

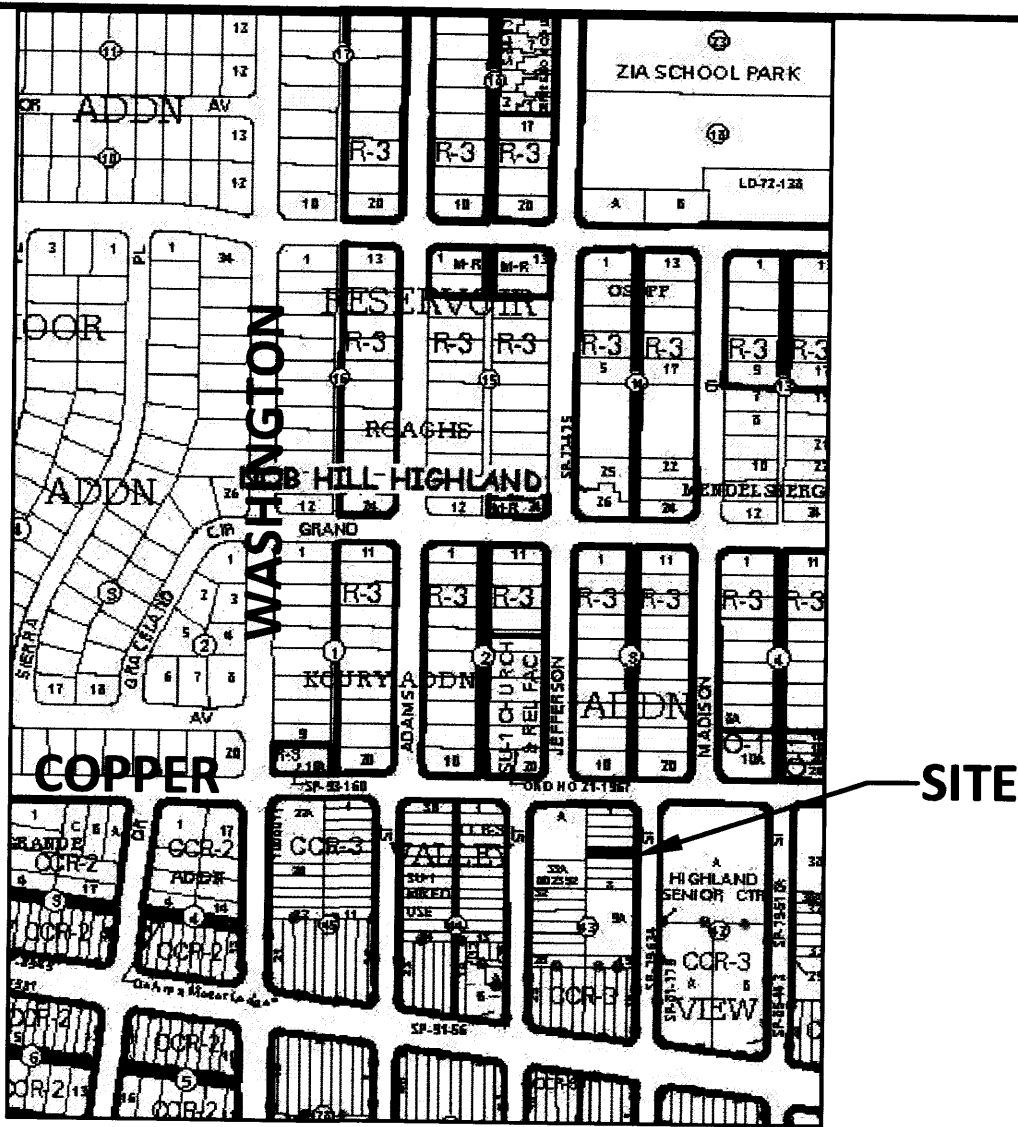
POND SECTION

S.0.19: NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R/W.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL NAME _____ DATE _____

INSPECTOR _____



VICINITY MAP K-17-Z NOT TO SCALE

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=4969.21 EXISTING BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- ← RD ROOF DRAIN
- TC TOP OF CURB

DRAINAGE ANALYSIS

ADDRESS: 139 Madison Street NE, Albuquerque, NM

LEGAL DESCRIPTION: Lots 5 & 6, BLOCK 43, VALLEY VIEW ADDITION

AREA: 6,250 SF (0.14 acre)

BENCHMARK: City of Albuquerque Station '6-K18A' being a brass cap ELEV= 5249.996 (NAVD 1988)

SURVEYOR: Harris Surveying, Inc. dated June, 2016

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0354H (8/16/12), this site is identified as being within Zone 'X' which is located outside the 0.2% chance annual floodplain.

EXISTING CONDITIONS: The site is developed with an existing building and paved parking area. The site has minimal landscaping and is mainly impervious.

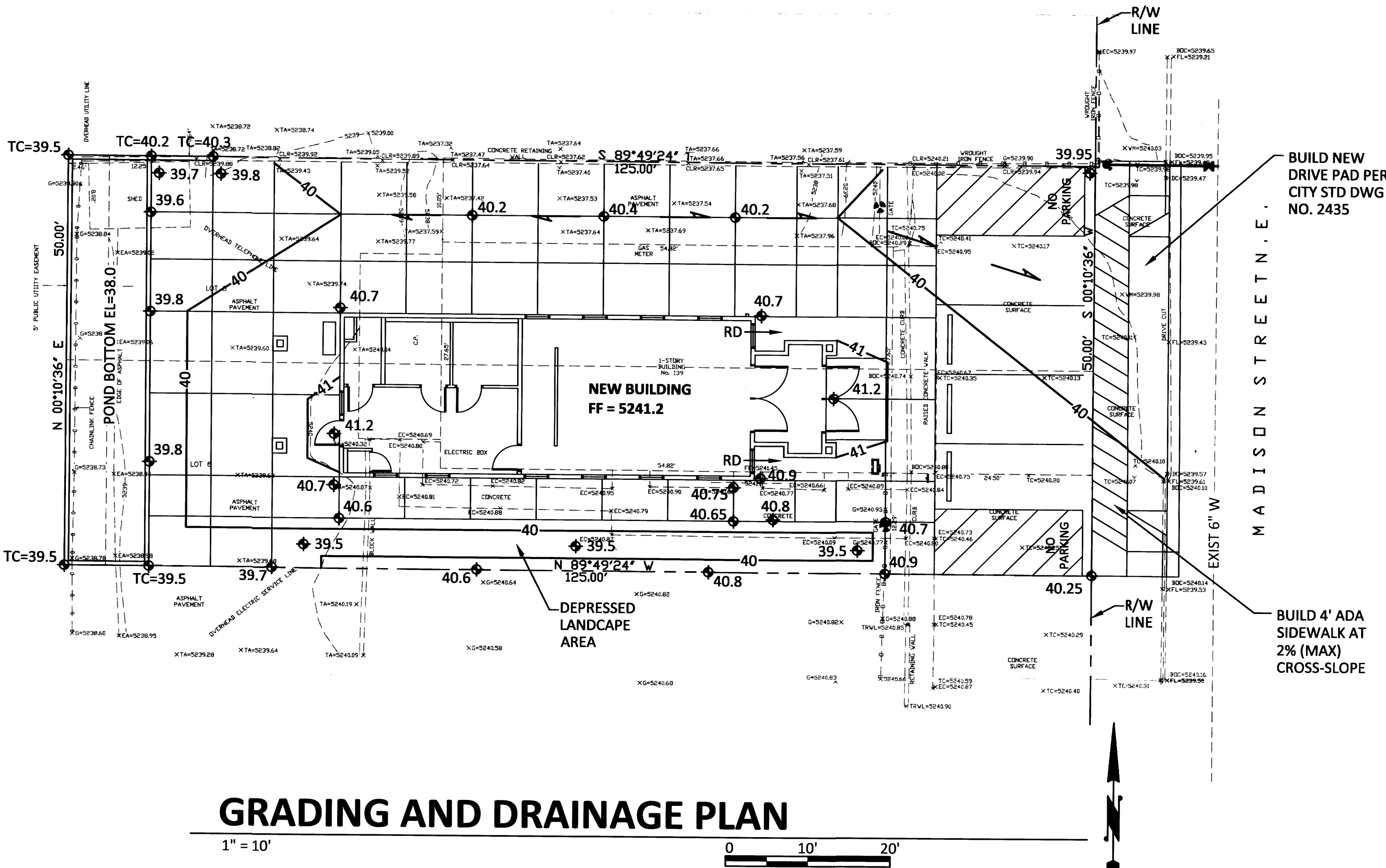
PROPOSED IMPROVEMENTS: The proposed improvements include a 1,000 SF with paved parking area and associated landscaping.

