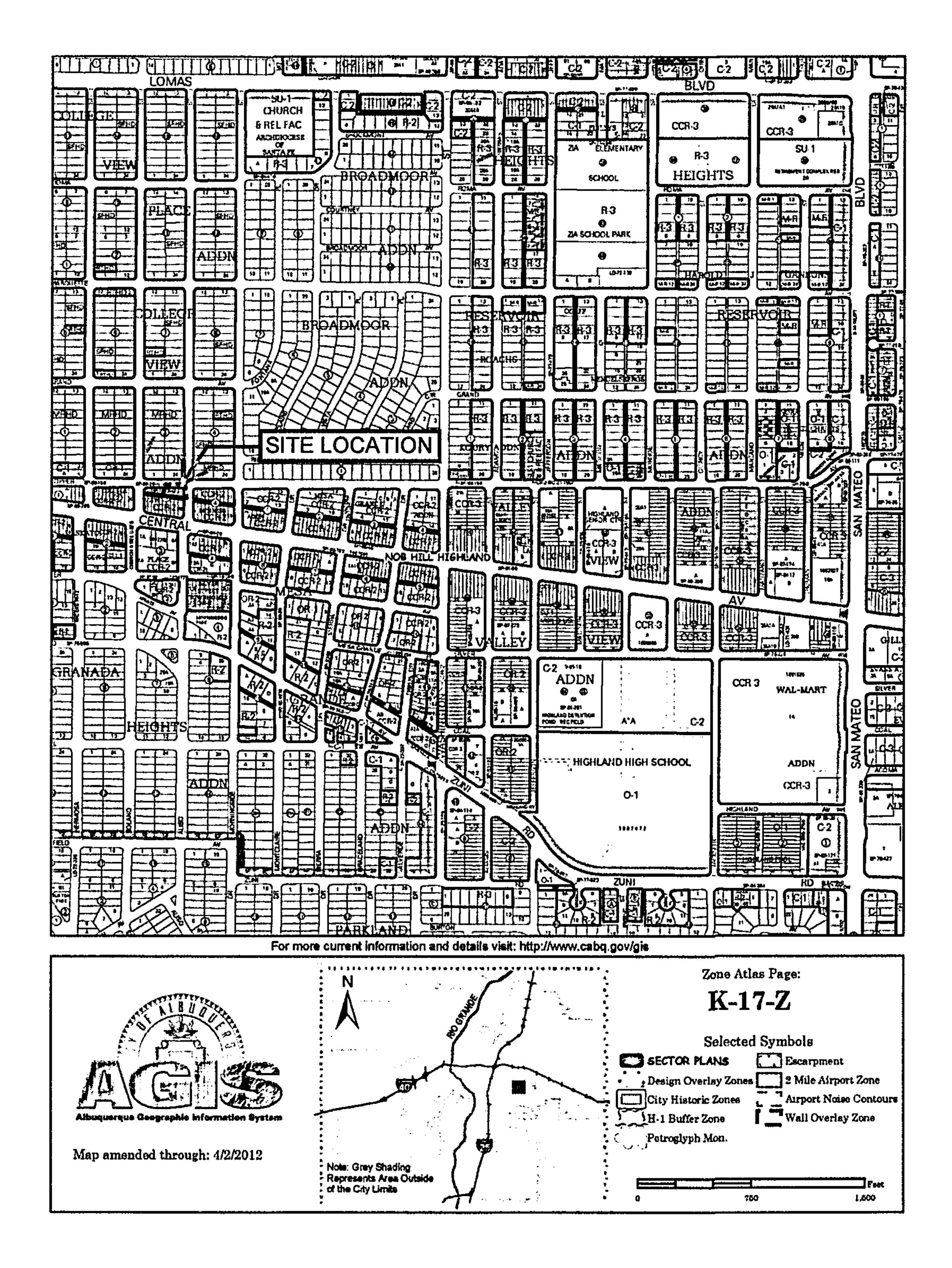
The legal description for this site is lots 11-A, 12-A, 13-A of the College View Business Addition. These lots are located on the southwest corner of Copper ave and Aliso dr. The entire site is 0.1628 acres in size. This site is located in a zone x flood zone, (FM35001C0353H) however Copper ave does contain a flood zone, the flood zone is contained within the street. Three townhouses with four units is proposed to be constructed on this site.

A predesign meeting with Mr. Carrillo was held to discuss the drainage pattern for this site:

- 1- The site was to drain to Copper ave.
- 2- The landscaping area to the east of this site was to contain the 100 yr, 6hr event.
- 3- This site is mostly building, complying with the Nob Hill Sector Plan. These buildings will need to drain to the north. The small landscaping area to the north will pond some of the first flush flows to the extent practical. This landscaping area will create non-continuous drainage for developed storm water.

