

CITY OF ALBUQUERQUE



August 1, 2016

Robert Calvani
NCA Architects
1306 Rio Grande Blvd NW
Albuquerque, NM 87104

Re: Wat Buddhocothorn-Vibes Buddhist Temple
139 Madison St NE
Traffic Circulation Layout
Architect's Stamp dated 07-27-16 (K17D112)

Dear Mr. Calvani,

The TCL submittal received 07-28-16 is conditionally approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

As a condition of release of final C.O. the following items must be corrected prior to release of Final Certificate of Occupancy.

1. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
2. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: WAT BUDDHOCOTHORN-VIBES BUDDHIST TEMPLE Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 5 AND 6, BLOCK 43 VALLEY VIEW ADDITION, ALBUQUERQUE, BERMA-

City Address: 139 MADISON ST. NE, ALBUQUERQUE, NM 87108 LILLO COUNTY, NM

Applicant: NCA ARCHITECTS Contact: JOHN LAYMAN

Address: 1306 RIO GRANDE BLVD. NW, ALBUQUERQUE NM 87104

Phone#: 505-255-6400 Fax#: 505-268-6954 E-mail: jlayman@nca-architects.com

Other Contact: NCA ARCHITECTS Contact: WILLY AMAYA

Address: 1306 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104

Phone#: 505-255-6400 Fax#: 505-268-6954 E-mail: wamaya@nca-architects.com

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

PRE-DESIGN MEETING? YES (3x)

IS THIS A RESUBMITTAL?: Yes No

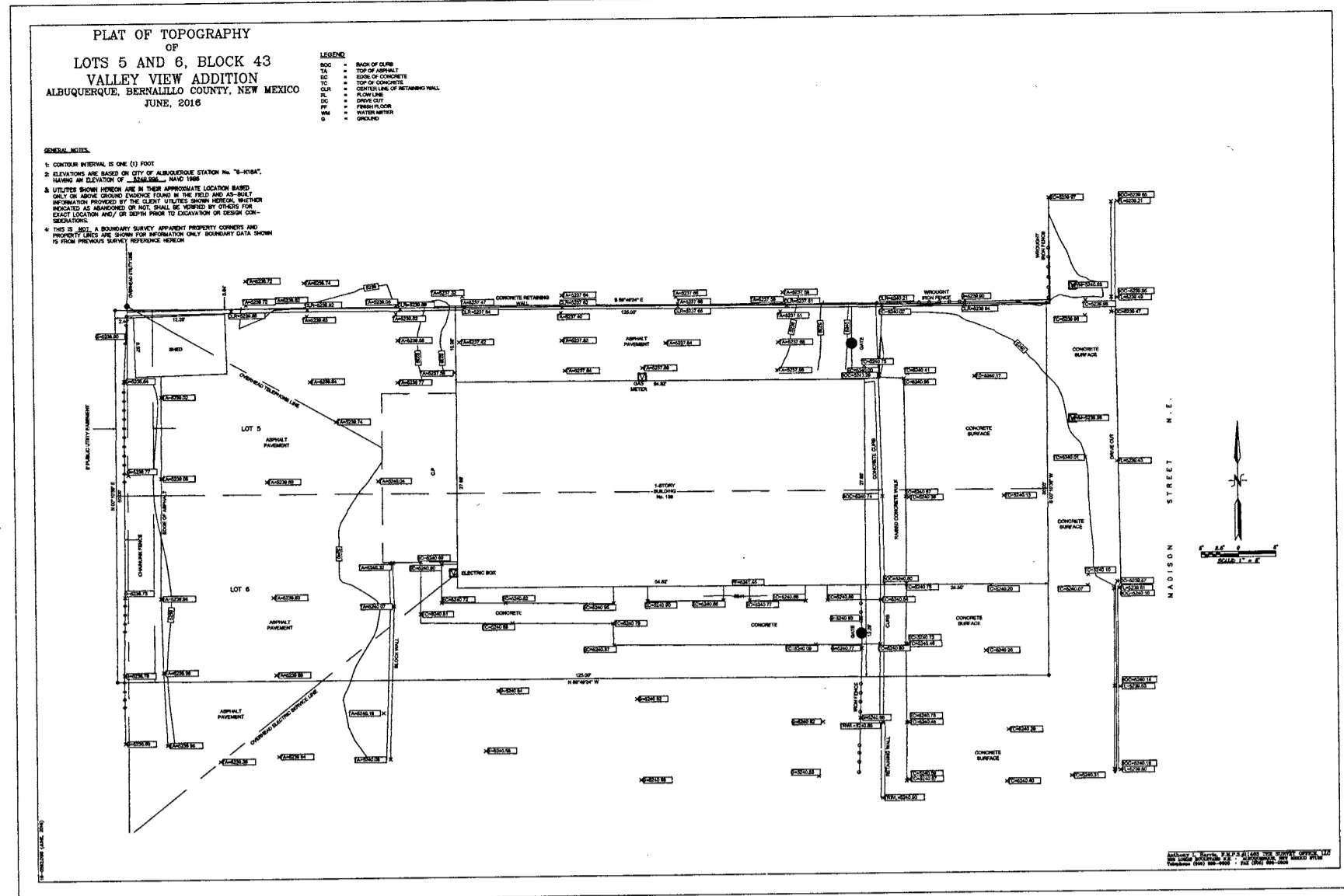
OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