DRAINAGE APPROACH: The drainage plan will split flows both east and west. Most of the roof runoff and half of the site will direct flows to the east side of the parking lot where they will be discharged through the existing drive pad to Madison NE. A portion of the site will flow west to a retention pond proposed along the west side,

Existing land treatment: 6% C & 94% D Precipitation Zone: 2
 $Q = [(0.06) (3.14) + (0.94) (4.70)] (0.14) = 0.6 \text{ CFS}$

Proposed land treatment: 16% C and 84% D
 $Q = [(0.16) (3.14) + (0.84) (4.70)] (0.14) = 0.6 \text{ CFS}$
First flush $V = (5,250) (0.34/12) = 149 \text{ CF}$
West $V = (500) (1.13/12) + (1800) (2.12/12) + (1800) (1.6/12) = 605 \text{ CF REQUIRED}$
West pond $V = (49) (9) (1.5) = 661 \text{ CF (OK)}$

The proposed depressed landscape area will contain the 10-day volume as well as the first flush volume. Site runoff will not increase and won't impact downstream drainage facilities.



GRADING AND DRAINAGE PLAN

1" = 10'

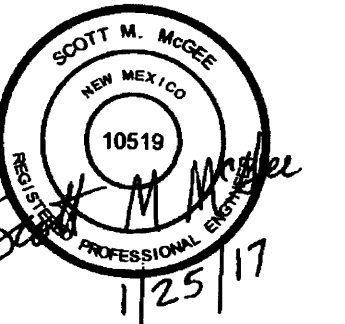
0 10' 20'

NCA

ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT



CONSULTANT

PROJECT TITLE

WAT
BUDDHASOTHORN
- VIDES
BUDDHIST
TEMPLE

ALBUQUERQUE
NEW MEXICO

REVISIONS:

| NO. | DATE | DESCRIPTION |
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DATE DESCRIPTION

DRAWN BY CHECKED BY

CB SMM

PROJECT NUMBER:

A16.09

DATE:

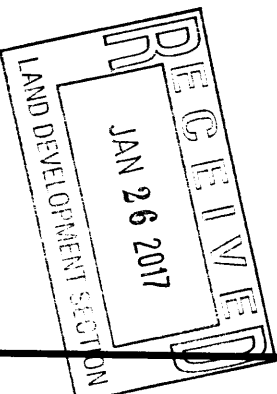
JANUARY 25, 2017

SHEET TITLE:

GRADING PLAN

SHEET NO

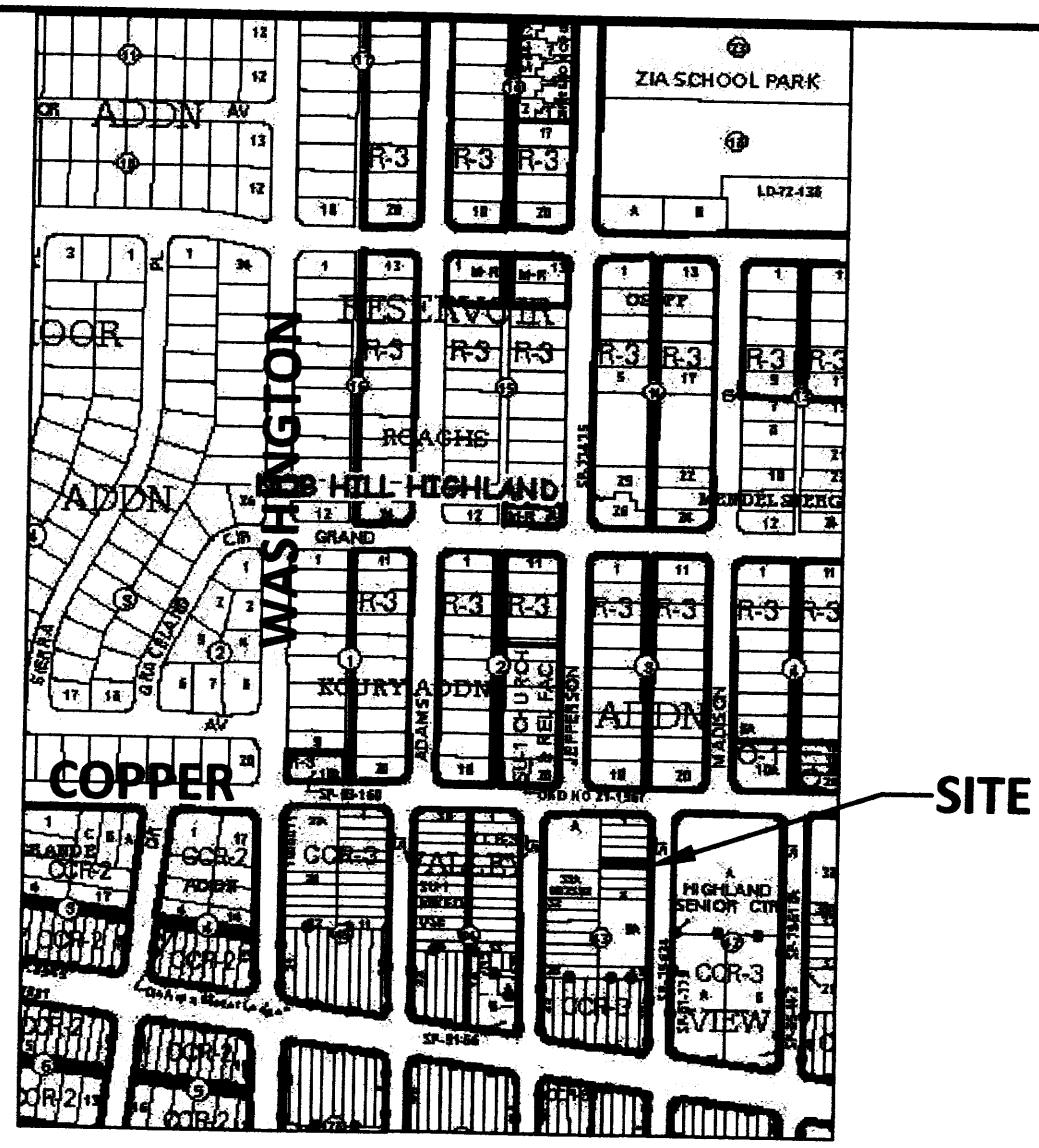
C-101



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APPROVAL
NAME _____ DATE _____
INSPECTOR _____



VICINITY MAP K-17-Z NOT TO SCALE

- LEGEND
- EXISTING CONSTRUCTION
 - NEW CONTOUR
 - FF=4969.21
 - NEW SPOT ELEVATION
 - NEW CONSTRUCTION
 - RD
 - RETAINING WALL
 - TRW
 - BW
 - EXISTING BUILDING FINISH FLOOR ELEV
 - NEW CONTOUR
 - NEW SPOT ELEVATION
 - NEW CONSTRUCTION
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SURVEYOR: Harris Surveying, Inc. dated June, 2016

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EXISTING CONDITIONS: The site is developed with an existing building and paved parking area. The site has minimal landscaping and is mainly impervious.

PROPOSED IMPROVEMENTS: The proposed improvements include a 1,000 square foot building with paved parking area and associated landscaping.