Existing Conditions:

Presently, this site is hard packed earth and flows in a south westerly direction.



Proposed Conditions:

The proposed conditions are to comply with the issues discussed at the predesign meeting with Mr. Carrillo, as follows:

- 1- The site was to drain to Copper ave.
- 2- The landscaping area to the east of this site was to contain the 100 yr, 6hr event.
- 3- This site is mostly building, complying with the Nob Hill Sector Plan. These buildings will need to drain to the north. The small landscaping area to the north will pond some of the first flush flows to the extent practical. This landscaping area will create non-continious drainage for developed storm water.

Summary:

The additional flows generated by this site is only 0.74 cfs - 0.51 cfs = 0.23 cfs, and only 1204 cf - 668 cf = 536 cf for the 100 yr, 6 hr rain fall event.

APPENDIX A

Drainage Calculations for Site

Zone 2 (100yr, 6hr)

Land Treatment	Peak discharge	Excess Precipitation
Type A -	1.56 cfs/ac	0.53 inches
Type B -	2.28 cfs/ac	0.78 inches
Type C -	3.14 cfs/ac	1.13 inches
Type D -	4.70 cfs/ac	2.12 inches

Existing Conditions for Site

Type C 0.1628ac = 7,092sf

Peak Flow generated

0.1628 ac x 3.14 cfs/ac = 0.51 cfs

Excess Precipitation

7,092sf x 1.13 in/12 = 668 cf

Proposed Conditions for site

Peak Flow generated

0.1530 ac x 4.70 cfs = .72 cfs 0.0098 ac x 2.28 cfs = .02 cfsTotal = .74 cfs

Excess Precipitation

6665 sf x 2.12 in/12 = 1,177 cf 427 sf x .78 in/12 = 27 cfTotal = 1,204 cf

The Landscaping area on East side of building:

Area = 590sfVolume needed to be retained $590sf \times 1.13in/12 = 56cf$

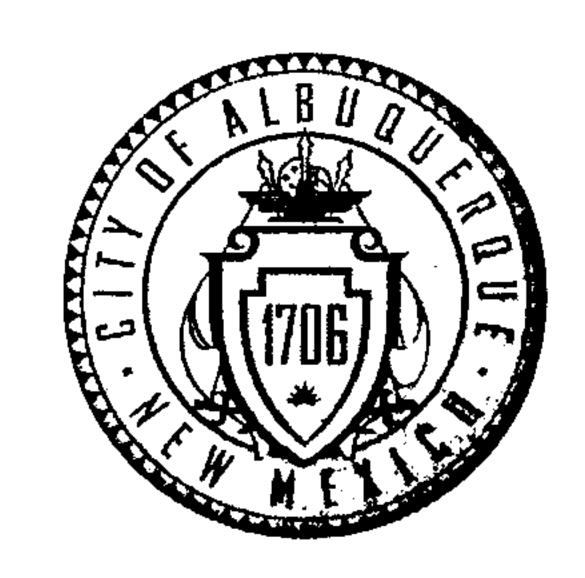
Capacity for the area east of building Area = 55ft x 10ft = 550sf Depth = 0.25ft Volume = 550sf x 0.25ft/2 = 69cf

Thus the capacity is greater than the volume required.

The Landscaping area on North side of building:

Area = 254sfDepth = 0.2ftVolume = $254sf \ 0.2sf/2 = 25.4cf$

CITY OF ALBUQUERQUE



March 8, 2017

James Clark
Masterworks Architects Inc.
516 11th St. NW
Albuquerque, NM 87102

Re: Residential Development Copper Condos

3812-3816-3820 Copper Ave. NW

Traffic Circulation Layout

Architect's Stamp dated 11-28-16 (K17-D111)

Dear Mr. Clark,

The TCL submittal received 03-03-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call New Mexico 87103 Building Safety at 924-3690.

Sincerely,

www.cabq.gov

PO Box 1293

Albuquerque

Shahab Biazar, P.E.