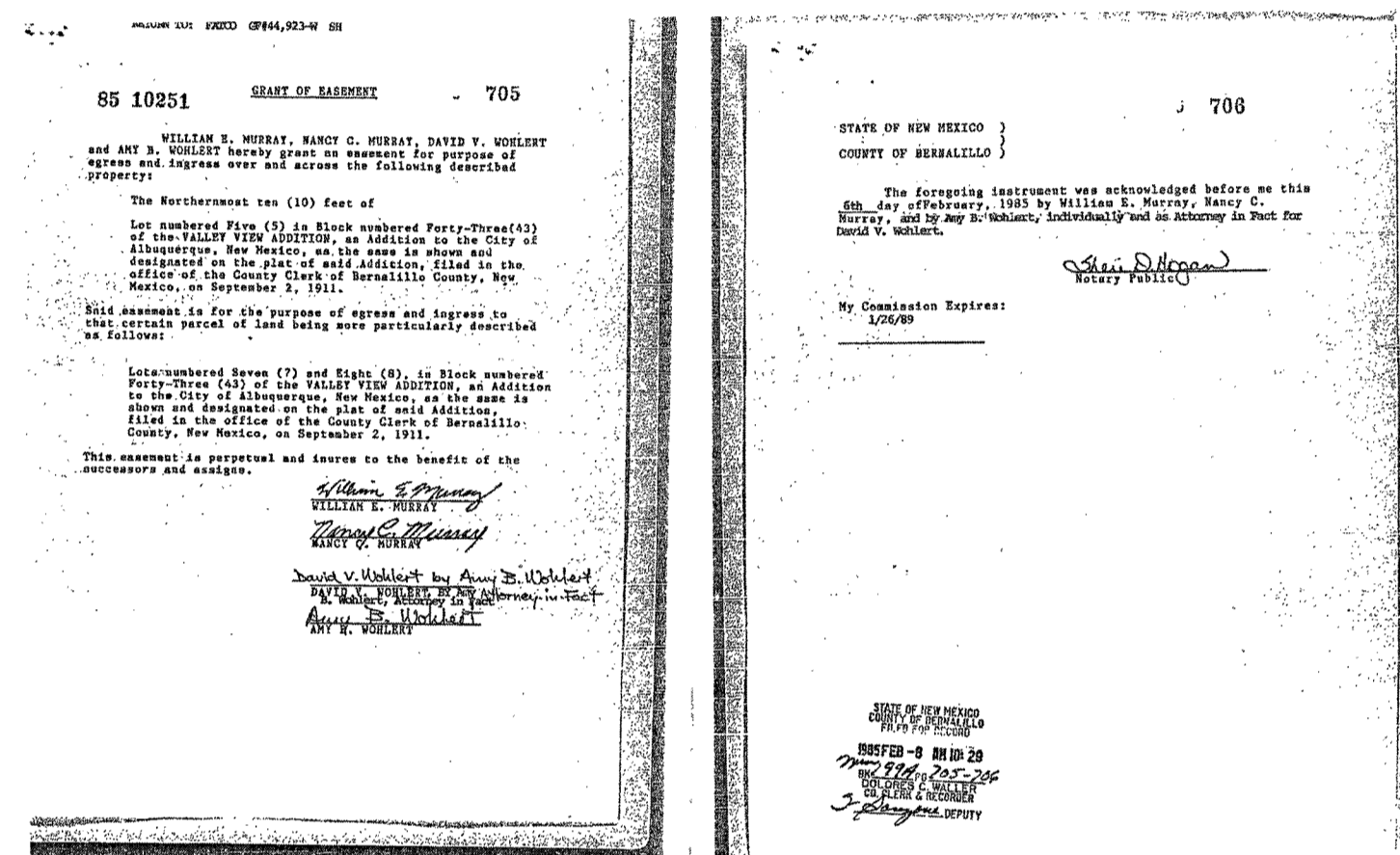
TRAFFIC CIRCULATION LAYOUT APPROVED

Signed _____ Date _____

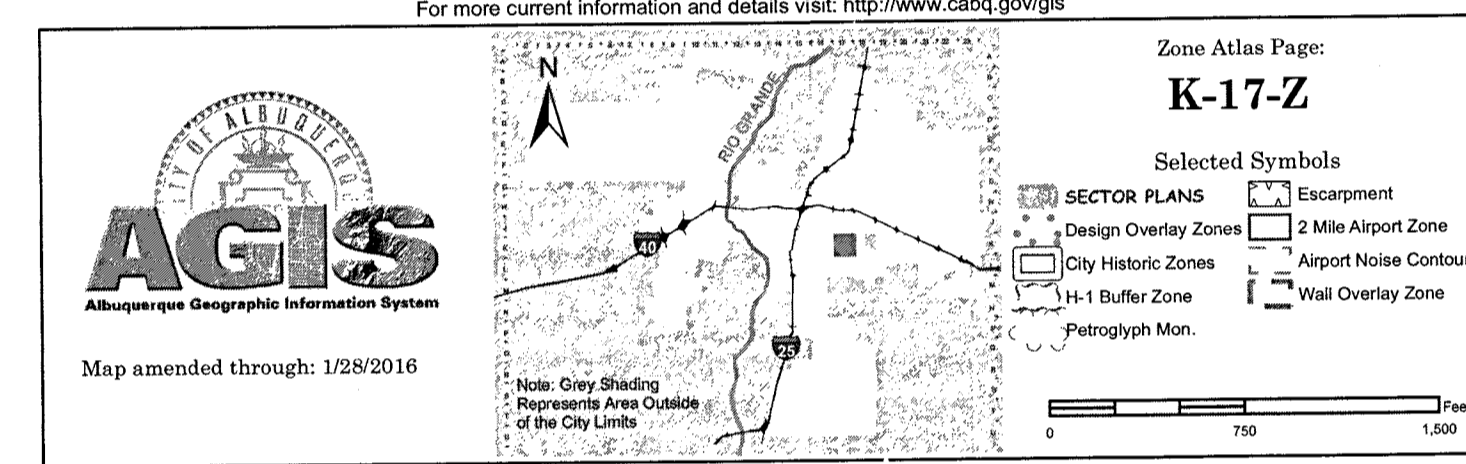
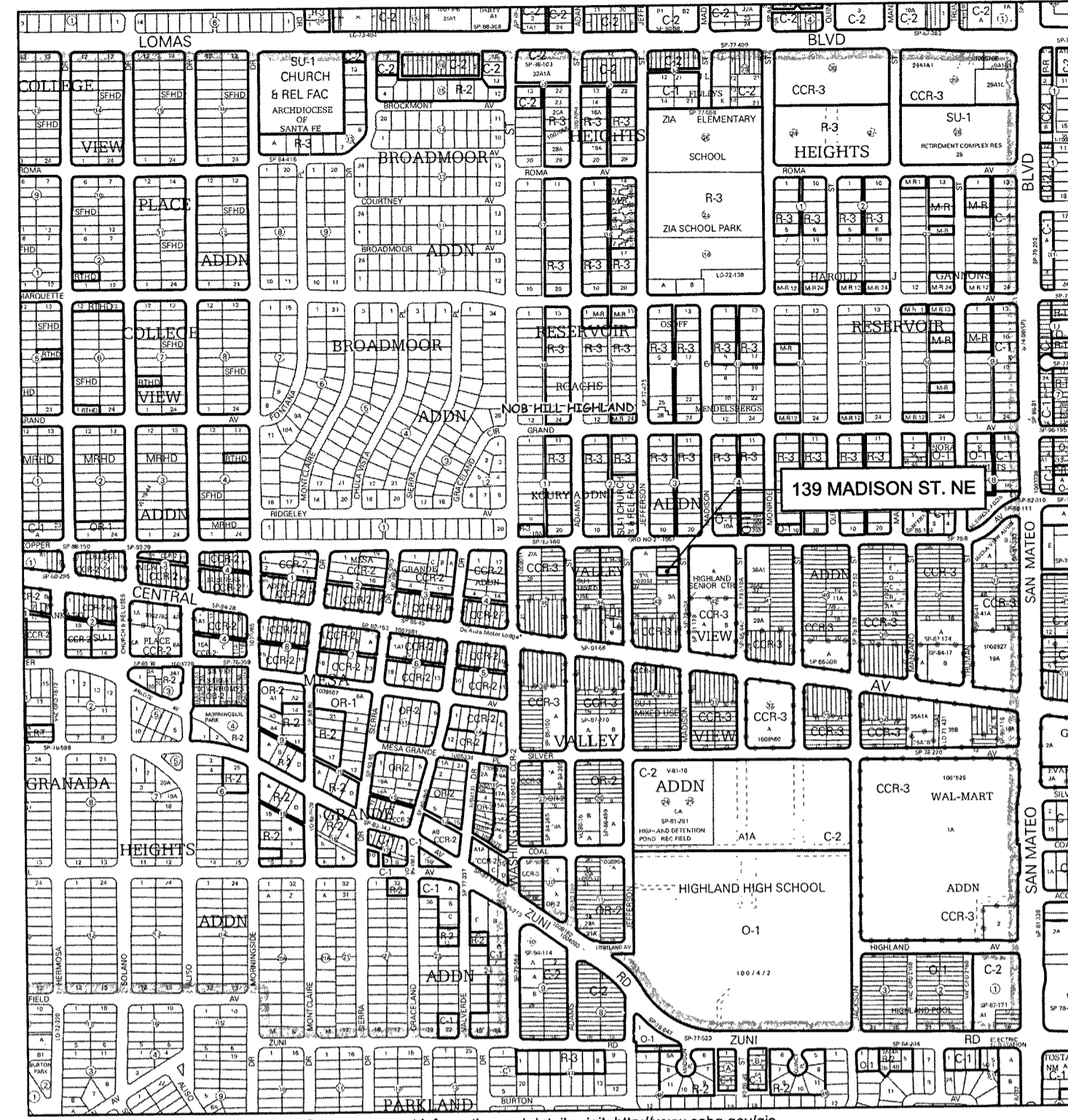
ALL WHEELCHAIR RAMP LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



C2 PLAT OF TOPOGRAPHY



B2 GRANT OF EASEMENT



B3 VICINITY MAP (ZONE ATLAS MAP)

GENERAL INFORMATION

- A. SLOPES REQUIREMENT: 1) PARKING LOTS REQUIRE A SLOPE BETWEEN 1% MIN. AND 8% MAX. 2) PARKING AREA ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES 1% MIN TO 2% MAX. 3) HANDICAP PARKING 1% MIN TO 6% MAX.
- B. ALL SIDEWALK AND CURB & GUTTER ALONG MADISON STREET MUST BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS. UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER. SEE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1998 - SECTION 2400 STANDARD DETAILS FOR PAVING DRAWING NUMBER 2415A - CURB CUT DETAILS, 2415B - GUTTER DETAILS, AND 2430 - SIDEWALK DETAILS.
- C. MAXIMUM GRADES SHOULD NOT EXCEED 8% IN PARKING AREAS. FOR MAJOR CIRCULATION AISLES AND ADJACENT TO MAJOR PEDESTRIAN ENTRANCES, THE GRADES SHOULD BE KEPT TO 6% OR LESS. HANDICAP ACCESS TO BUILDING NEEDS TO BE MAINTAINED.

