

CITY OF ALBUQUERQUE



March 8, 2017

James Clark
Masterworks Architects Inc.
516 11th St. NW
Albuquerque, NM 87102

Re: Residential Development Copper Condos
3812-3816-3820 Copper Ave. NW
Traffic Circulation Layout
Architect's Stamp dated 11-28-16 (K17-D111)

Dear Mr. Clark,

The TCL submittal received 03-03-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

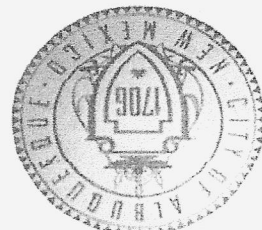
Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

LWP via: email
C: File

City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)



Project Title: Residential Development Building Permit #: 2016-34451 Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOTS 13A-12A-11A, BLOCK 3, COLLEGEVIEW BUSINESS ADD
City Address: 3812-3816-3820 COPPER AVE NW

Applicant: Nob Hill NRPHD, LLC Contact: Rahim Kassam
Address: 7409 VIA Contenta NE
Phone#: 505-400-7159 Fax#: NA E-mail: rahim.kassam@gmail.com
Other Contact: Masterworks Architects LLC Contact: clm@masterworks.com
Address: 516 11th St. NW
Phone#: 505-242-1816 Fax#: NA E-mail: clm@masterworks.com
@councilnet

Check all that Apply:

TYPE OF SUBMITTAL: _____
ENGINEER/ARCHITECT CERTIFICATION _____
CONCEPTUAL G & D PLAN _____
GRADING PLAN _____
DRAINAGE MASTER PLAN _____
DRAINAGE REPORT _____
CLOMR/LOMR _____
TRAFFIC CIRCULATION LAYOUT (TCL) _____
TRAFFIC IMPACT STUDY (TIS) _____
OTHER (SPECIFY) _____
PRE-DESIGN MEETING? _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT: _____
X BUILDING PERMIT APPROVAL _____
CERTIFICATE OF OCCUPANCY _____
PRELIMINARY PLAT APPROVAL _____
SITE PLAN FOR SUB'D APPROVAL _____
SITE PLAN FOR BLDG. PERMIT APPROVAL _____
FINAL PLAT APPROVAL _____
SIA/ RELEASE OF FINANCIAL GUARANTEE _____
FOUNDATION PERMIT APPROVAL _____
GRADING PERMIT APPROVAL _____
SO-19 APPROVAL _____
PAVING PERMIT APPROVAL _____
GRADING/ PAD CERTIFICATION _____
WORK ORDER APPROVAL _____
CLOMR/LOMR _____
OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? Yes ☒ No ☐

DATE SUBMITTED: 3 March 17 By: James B. Clark, MWA, Inc

COA STAFF:

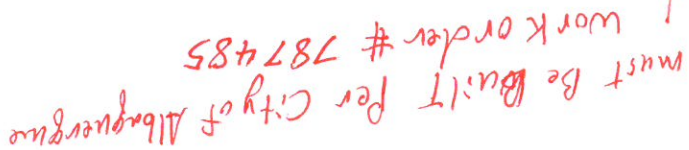
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed _____
Date 3/5/17

1		PARKING CALCULATIONS	
NOB HILL HIGHLAND SECTOR DEVELOPMENT PLAN - CCR-2 DISTRICT			
PARKING REQUIRED FOR 12 DWELLING UNITS			
REQUIRED PARKING SPACES	12 SPACES		
LESS RAPID RIDE 20% DEDUCTION	2 SPACES		
TOTAL REQUIRED PARKING SPACES	10 SPACES		
TOTAL PARKING PROVIDED:			
PARKING IN GARAGES	12 SPACES		
ON-STREET PARKING AVAILABLE	4 SPACES		



**MASTERWORKS
ARCHITECTS, INC.**
516 ELEVENTH ST NW 242-1866
ALBUQUERQUE, NEW MEXICO 87102

1 IDENTIFY PARKING AREAS AND CALCULATIONS

ALISO ST. NE

James B. Clark
28 NOV 1947
REGISTERED ARCHITECT
JAMES BENJAMIN CLARK III
1047
NEW MEXICO