City Engineer, Planning Dept. Development Review Services

LWP via: email

C: File



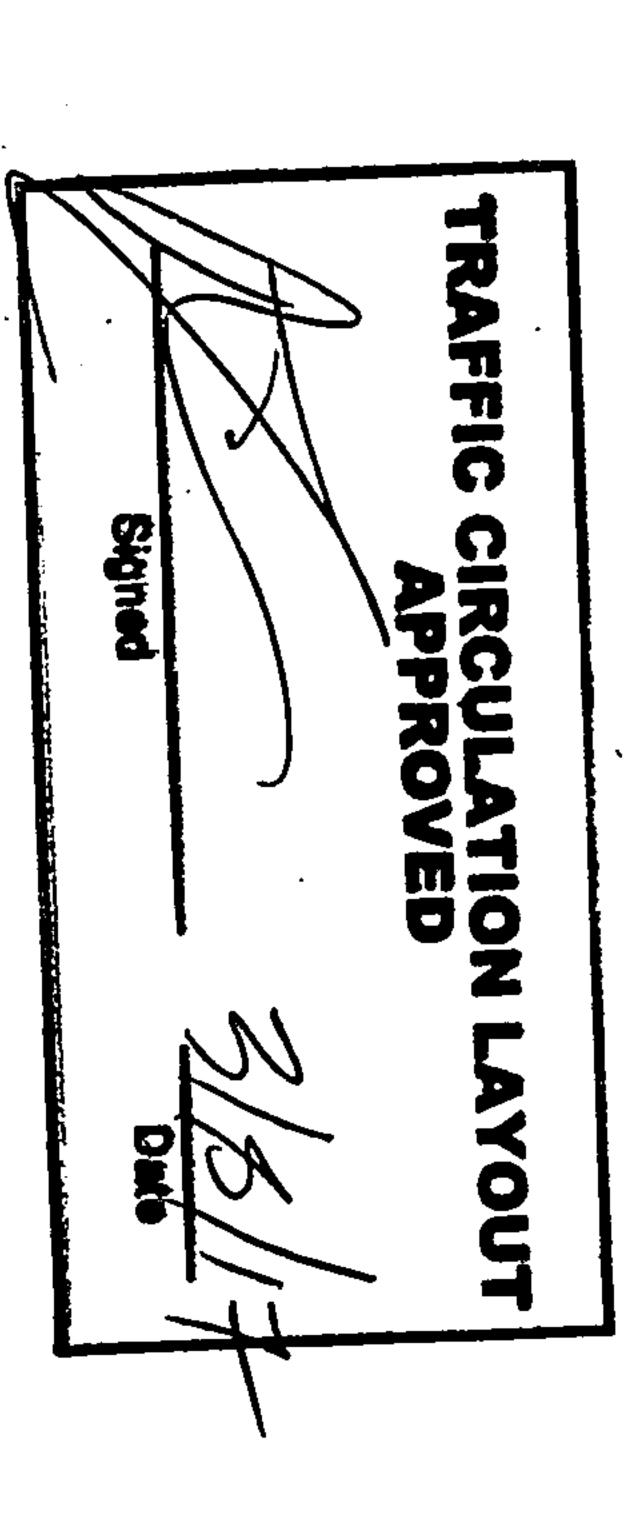
City of Albuquerque

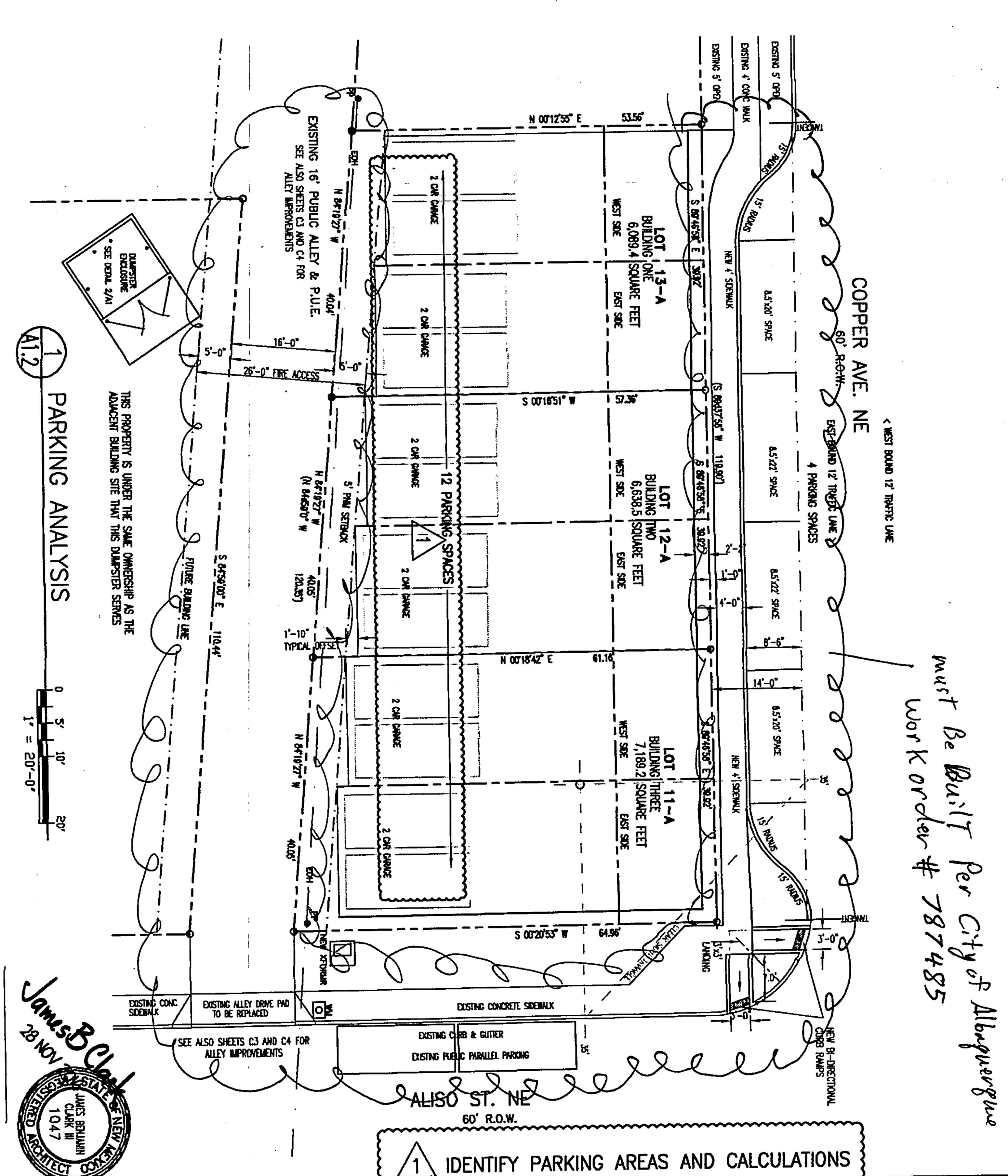
Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (RIV 11/2016) - 34453