PROPERTY INFORMATION

ADDRESS: 139 MADISON ST. NE, ALBUQUERQUE, NM 87108
 LEGAL DESCRIPTION: LOTS 5 AND 6, BLOCK 43 VALLEY VIEW ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 DEVELOPMENT TYPE: MEDITATION TEMPLE
 DEVELOPMENT SIZE: 1,010 S.F.
 NEW BUILDING AREAS:
 FIRST LEVEL: 1,010 S.F.
 SECOND LEVEL (STORAGE ONLY): 391 S.F.
 TOTAL: 1,401 S.F.
 LOT SIZE: 6,249 S.F. (0.14 ACRES)

PARKING CALCULATIONS

REQUIREMENT FOR PLACE OF WORSHIP: 1 SPACE FOR EACH FOUR SEATS (KNEELING SPACE) IN MAIN ROOM (EACH 30 INCHES OF PEW SPACE (KNEELING SPACE) IS CONSIDERED ONE SEAT).

MAXIMUM 16 MONKS IN EDUCATION CENTER ROOM.

REQUIRED PARKING: 16/4 = 4
 PROVIDED PARKING: 4

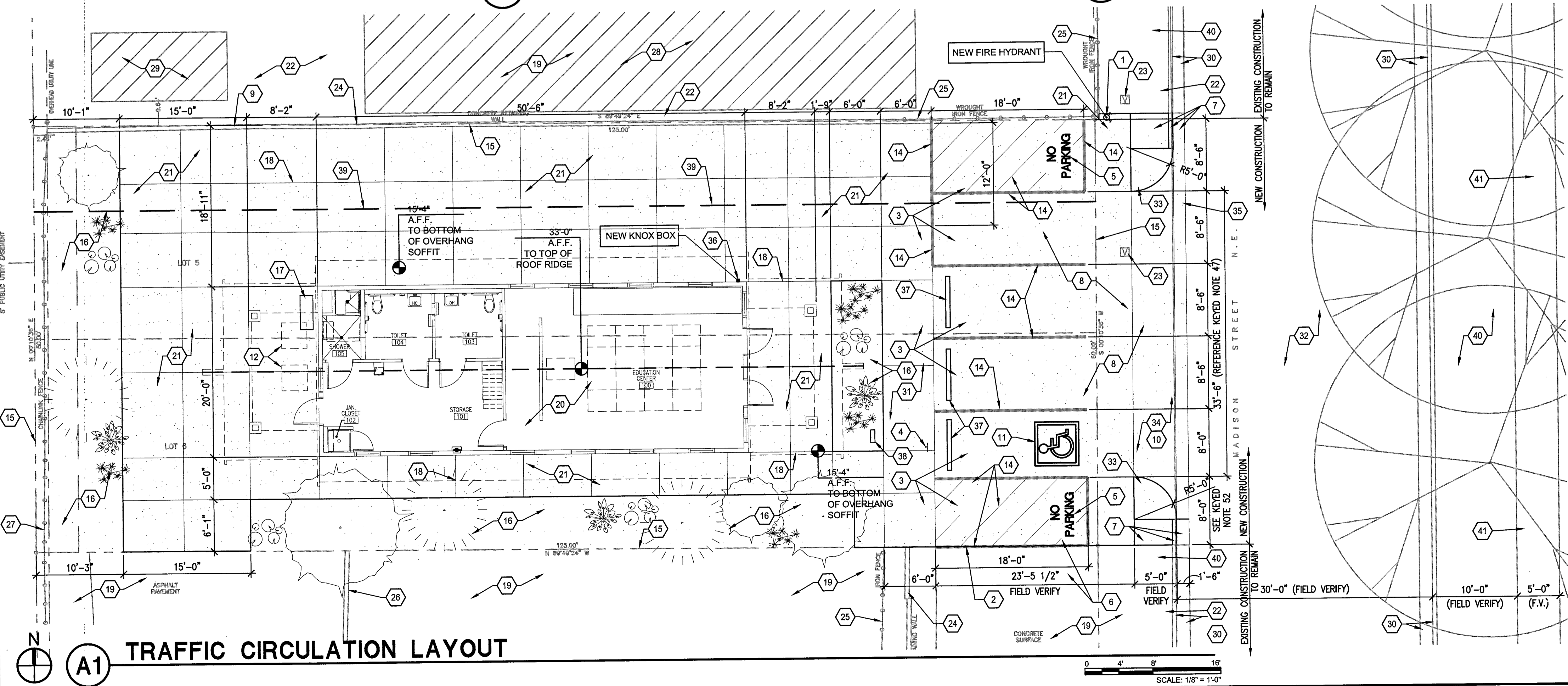
REQUIRED DESIGNATED DISABLED PARKING: 1
 PROVIDED DESIGNATED DISABLED PARKING: 1