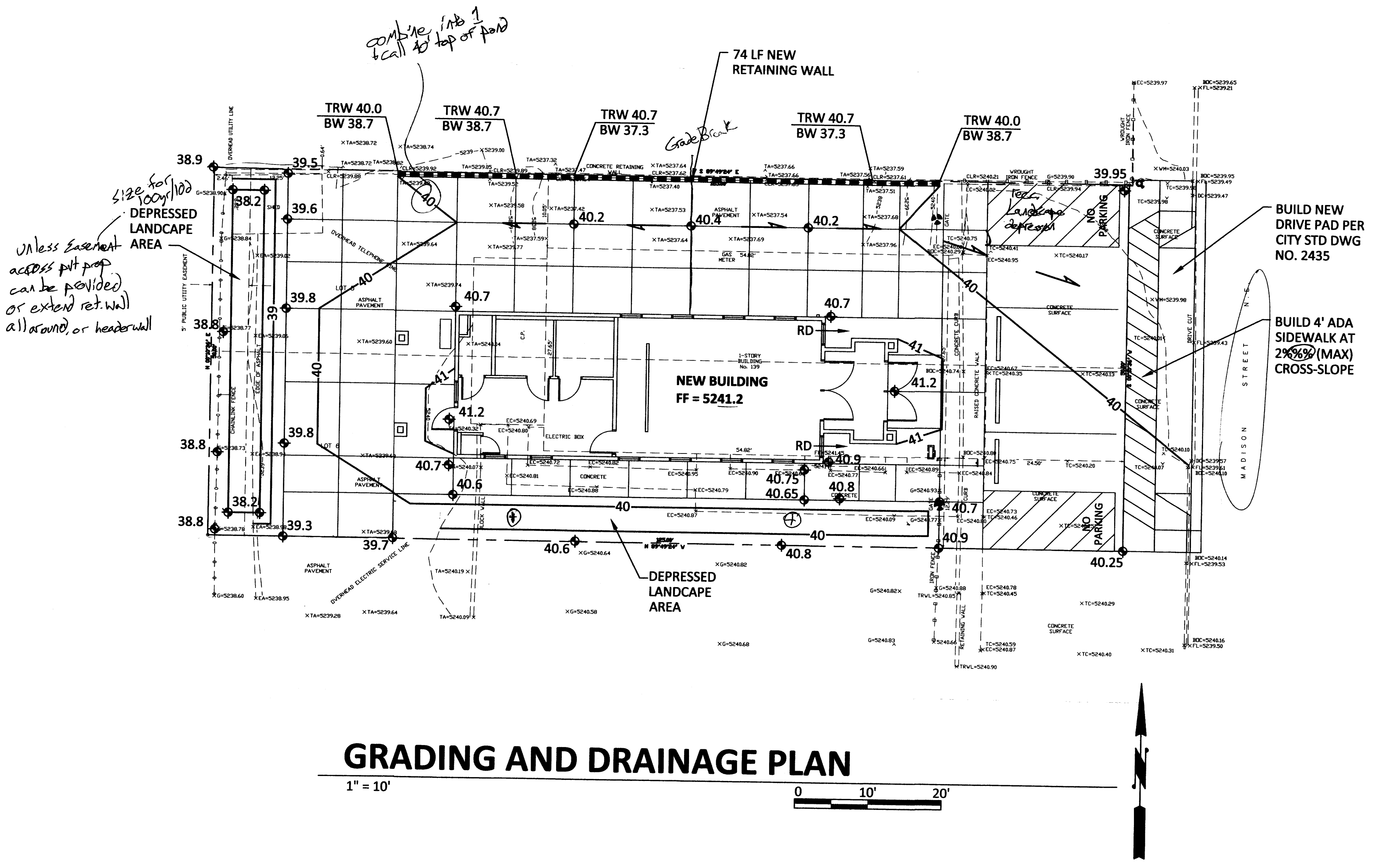
DRAINAGE APPROACH: The drainage plan will direct flows to the west side of the parking lot where they will be discharged through the existing drive pad.

Existing land treatment: 6% C & 94% D Precipitation Zone: 2
 $Q = [(0.06)(3.14) + (0.94)(4.70)](0.14) = 0.6 \text{ CFS}$

Proposed land treatment: 16% C and 84% D
 $Q = [(0.16)(3.14) + (0.84)(4.70)](0.14) = 0.6 \text{ CFS}$
First flush $V = (5,250)(0.34/12) = 149 \text{ CF}$

Storage volume provided: $V = (45 \times 8 \times 0.3') + (70 \times 5 \times 0.3') = 213 \text{ CF}$

The proposed depressed landscape area will contain the first flush volume. Site runoff will not increase and won't impact downstream drainage facilities.



GRADING AND DRAINAGE PLAN

1" = 10'
0 10' 20'



1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT



PROJECT TITLE

WAT
BUDDHASOTHORN
- VIDES
BUDDHIST
TEMPLE

ALBUQUERQUE
NEW MEXICO

REVISIONS:

| NO. | DATE | DESCRIPTION |
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DATE DESCRIPTION

DRAWN BY: CHECKED BY:

CB SMM

PROJECT NUMBER:

A16.09

DATE:

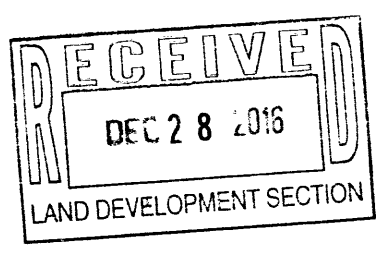
NOVEMBER 11, 2016

SHEET TITLE:

GRADING PLAN

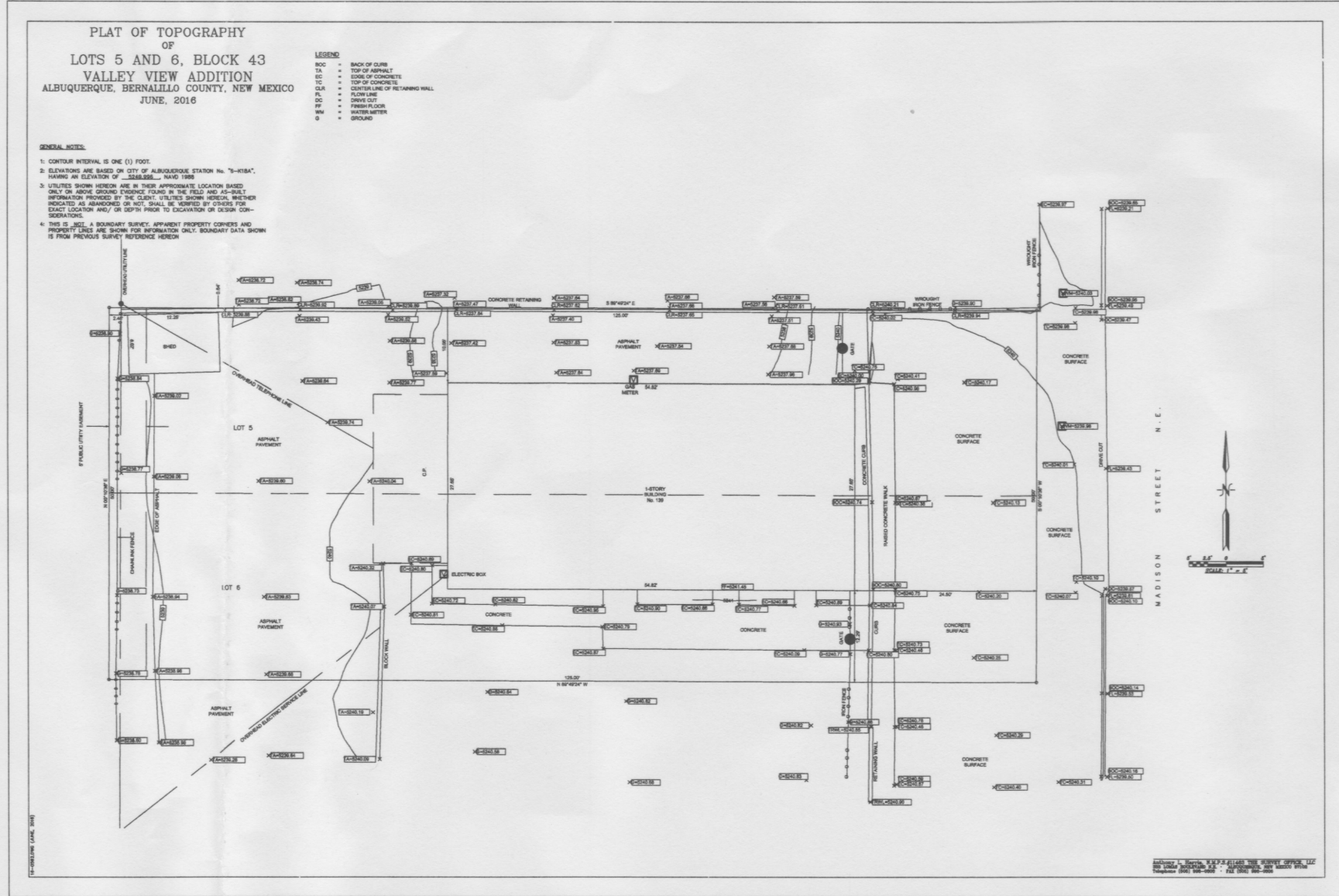
SHEET NO.