		-34456 VIII
Project Title: Kesidential Development Buil	ding Permit:	#: 2016 - 34457 Hydrology File #: KITDI
		Work Order#:
Legal Description: LT5/3A-12A-11A,	BLOCKS	COLLEGE VIEW BUSINESS ADD
City Address: 3812-3816-3820 COPPE	ZAVE K	<u>/ W</u>
		•
Applicant: Nob Hill NBRHD, LLC	<u>,</u> 	Contact: Rahini Kassam/
Address: 7409 Vra Contenta NE	'	• • • • • • • • • • • • • • • • • • •
	#: <i>\M</i>	E-mail: Mahun Kassam Contact: & 34Wil 160W
Other Contact: MASTERWORKS ARCHITER	TS (130)	Contact: BBWilliam
Address: 516 11th 5t. NW		Jin Clark
1.	#: <i>kiA</i> -	E-mail: MWAvcluitect
	· · · · · · · · · · · · · · · · · · ·	Councast, net
Check all that Apply:		
DEPARTMENT:		TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
HYDROLOGY/ DRAINAGE	•	X BUILDING PERMIT APPROVAL
TRAFFIC/ TRANSPORTATION	,	CERTIFICATE OF OCCUPANCY
TYPE OF SUBMITTAL:		PRELIMINARY PLAT APPROVAL
ENGINEER/ARCHITECT CERTIFICATION		SITE PLAN FOR SUB'D APPROVAL
		SITE PLAN FOR BLDG. PERMIT APPROVAL
CONCEPTUAL G & D PLAN		FINAL PLAT APPROVAL
GRADING PLAN	·	
DRAINAGE MASTER PLAN		SIA/ RELEASE OF FINANCIAL GUARANTEE
DRAINAGE REPORT		FOUNDATION PERMIT APPROVAL
CLOMR/LOMR		GRADING PERMIT APPROVAL
•		SO-19 APPROVAL
		PAVING PERMIT APPROVAL
TRAFFIC IMPACT STUDY (TIS)		GRADING/ PAD CERTIFICATION
		WORK ORDER APPROVAL
OTHER (SPECIFY)		CLOMR/LOMR
PRE-DESIGN MEETING?		
		OTHER (SPECIFY)
IS THIS A RESUBMITTAL?: Yes X No		
DATE SUBMITTED: 3 March 17	By: VANIE	SB. CLARK, MWA, Inc
	'	
COA STAFF: EL	LECTRONIC SUE	MITTAL RECEIVED:





COPPER AVENUE 4-PLEX DEVELOPMENT PARKING ANALYSIS

NEW RESIDENTIAL DEVELOPMENT

MASTERWORKS ARCHITECTS, INC 516 ELEVENTH ST NW 242-1866 ALBUQUERQUE, NEW MEXICO 87102