EXECUTIVE SUMMARY

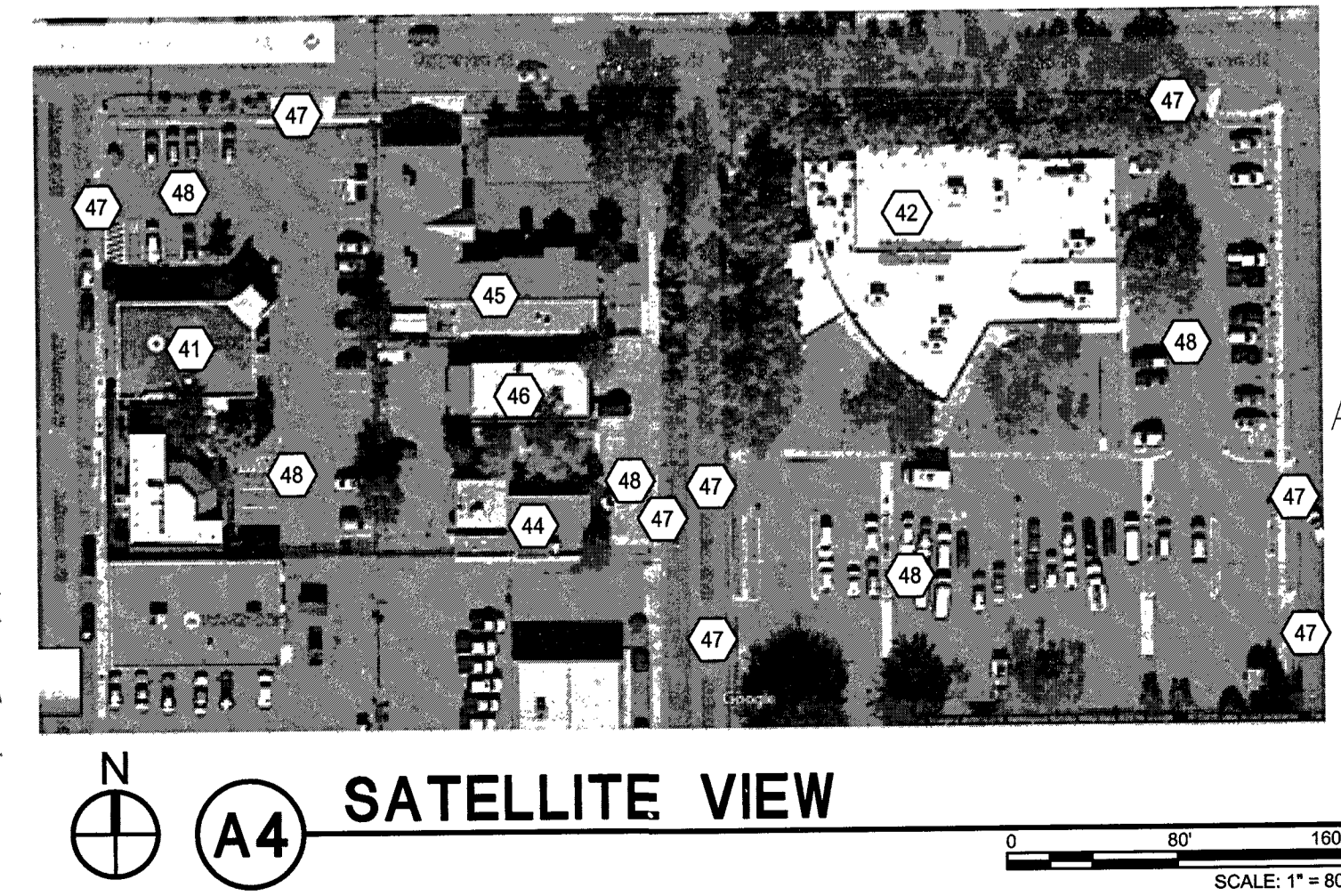
- A. GENERAL PROJECT LOCATION: NOB HILL AREA- ONE BLOCK NORTH OF CENTRAL ON MADISON BETWEEN WASHINGTON ST. AND JACKSON ST.
- B. DEVELOPMENT CONCEPT FOR SITE: RE-PAVE SITE AND EXISTING PARKING WITH CONCRETE PAVING, ADD LANDSCAPING TO MEET COA REQUIREMENTS, AND ADD NEW MEDITATION BUILDING.
- C. TRAFFIC CIRCULATION CONCEPT FOR THE SITE: TO MAINTAIN THE EXISTING CIRCULATION AS IS. CURRENTLY AN EASEMENT EXISTS WHICH WILL REMAIN ACCESSIBLE. PARKING WILL ALSO REMAIN AS IS WITH THE EXCEPTION OF A VAN ACCESSIBLE AND AISLE WILL BE ADDED. PARKING AREA WILL BE RE-PAVED BUT STRIPING WILL BE VERY SIMILAR TO EXISTING SO AS TO NOT DISTURB EXISTING TRAFFIC CIRCULATION. EXISTING CURB CUT DIMENSION IS 4'-36" NEW CURB CUT DIMENSION IS LESS AT 33'-6" AND WILL BE ADJUSTED Slightly TO THE SOUTH TO ALLOW FOR NEW VAN ACCESSIBLE PARKING SPACE ACCESS. IMPACT TO ADJACENT SITES: NONE. SAME NUMBER OF VEHICLE PARKING, ENTRY, EXIT WILL EXIST.