C-101

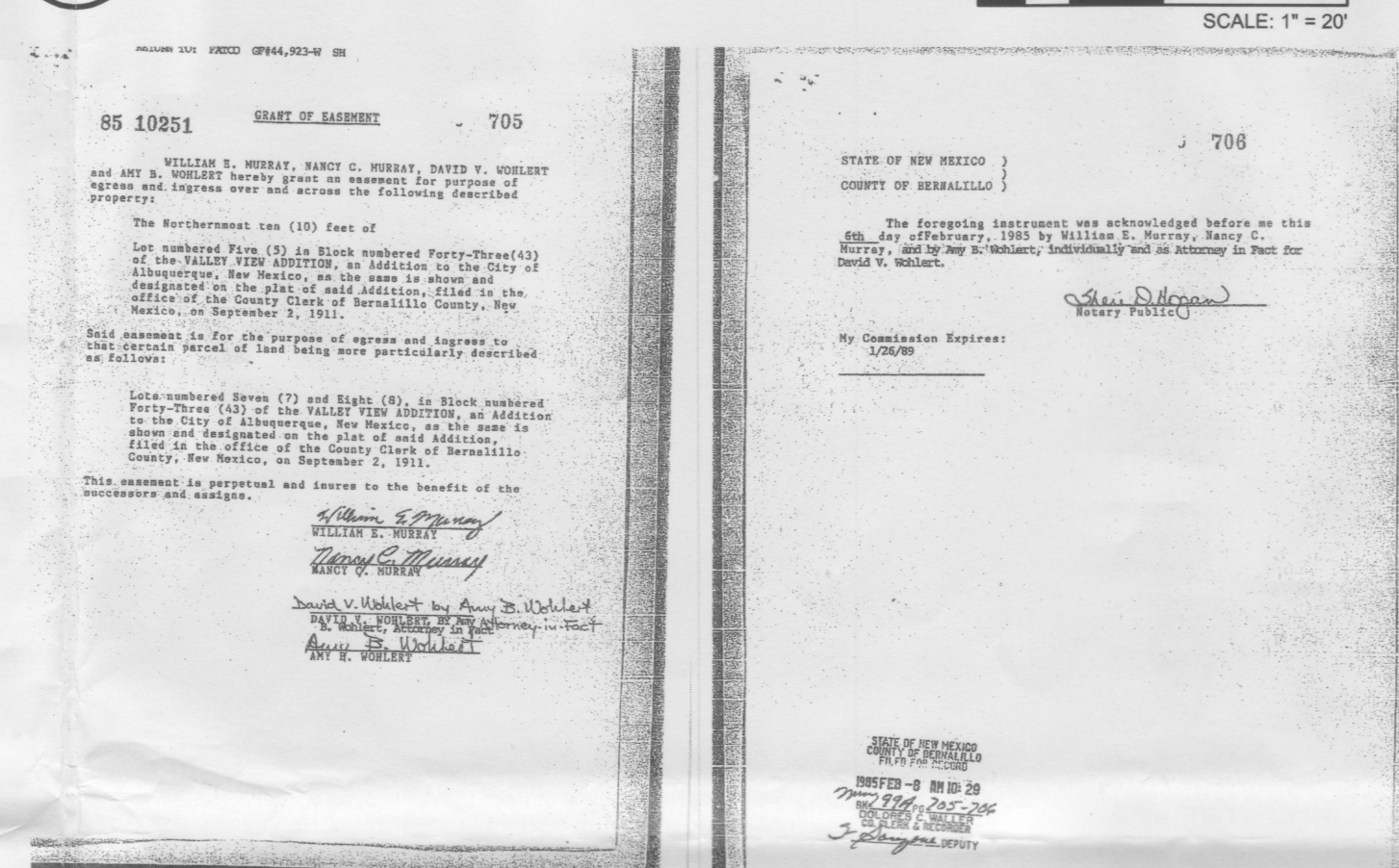


TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed _____
Date 8/1/16

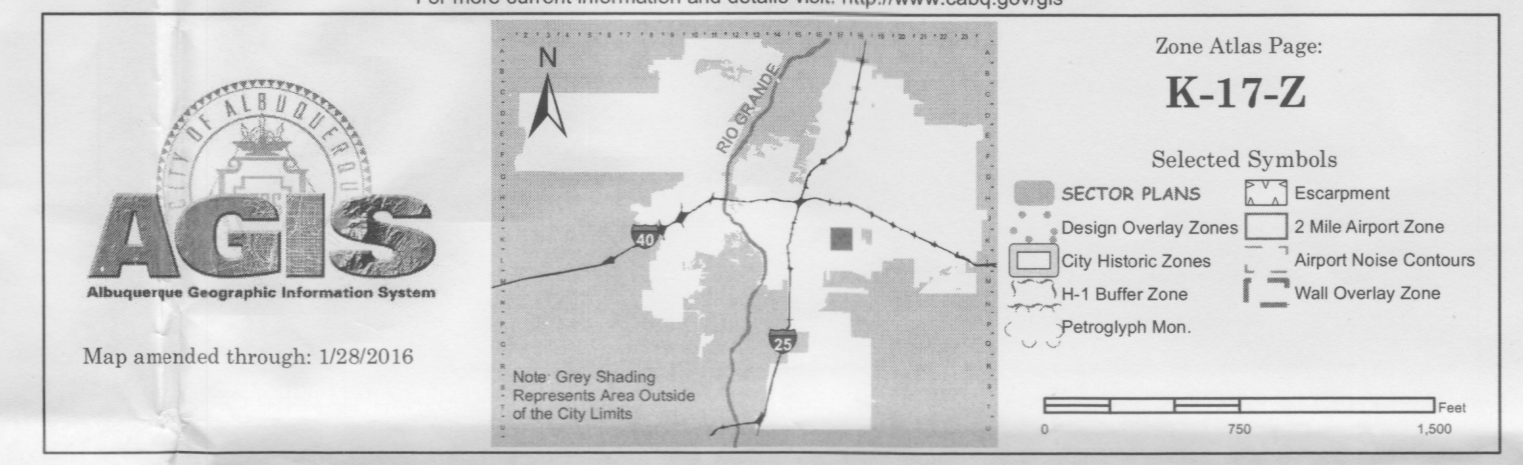
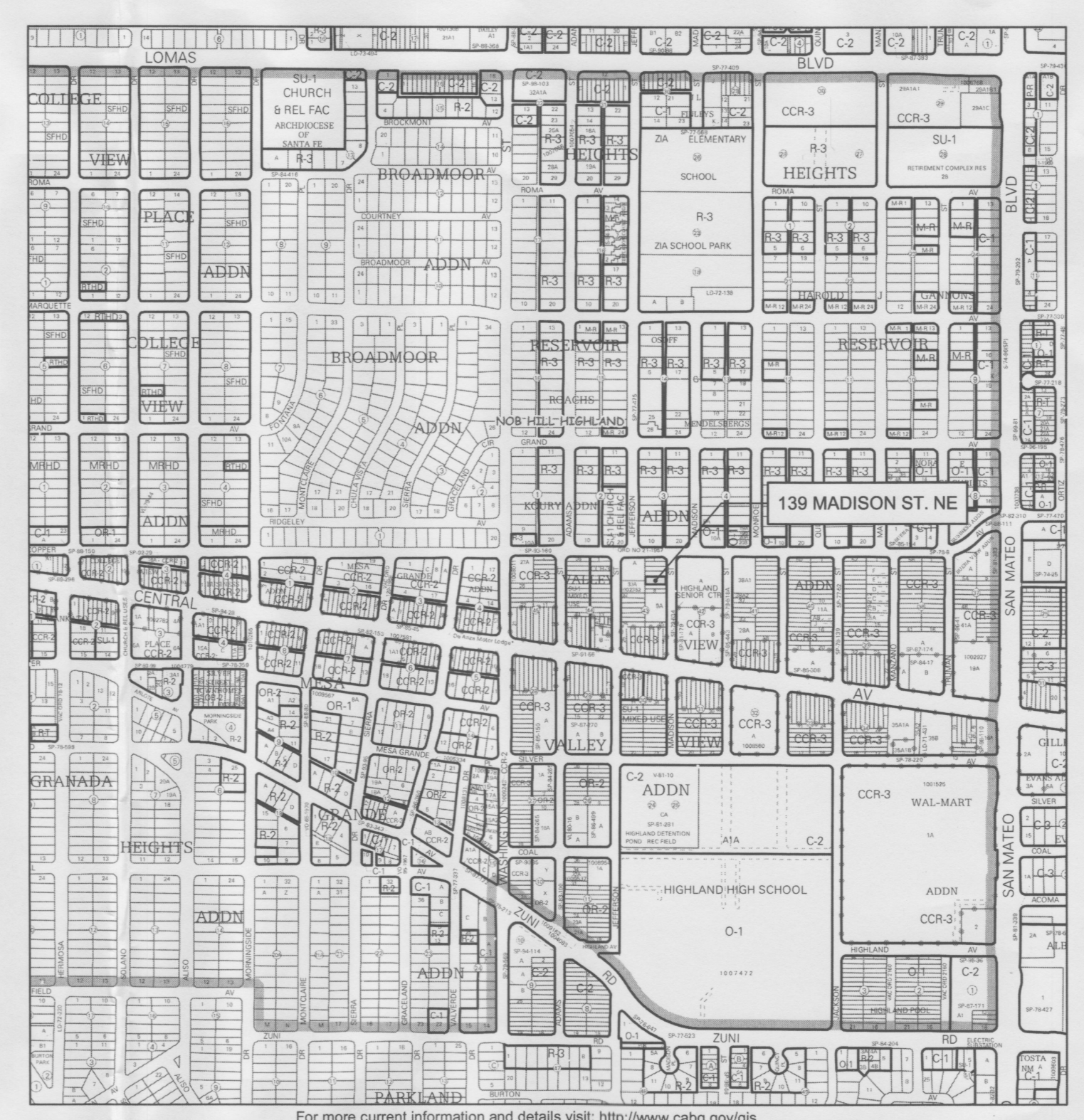
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



