

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

December 11, 2018

Richard Dourte, P.E.
RHD Engineering, LLC
4305 Purple Sage Ave NW
Albuquerque, NM, 87120

**RE: Copper Ave Townhouse
3812 Copper Ave NE
Permanent C.O. – Not Accepted
Engineer's Stamp Date: 08/15/16
Engineer's Certification Date: 11/27/18
Hydrology File: K17D011**

Dear Mr. Dourte:

Based on the Certification received 11/29/18 and site visit on 11/29/18, this certification is **not approved** in support of Permanent Release of Occupancy by Hydrology. The following comments need to be addressed for approval of the above referenced project:

1. The punch list items for the sidewalk culverts need to be completed and accepted by Jason Rodriguez. The punch list items include the 3/4 inch bars are not on the plates and the bolt still need to be tacked.
2. Once the punch list items are complete please call Jason Rodriguez (C.O.A. Storm Maintenance) at 505-857-8607 or his Cell at 505-235-8016. Once Jason has accepted the sidewalk culverts, Hydrology will then issue an approval letter in support of Permanent Release of Occupancy.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Copper Ave Townhouse **Building Permit #:** _____ **Hydrology File #:** K11D111
DRB#: 1010763 **EPC#:** _____ **Work Order#:** 787485
Legal Description: Lots 11,12,13 College View Addition
City Address: 3821 Copper Ave NE

Applicant: RHD Engineering, LLC **Contact:** Richard Dourte
Address: 4305 Purple Sage Ave. NW, Alb. NM, 87120
Phone#: 505.288.1621 **Fax#:** _____ **E-mail:** rhengineering@outlook.com

Other Contact: Rahim Kassam **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** rahim.kassam@gmail.com

TYPE OF DEVELOPMENT: 3 PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 11-27-18

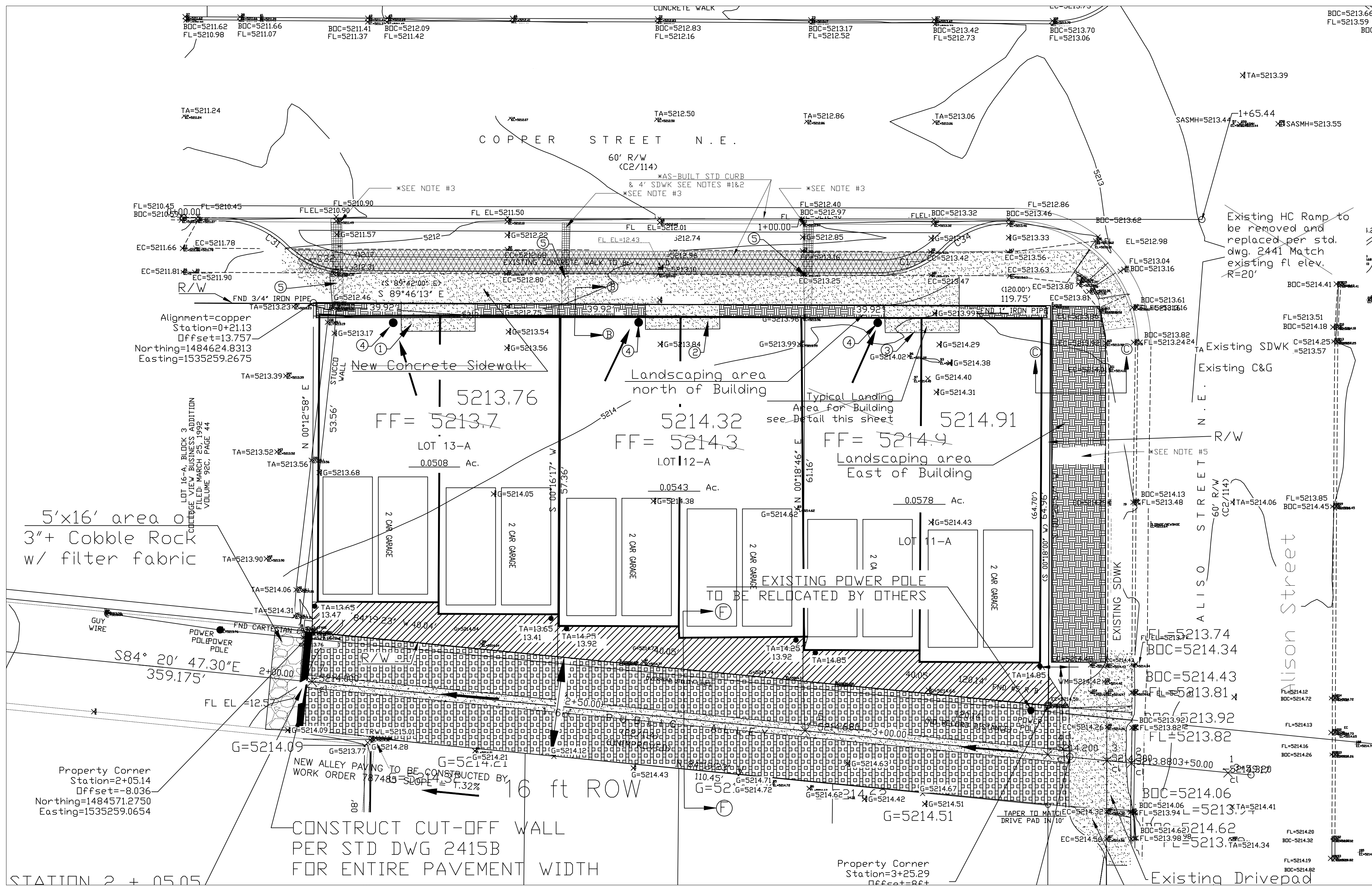
By:

Richard Dourte

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

Keyed notes:

- ① - Building Landing TC=13.10
- ② - Building Landing TC=13.77
- ③ - Building Landing TC=14.35
- ④ - Roof Drains
- ⑤ - Sidewalk culverts, to be built with w.o. 787485



VICINITY MAP:

K-17-Z



FIRM MAP:

35001C0353H

LEGAL DESCRIPTION:

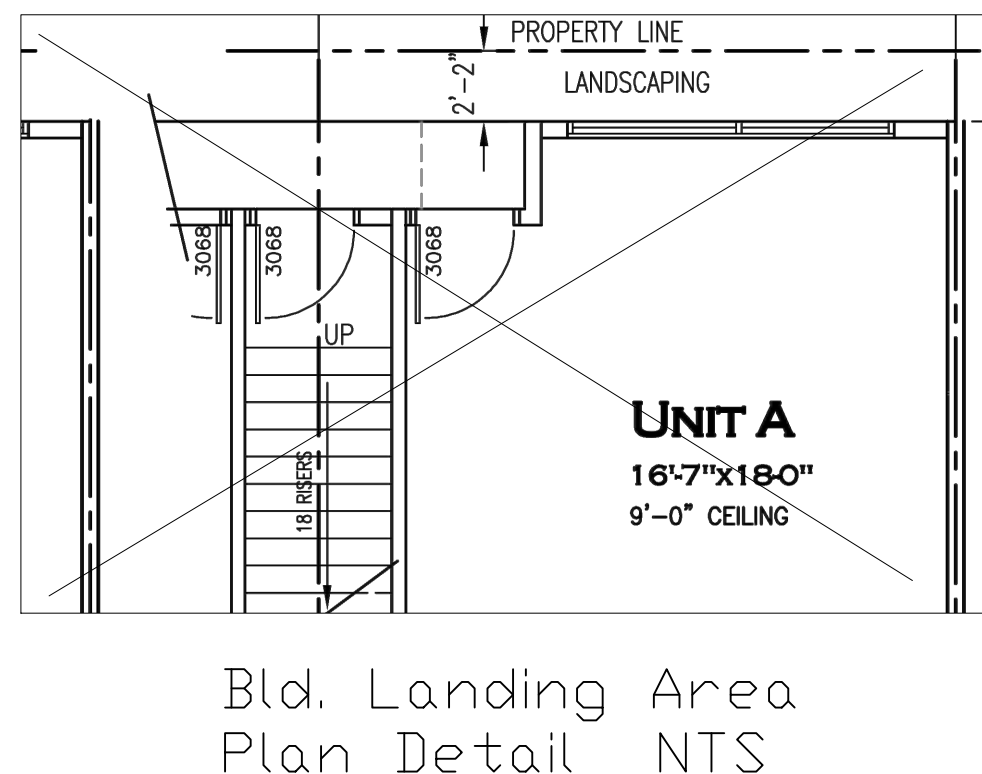
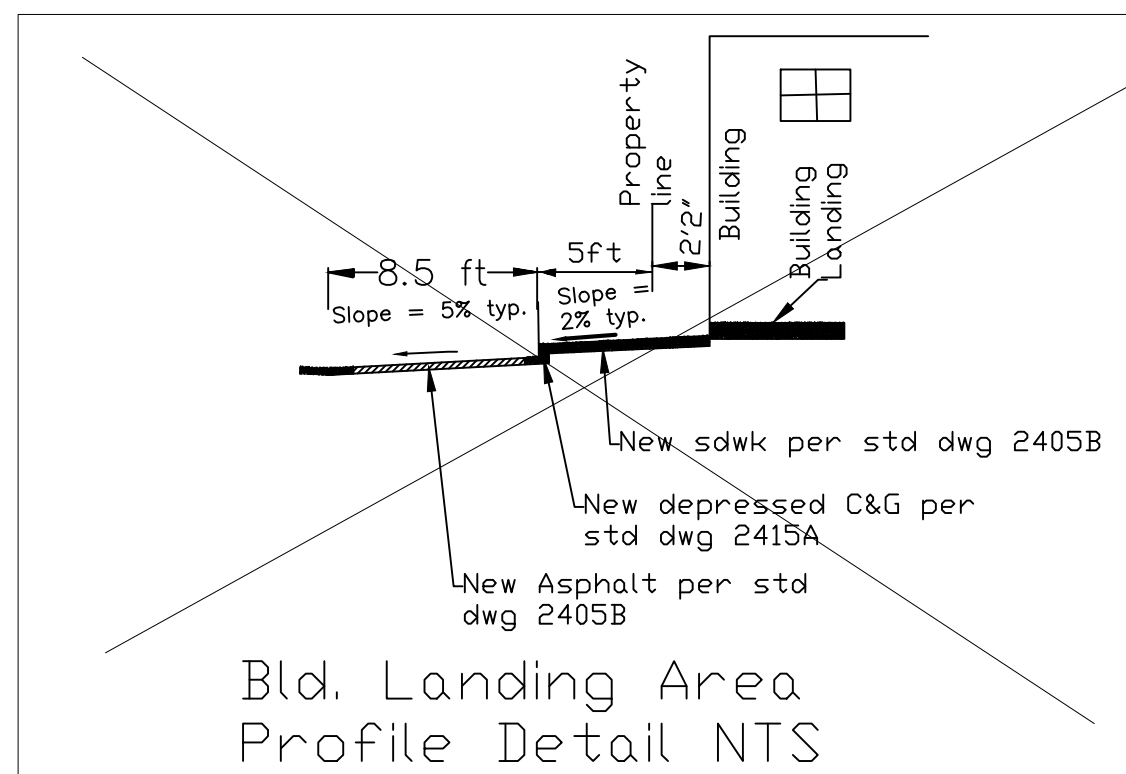
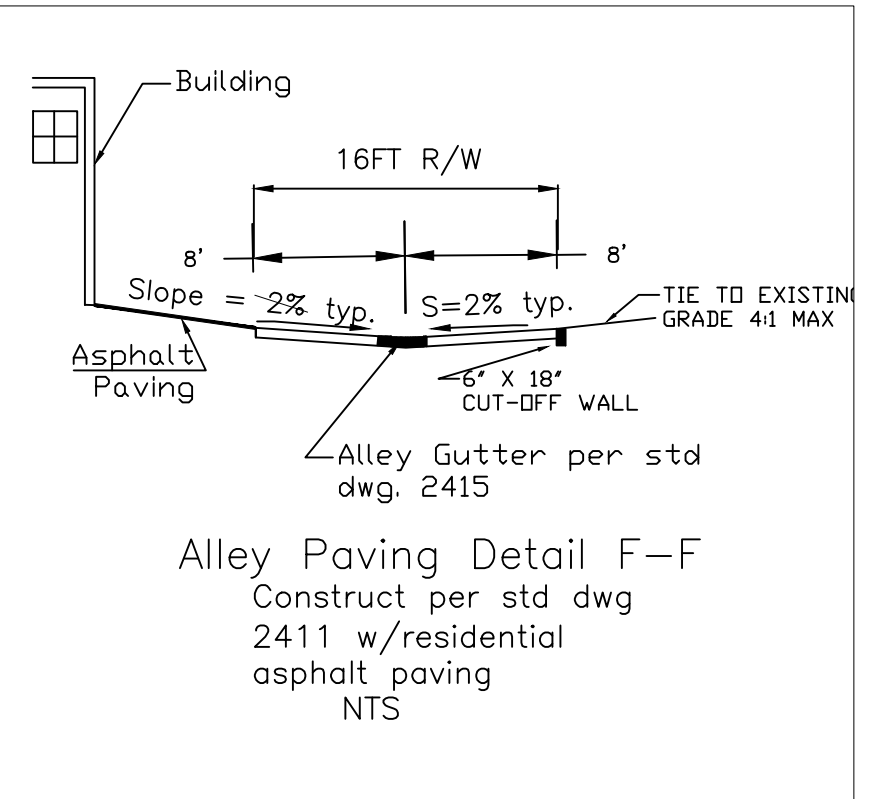
Lots 11, 12 and 13, College View Business Addition
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