KEYED NOTES

1. NEW FIRE HYDRANT LOCATION.
2. NEW SLOPING CONCRETE LIP AT EXISTING CONCRETE SLAB TO REMAIN.
3. SLOPE CONCRETE AT PARKING TO ACCESSIBLE PARKING AISLE TO BE FLUSH WITH CONCRETE SIDEWALK.
4. NEW VAN ACCESSIBLE PARKING SIGN. SEE DETAIL B3/AS-501.
5. NEW 2" TRAFFIC GRADE PAINTED LETTERING TO READ "NO PARKING".
6. FIELD VERIFY EXISTING ADJACENT LOT PARKING SPACE WIDTH. NOTIFY ARCHITECT IF NEW ADA PARKING SPACE ACCESS AISLE REDUCES EXISTING PARKING SPACE WIDTH TO LESS THAN 8'-6" BEFORE STRIPING FOR DIRECTION.
7. NEW CONCRETE SIDEWALK, CURB AND GUTTER.
8. EXISTING PARKING AREA LOCATION TO REMAIN. NEW CONCRETE SLAB AND STRIPING AS SHOWN.
9. EXISTING CONCRETE CURB/RETAINING WALL.
10. EXISTING CURB CUT DIMENSION IS 4'-36" NEW CURB CUT DIMENSION IS LESS AT 34'-0".
11. PAINTED HC ACCESSIBLE PARKING SYMBOL. SEE DETAIL A3/AS-501.
12. NEW OVERHEAD MECHANICAL EQUIPMENT (AT BUILDING PLATFORM).
13. EXISTING CHAINLINK FENCE.
14. NEW 4" PARKING STRIPING WITH TRAFFIC GRADE PAINT.
15. EXISTING PROPERTY LINE.
16. NEW LANDSCAPE AREA.
17. HOT BOX (FOR BACKFLOW PREVENTER).
18. NEW EXPANSION OR CONTROL JOINT. REFERENCE DETAIL A5/AS-501.
19. EXISTING ADJACENT LOT TO REMAIN.
20. NEW BUILDING.
21. NEW 4" THICK CONCRETE PAVING.
22. EXISTING CONCRETE PAVING TO REMAIN.
23. EXISTING WATER METER TO REMAIN.
24. EXISTING CONCRETE CURB TO REMAIN.
25. EXISTING IRON FENCE TO REMAIN.
26. EXISTING CONCRETE BLOCK TO REMAIN.
27. EXISTING CHAINLINK FENCE TO REMAIN.
28. EXISTING BUILDING TO REMAIN.
29. EXISTING SHED TO REMAIN.
30. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
31. NEW CONCRETE SIDEWALK PER COA STANDARDS.
32. EXISTING ASPHALT STREET TO REMAIN.
33. NEW CONCRETE SIDEWALK RAMP PER COA STANDARDS.
34. NEW CONCRETE RAMP (CURB CUT) PER COA STANDARDS.
35. NEW CONCRETE GUTTER PER COA STANDARDS.
36. KNOX BOX LOCATION.
37. NEW CONCRETE WHEEL STOP.
38. NEW 1'-8" X 4" PREMISE I.D. SIGN WITH 10" X 2" ADDRESS NUMBERS.
39. EXISTING EASEMENT. REFERENCE GRANT OF EASEMENT (B2) THIS SHEET. INTENT IS TO NEIGHBORING ACCESS LOTS 7 AND 8 (CHIROPRACTOR) TO THE SOUTH.
40. EXISTING CONCRETE SIDEWALK TO REMAIN.
41. EXISTING LANDSCAPE (GRAVEL AND TREES) AREA TO REMAIN.
42. HIGHLAND SENIOR CITIZEN CENTER.
43. HIGH DESERT YOGA.
44. NEIGHBOR OFFICE BUILDING: ACUPUNCTURE CLINIC, SOFTWARE ENGINEER, PSYCHIATRIST, CHIROPRACTOR.
45. EXISTING BUDDHIST BUILDING (SAME OWNER AS THIS PROJECT TEMPLE).
46. EXISTING BUILDING TO BE REMOVED.
47. EXISTING CURB CUT TO REMAIN.
48. EXISTING PARKING TO REMAIN.



A1 TRAFFIC CIRCULATION LAYOUT

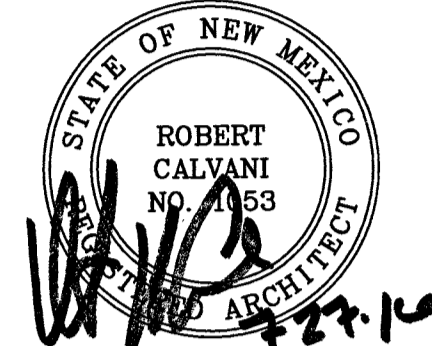


A4 SATELLITE VIEW



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 ALBUQUERQUE, NM 87104
 505-255-6400 505-268-8954 FAX
 WWW.NCA-ARCHITECTS.COM

ARCHITECT



CONSULTANT

PROJECT TITLE

WAT BUDDHOCOTHORN - VIBES BUDDHIST TEMPLE

ALBUQUERQUE NEW MEXICO

REVISIONS:

MK	DATE	DESCRIPTION

DRAWN BY: _____ CHECKED BY: _____

WA _____ JL _____

PROJECT NUMBER:

A16.09

DATE:

JULY 27, 2016

SHEET TITLE:

TRAFFIC CIRCULATION LAYOUT

SHEET NO.:

TCL-101