C2 PLAT OF TOPOGRAPHY



B2 GRANT OF EASEMENT



B3 VICINITY MAP (ZONE ATLAS MAP)

GENERAL INFORMATION

- A. SLOPES REQUIREMENT: 1) PARKING LOTS REQUIRE A SLOPE BETWEEN 1% MIN. AND 8% MAX. 2) PARKING AREA ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES 1% MIN TO 2% MAX. 3) HANDICAP PARKING 1% MIN TO 6% MAX.
- B. ALL SIDEWALK AND CURB & GUTTER ALONG MADISON STREET MUST BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS. UNUSUAL CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER. SEE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986 - SECTION 2400 STANDARD DETAILS FOR PAVING DRAWING NUMBER 2415A - CURB CUT DETAILS, 2415B - GUTTER DETAILS, AND 2430 - SIDEWALK DETAILS.
- C. MAXIMUM GRADES SHOULD NOT EXCEED 8% IN PARKING AREAS. FOR MAJOR CIRCULATION AISLES AND ADJACENT TO MAJOR PEDESTRIAN ENTRANCES, THE GRADES SHOULD BE KEPT TO 6% OR LESS. HANDICAP ACCESS TO BUILDING NEEDS TO BE MAINTAINED.

PROPERTY INFORMATION

ADDRESS: 139 MADISON ST. NE, ALBUQUERQUE, NM 87108
LEGAL DESCRIPTION: LOTS 5 AND 6, BLOCK 43 VALLEY VIEW ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DEVELOPMENT TYPE: MEDITATION TEMPLE
DEVELOPMENT SIZE: 1,010 S.F.
NEW BUILDING AREAS: 1,401 S.F.
FIRST LEVEL: 1,010 S.F.
SECOND LEVEL (STORAGE ONLY): 391 S.F.
TOTAL: 1,401 S.F.
LOT SIZE: 6,249 S.F. (0.14 ACRES)

PARKING CALCULATIONS

REQUIREMENT FOR PLACE OF WORKSHIP: 1 SPACE FOR EACH FOUR SEATS (KNEELING SPACE) IN MAIN ROOM (EACH 30 INCHES OF FEW SPACE (KNEELING SPACE) IS CONSIDERED ONE SEAT).

MAXIMUM 16 MONKS IN EDUCATION CENTER ROOM.