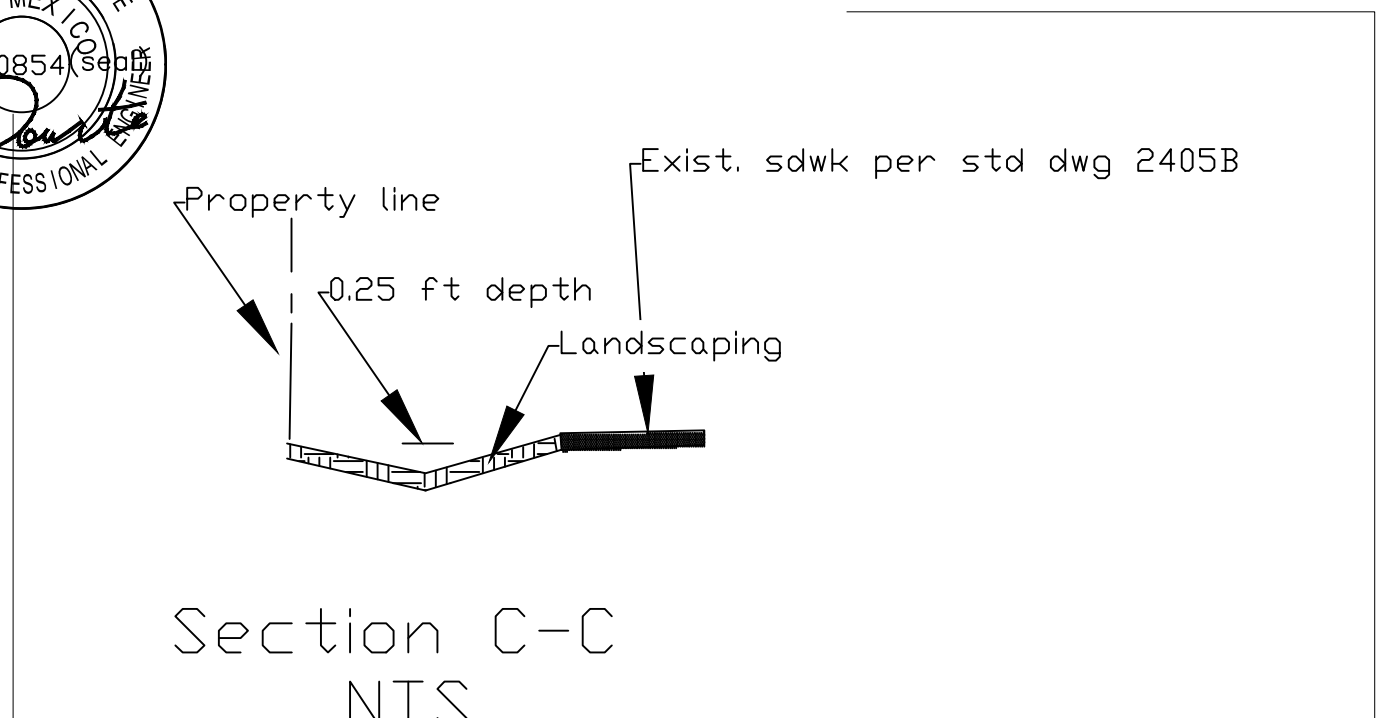
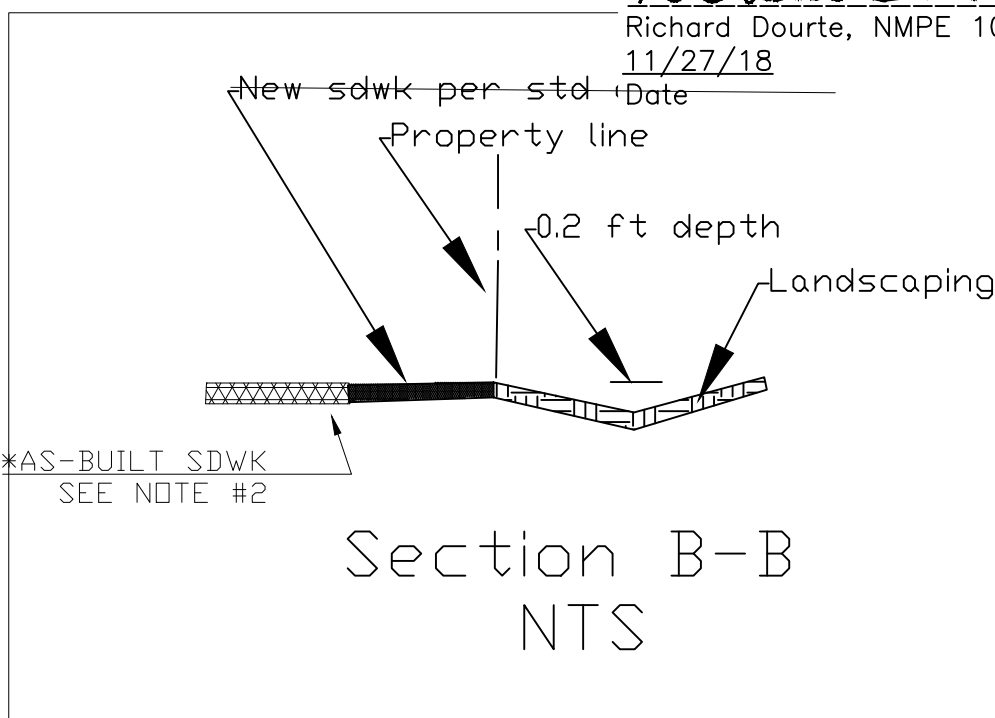
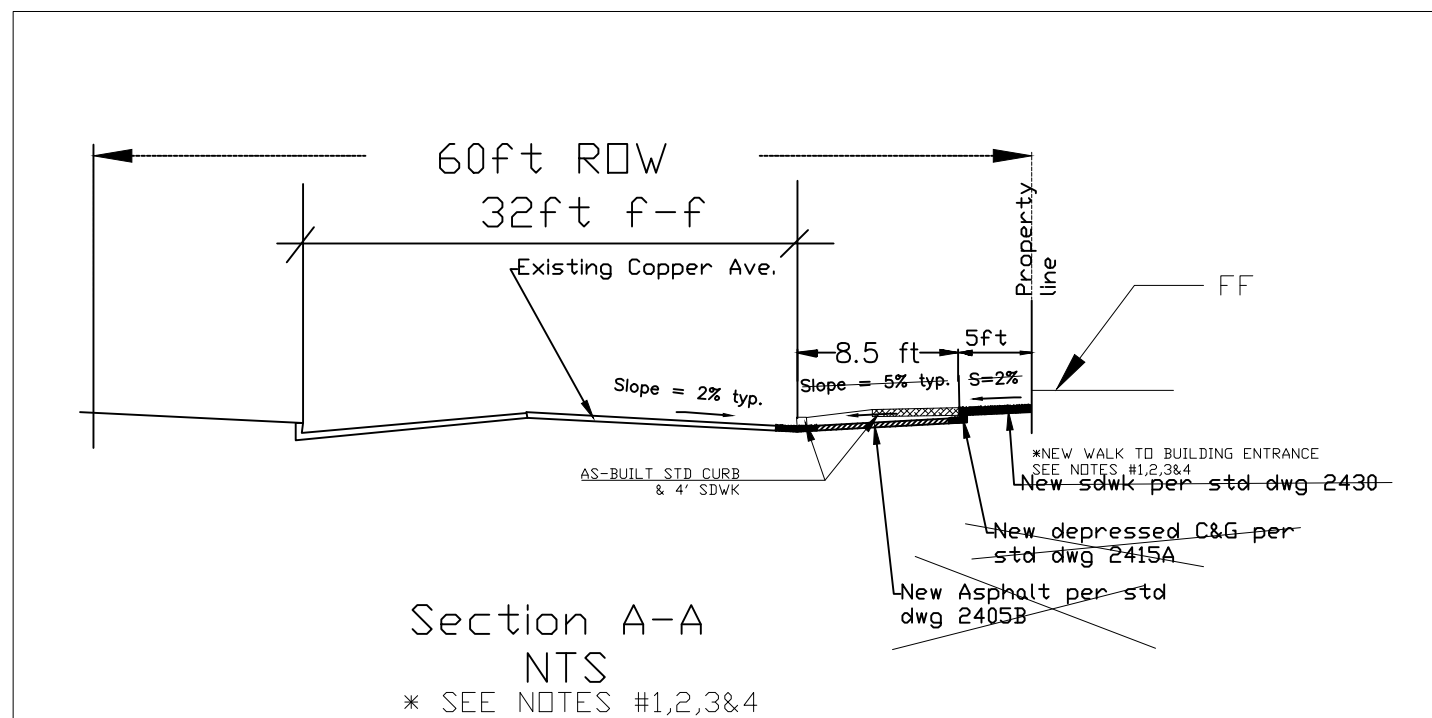
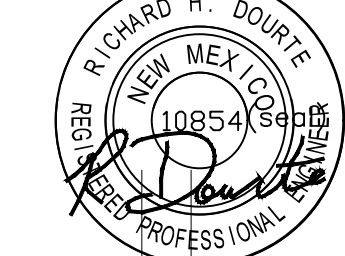
• 46.00	PROPOSED SPOT ELEVATION
TW=44.00 BW=39.00	TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION
— 5601 —	EXISTING CONTOUR
— 5600 —	EXISTING INDEX CONTOUR
— 5601 —	PROPOSED CONTOUR
— 5600 —	PROPOSED INDEX CONTOUR
— — —	LOT LINE
— — —	CENTERLINE
— — —	RIGHT-OF-WAY
— — —	PROPOSED NEW BUILDING
=====	EXISTING CURB AND GUTTER
— — — — —	PROPOSED EDGE OF CONCRETE
← — — — —	PROPOSED FLOWLINE
=====	NEW PAVING, 2" ON 12" PREP. SUBGRADE 95% COMPACTION PER ASTM D-1557
=====	NEW SIDEWALK
=====	NEW ALLEY PAVING
=====	NEW LANDSCAPING



DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR
I, Richard Dourte, NMPE 10854 OF THE FIRM RHD Engineering, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-15-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTATION HAS BEEN OBTAINED BY TONY HARRIS, NMPS 11463 OF THE FIRM THE SURVEY OFFICE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/01/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF THE REQUEST FOR BUILDING C.O. (DESCRIBE ANY EXCEPTIONS AND /OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH.)
1. THE PARKING LANE WAS NOT CONSTRUCTED, THE LOCATION OF THE CURB IS THE SAME AS THE PREBUILD LOCATION.
2. THE SIDEWALK IS NOW LOCATED HORIZONTALLY IN THE SAME LOCATION AS THE PREBUILD LOCATION (APPROX.).
3. THE SIDEWALK CULVERTS (3) WERE EXTENDED TO THE PREBUILD CURB LOCATION.
4. NO BUILDING LANDINGS WERE CONSTRUCTED, THESE WERE INCORPORATED INTO THE BUILDING.
5. A NEW SIDEWALK WAS ADDED FROM NEW DOOR IN THE SIDE OF BLD. TO SIDEWALK.
6. FOR ALLEY AS-BUILTS SEE AS-BUILTS FOR PROJECT NO. 787485.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENTATION ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Richard Dourte
Richard Dourte, NMPE 10854
11/27/18



ENGINEER'S SEAL Richard Dourte P.E. #10854	Title: Copper Ave Townhouse Condos	DRAWN BY DATE
	GRADING AND DRAINAGE PLAN	SHEET # 3 of 6
	RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB # 787485