REQUIRED PARKING: 164 = 4
PROVIDED PARKING: 4

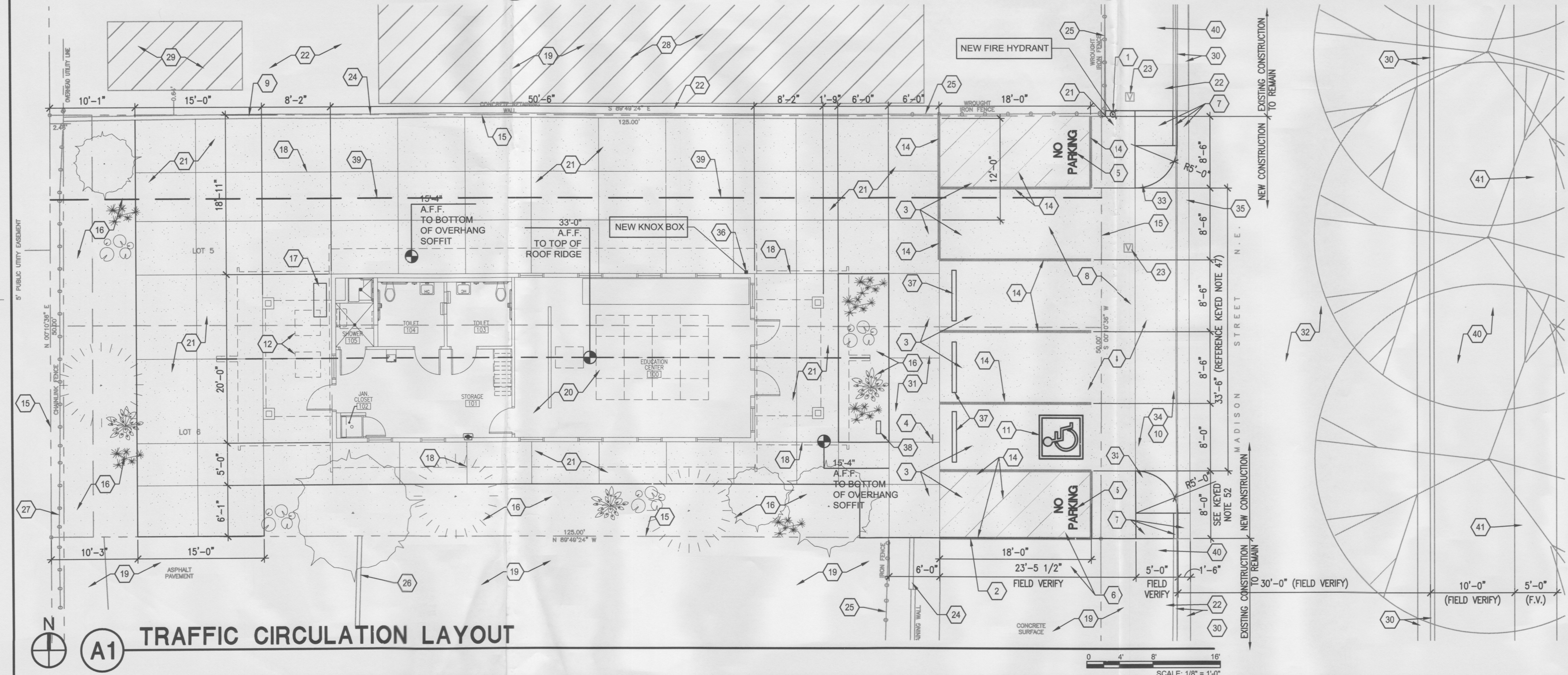
REQUIRED DESIGNATED DISABLED PARKING: 1
PROVIDED DESIGNATED DISABLED PARKING: 1

EXECUTIVE SUMMARY

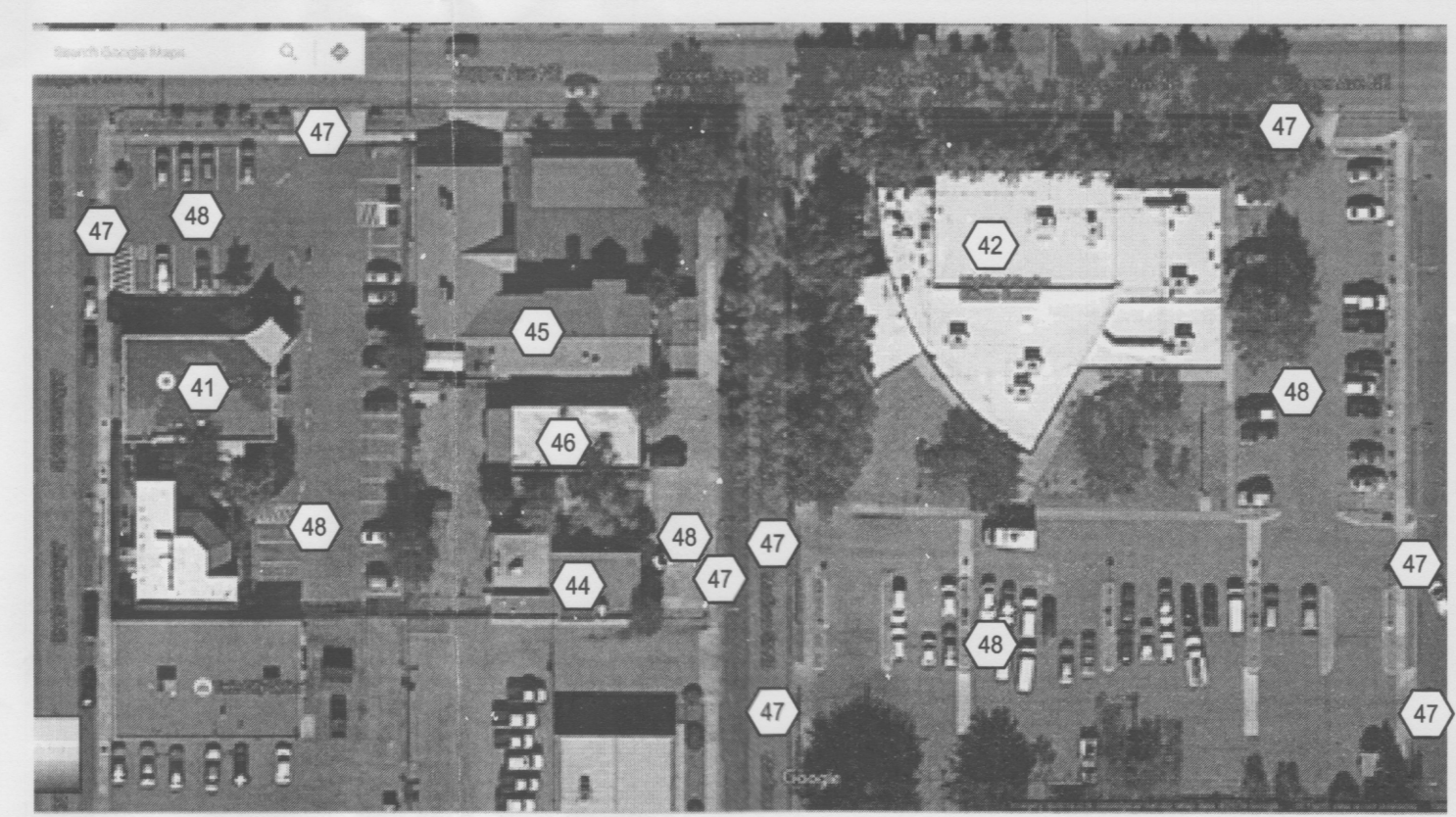
- A. GENERAL PROJECT LOCATION: NOB HILL AREA- ONE BLOCK NORTH OF CENTRAL ON MADISON (BETWEEN WASHINGTON ST. AND JACKSON ST.).
- B. DEVELOPMENT CONCEPT FOR SITE: RE-PAVE SITE AND EXISTING PARKING WITH CONCRETE PAVING, ADD LANDSCAPING TO MEET COA REQUIREMENTS, AND ADD NEW MEDITATION BUILDING.
- C. TRAFFIC CIRCULATION CONCEPT FOR THE SITE: TO MAINTAIN THE EXISTING CIRCULATION AS IS. CURRENTLY AN EASEMENT EXISTS WHICH WILL REMAIN ACCESSIBLE. PARKING WILL ALSO REMAIN AS WITH THE EXCEPTION OF A VAN ACCESSIBLE AND AISLE WILL BE ADDED. PARKING AREA WILL BE RE-PAVED BUT STRIPING WILL BE VERY SIMILAR TO EXISTING SO AS TO NOT DISTURB EXISTING TRAFFIC CIRCULATION. EXISTING CURB CUT DIMENSION IS +/- 36". NEW CURB CUT DIMENSION IS LESS AT 34'-0" AND WILL BE ADJUSTED SLIGHTLY TO THE SOUTH TO ALLOW FOR NEW VAN ACCESSIBLE PARKING SPACE ACCESS.
- D. IMPACT TO ADJACENT SITES: NONE. SAME NUMBER OF VEHICLE PARKING, ENTRY, EXIT WILL EXIST.

KEYED NOTES

- NEW FIRE HYDRANT LOCATION.
- NEW SLOPING CONCRETE LIP AT EXISTING CONCRETE SLAB TO REMAIN.
- SLOPE CONCRETE AT PARKING SPACES/ ACCESSIBLE PARKING AISLE TO BE FLUSH WITH CONCRETE SIDEWALK.
- NEW VAN ACCESSIBLE PARKING SIGN. SEE DETAIL B3/A5-501.
- NEW 2" TRAFFIC GRADE PAINTED LETTERING TO READ "NO PARKING".
- FIELD VERIFY EXISTING ADJACENT LOT PARKING SPACE WIDTH. NOTIFY ARCHITECT IF NEW ADA PARKING SPACE ACCESS AISLE REDUCES EXISTING PARKING SPACE WIDTH TO LESS THAN 8'-6" BEFORE STRIPING FOR DIRECTION.
- NEW CONCRETE SIDEWALK, CURB AND GUTTER.
- EXISTING PARKING AREA LOCATION TO REMAIN. NEW CONCRETE SLAB AND STRIPING AS SHOWN.
- EXISTING CONCRETE CURB RETAINING WALL.
- EXISTING CURB CUT DIMENSION IS +/- 36". NEW CURB CUT DIMENSION IS LESS AT 34'-0".
- PAINTED HC ACCESSIBLE PARKING SYMBOL. SEE DETAIL A3/A5-501.
- NEW OVERHEAD MECHANICAL EQUIPMENT (AT BUILDING PLATFORM).
- EXISTING CHAINLINK FENCE.
- NEW 4" PARKING STRIPING WITH TRAFFIC GRADE PAINT.
- EXISTING PROPERTY LINE.
- NEW LANDSCAPE AREA.
- HOT BOX (FOR BACKFLOW PREVENTER).
- NEW EXPANSION OR CONTROL JOINT. REFERENCE DETAIL A5/ AS-501.
- EXISTING ADJACENT LOT TO REMAIN.
- NEW BUILDING.
- NEW 4" THICK CONCRETE PAVING.
- EXISTING CONCRETE PAVING TO REMAIN.
- EXISTING WATER METER TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING IRON FENCE TO REMAIN.
- EXISTING CONCRETE BLOCK TO REMAIN.
- EXISTING CHAINLINK FENCE TO REMAIN.
- EXISTING BUILDING TO REMAIN.
- EXISTING SHED TO REMAIN.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- NEW CONCRETE SIDEWALK PER COA STANDARDS.
- EXISTING ASPHALT STREET TO REMAIN.
- NEW CONCRETE SIDEWALK RAMP PER COA STANDARDS.
- NEW CONCRETE RAMP (CURB CUT) PER COA STANDARDS.
- NEW CONCRETE GUTTER PER COA STANDARDS.
- KNOX BOX LOCATION.
- NEW CONCRETE WHEEL STOP.
- NEW 1'-0" X 4'-0" PREMISE ID. SIGN WITH 10" X 2" ADDRESS NUMBERS.
- EXISTING EASEMENT. REFERENCE GRANT OF EASEMENT (B2) THIS SHEET. INTENT IS TO NEIGHBORING ACCESS LOTS 7 AND 8 (CHIROPRACTOR) TO THE SOUTH.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING LANDSCAPE (GRAVEL AND TREES) AREA TO REMAIN.
- HIGHLAND SENIOR CITIZEN CENTER.
- HIGH DESERT YOGA.
- NEIGHBOR OFFICE BUILDING: ACUPUNCTURE CLINIC, SOFTWARE ENGINEER, PSYCHIATRIST, CHIROPRACTOR.
- EXISTING BUDDHIST BUILDING (SAME OWNER AS THIS PROJECT TEMPLE).
- EXISTING BUILDING TO BE REMOVED.
- EXISTING CURB CUT TO REMAIN.
- EXISTING PARKING TO REMAIN.



A1 TRAFFIC CIRCULATION LAYOUT



A4 SATELLITE VIEW

NCA
ARCHITECTS - PLANNERS - AIA

1306 R/O GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

ROBERT CALVAN
NO. 10553
CONSULTANT

PROJECT TITLE

**WAT
BUDDHOCOTHORN
- VIBES
BUDDHIST
TEMPLE**

ALBUQUERQUE
NEW MEXICO

REVISIONS:

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DATE: _____
DRAWN BY: _____
CHECKED BY: _____

PROJECT NUMBER:
A16.09

DATE:
JULY 27, 2016
SHEET TITLE:

**TRAFFIC
CIRCULATION
LAYOUT**

SHEET NO:

TCL-101

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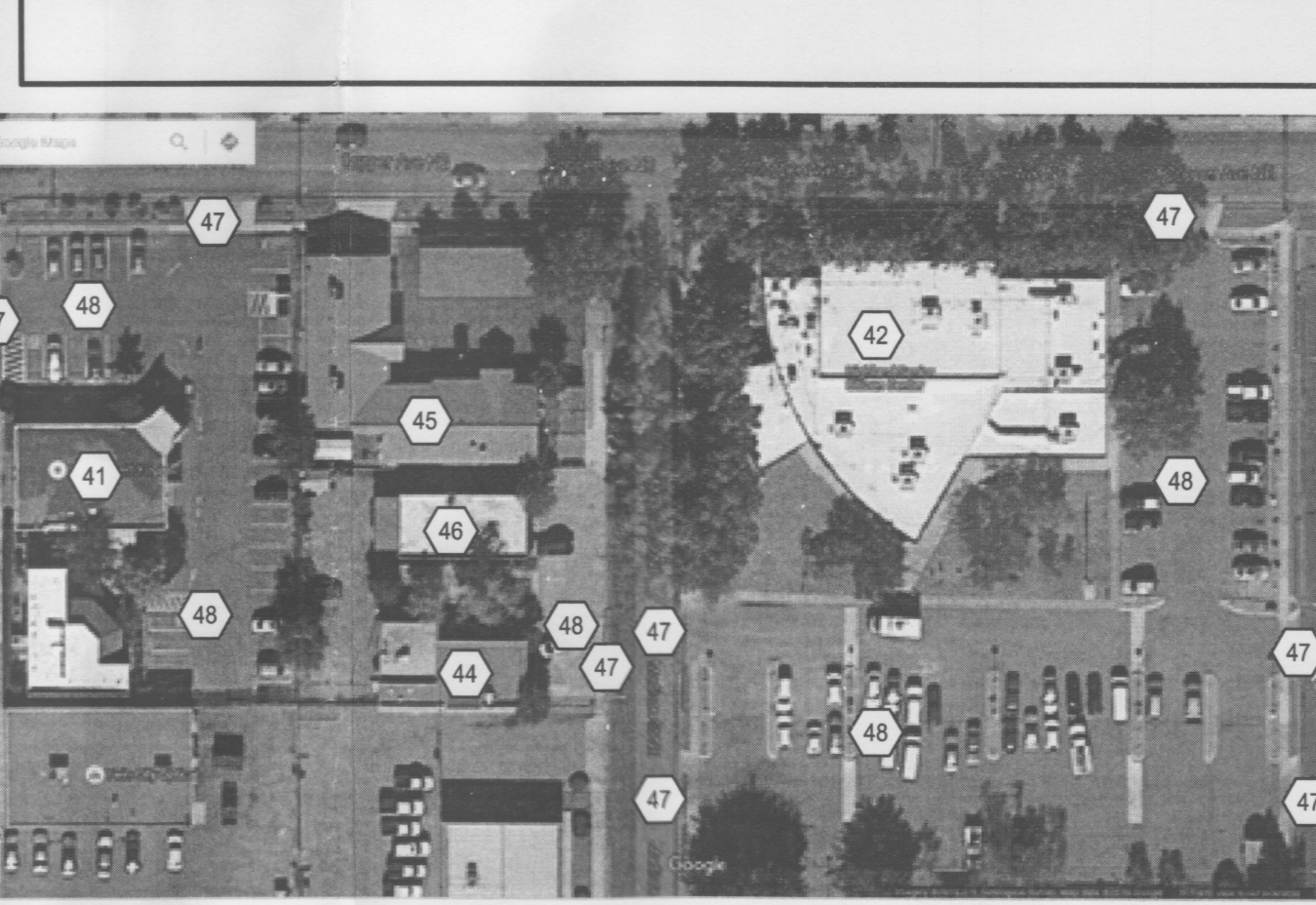
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PROVIDED PARKING: 4
REQUIRED DESIGNATED DISABLED PARKING: 1
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EXECUTIVE SUMMARY

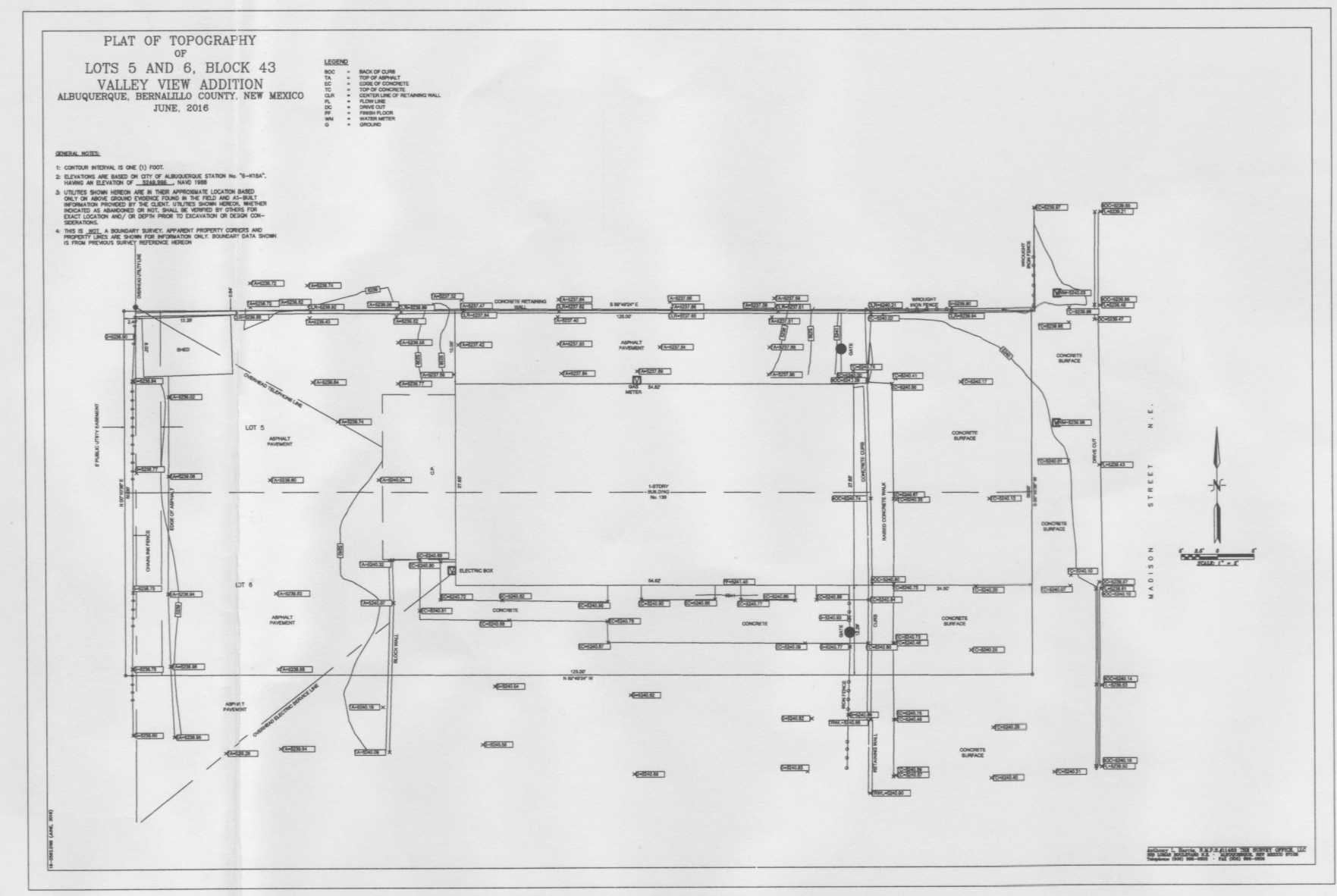
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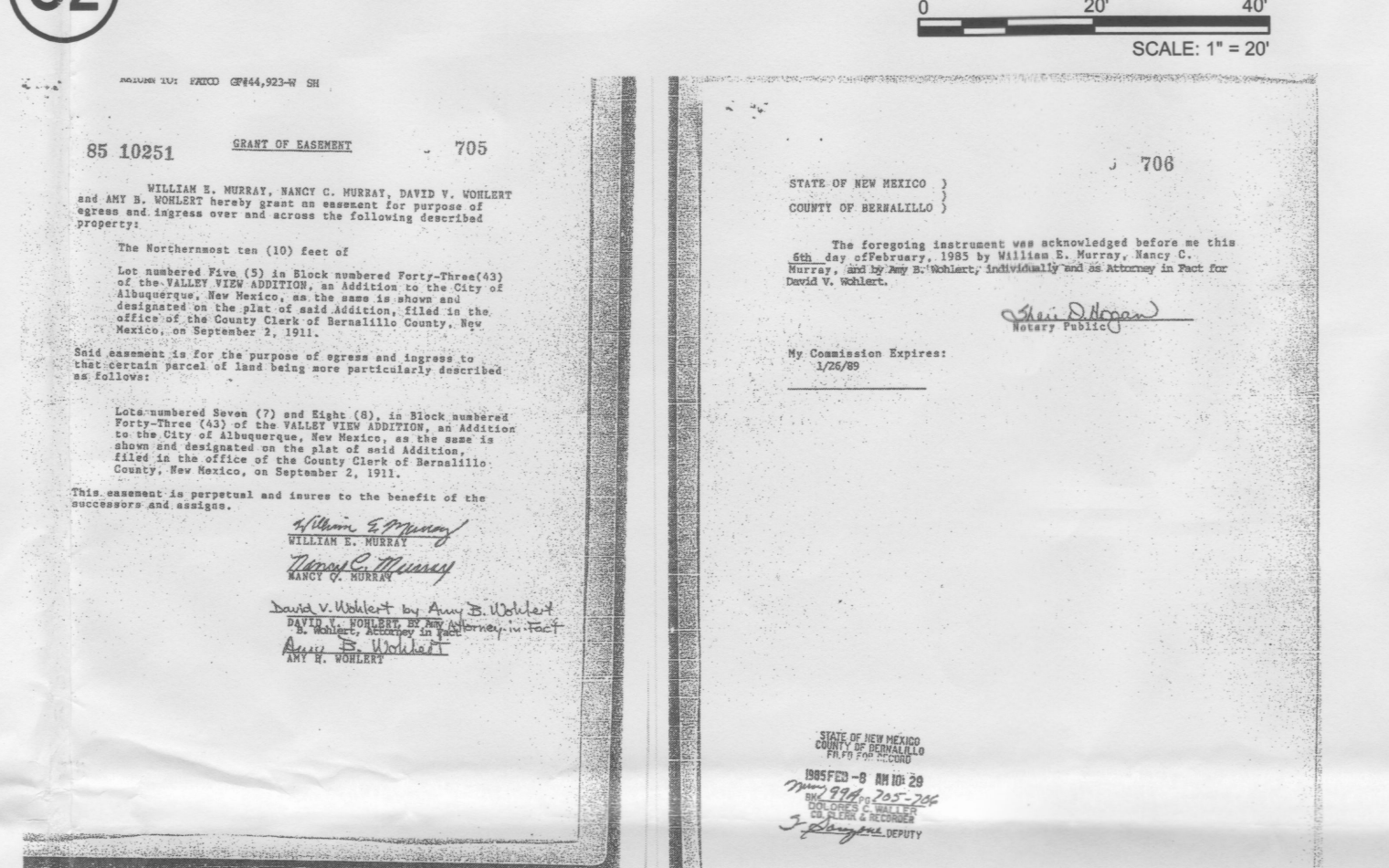
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- EXISTING CHAINLINK FENCE.
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- EXISTING PROPERTY LINE.
- NEW LANDSCAPE AREA.
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- EXISTING WATER METER TO REMAIN.
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- NEW CONCRETE RAMP (CURB CUT) PER COA STANDARDS.
- NEW CONCRETE GUTTER PER COA STANDARDS.
- KNOX BOX LOCATION.
- NEW CONCRETE WHEEL STOP.
- NEW 1'-6" W X 4" H PREMISE ID. SIGN WITH 10" X 2" ADDRESS NUMBERS.
- EXISTING EASEMENT. REFERENCE GRANT OF EASEMENT (B2) THIS SHEET. INTENT IS TO NEIGHBORING ACCESS LOTS 7 AND 8 (CHIROPRACTOR) TO THE SOUTH.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING LANDSCAPE (GRAVEL AND TREES) AREA TO REMAIN.
- HIGHLAND SENIOR CITIZEN CENTER.
- HIGH DESERT YOGA.
- NEIGHBOR OFFICE BUILDING: ACUPUNCTURE CLINIC, SOFTWARE ENGINEER, PSYCHIATRIST, CHIROPRACTOR.
- EXISTING BUDDHIST BUILDING (SAME OWNER AS THIS PROJECT TEMPLE).
- EXISTING BUILDING TO BE REMOVED.
- EXISTING CURB CUT TO REMAIN.
- EXISTING PARKING TO REMAIN.



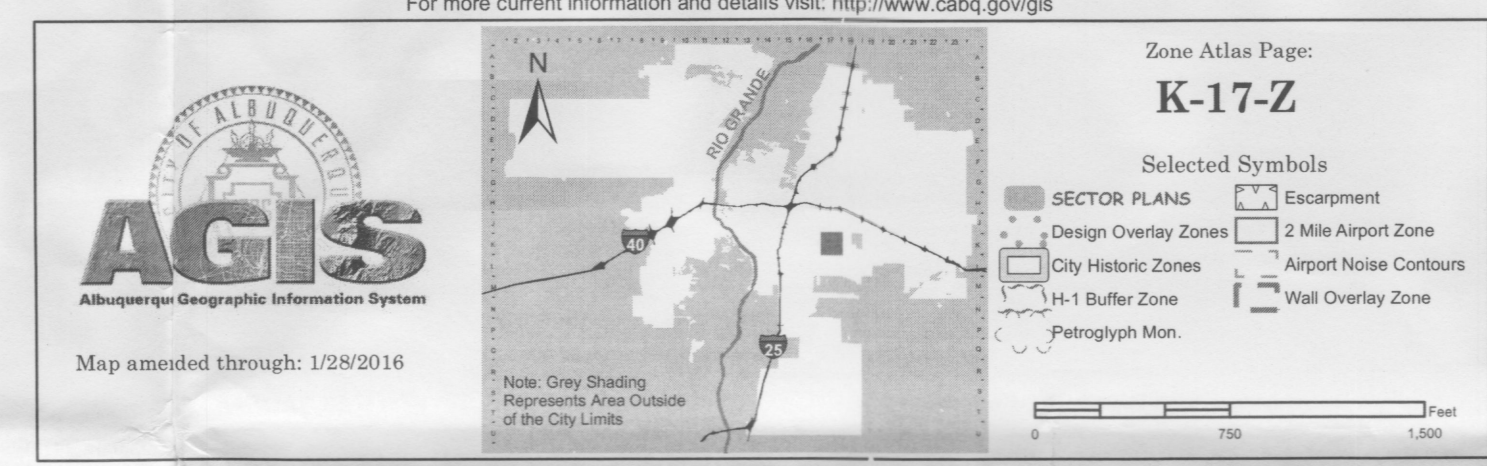
A4 SATELLITE VIEW



C2 PLAT OF TOPOGRAPHY



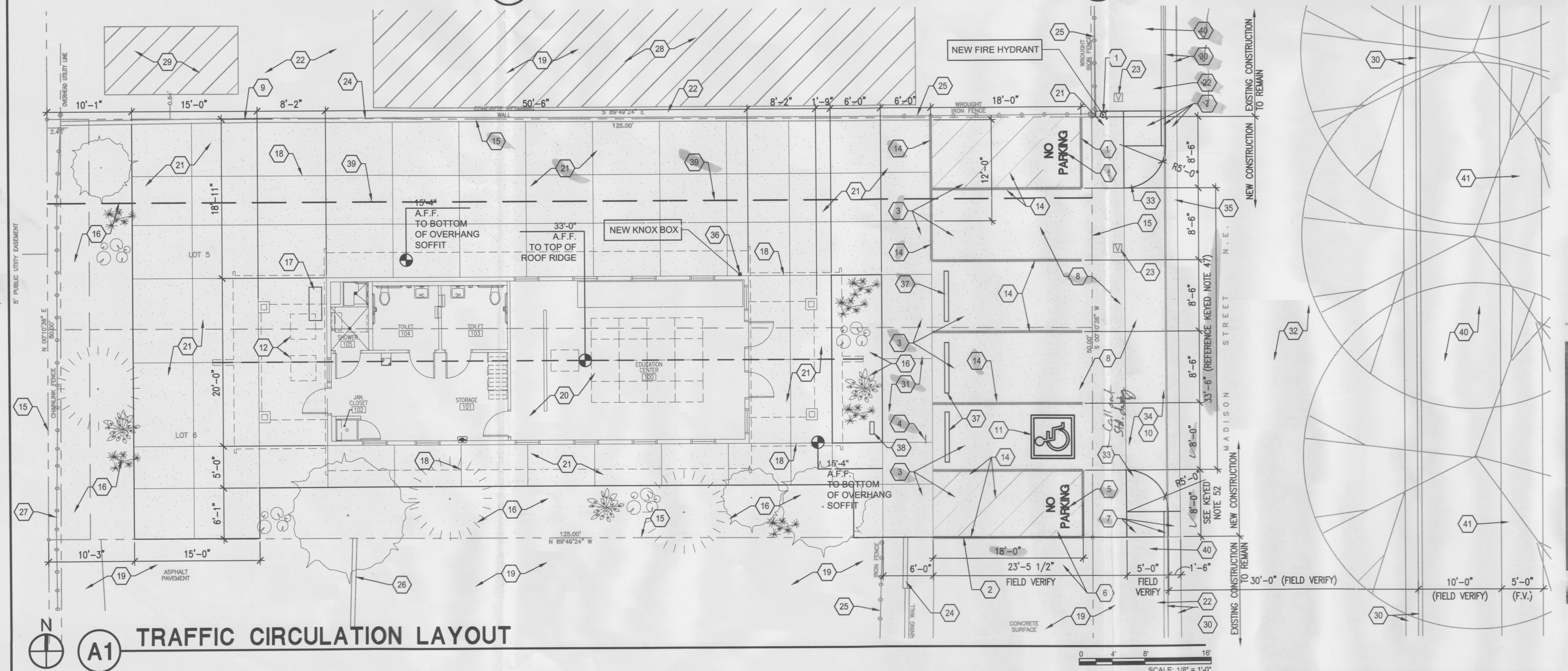
B2 GRANT OF EASEMENT



B3 VICINITY MAP (ZONE ATLAS MAP)

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature]
Date: 8/1/16

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



A1 TRAFFIC CIRCULATION LAYOUT