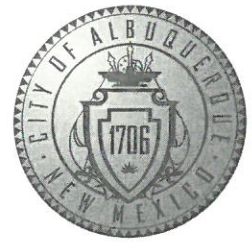


CITY OF ALBUQUERQUE



January 13, 2017

Richard J. Berry, Mayor

Scott M. McGee, P.E.
SMMPE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM, 87111

RE: **Buddhist Temple**
Grading and Drainage Plan
Engineer's Stamp Date 11-11-16 (File: K17D112)

Dear Mr. McGee:

Based upon the information provided in your submittal received 12-28-2016, the following comments need to be addressed for approval of the Building Permit:

1. The Drainage Approach currently states that all flows are to be conveyed *west* to the existing drive pad. The only existing drive pad is to the *east* on Madison Street, is this the referred to drivepad?
2. As shown on the drawing, a north-south grade break roughly bisects the lot, sending some flow east towards Madison Street and some flow west towards the back of the lot. The area flowing toward the back of lot will need to be detained on-site for the 100-year, 10-day storm event. Several measures are recommended to accomplish this:
 - a. A short (approximately 18" high) header wall may be placed along the back of the lot and waterproofed in order to raise the ponding depth to 5240'. This will increase ponding area and depth, while remaining at least one foot below the finished grade of the slab.
 - b. The proposed depressed landscape areas may be widened, deepened and combined into one to contain a greater volume.Supporting calculations would be needed if an above option is selected. Options that would not require detaining the 100-year, 10 day storm include:
 - a. Regrading the lot to convey all flows towards Madison Street. This will likely require raising the finished grade of the building slab.
 - b. A private drainage easement with the adjoining lot may be negotiated to convey flows to either Copper Avenue or Jefferson Street.

The following minor edits, not required for approval should also be corrected:

1. Provide finished grade spot elevations for bottom of depressed landscape areas.

2. Correct build note "...2%% (max) cross-slope."
3. 4x font on "Madison Street" label

Although not required, the areas labelled "no parking" may be left as crusher-fines or converted to landscaping with westward flows routed through them to decrease impervious area. If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Peterson', with a stylized, flowing script.

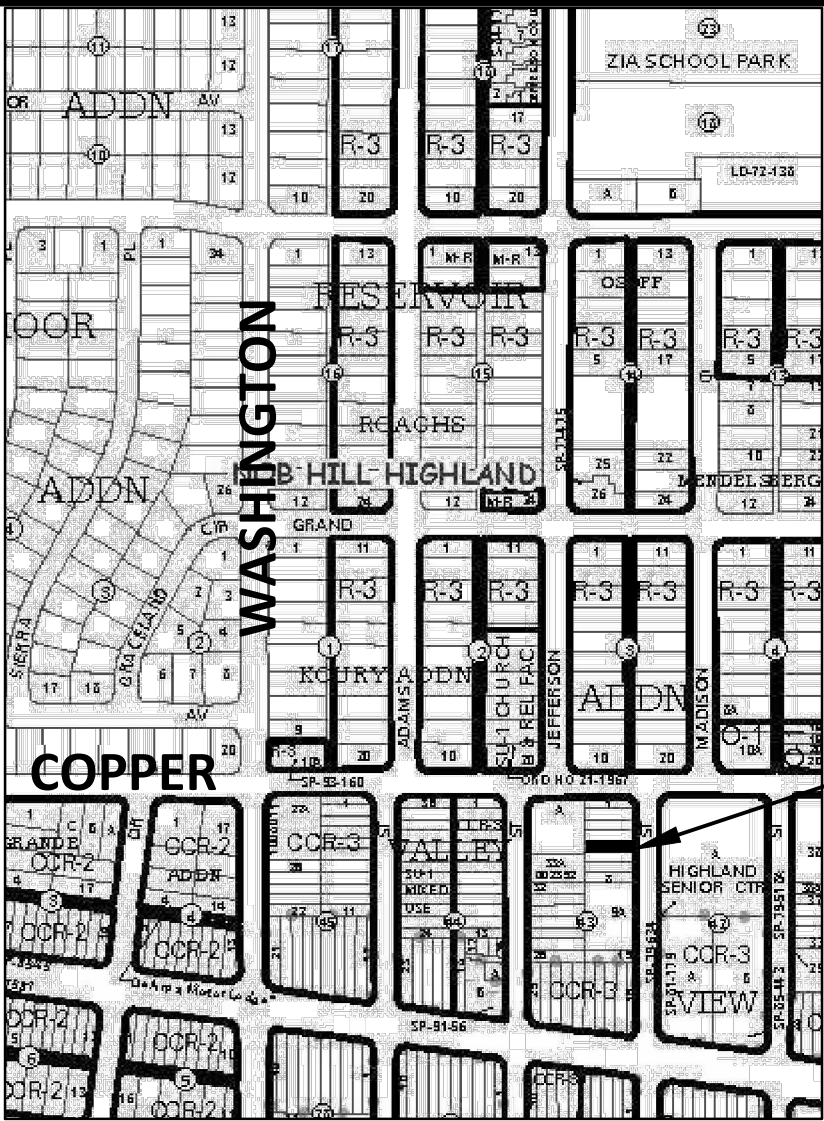
Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

2.0.19: NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R/W.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL
NAME _____ DATE _____

INSPECTOR _____



VICINITY MAP K-17-Z NOT TO SCALE

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=4969.21 EXISTING BUILDING FINISH FLOOR ELEV
- ◆ 36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- ← RD ROOF DRAIN
- ▬ RETAINING WALL
- TRW TOP OF RETAINING WALL
- BW BOTTOM OF WALL

DRAINAGE ANALYSIS

ADDRESS: 139 Madison Street NE, Albuquerque, NM

LEGAL DESCRIPTION: Lots 5 & 6, BLOCK 43, VALLEY VIEW ADDITION

AREA: 6,250 SF (0.14 acre)

BENCHMARK: City of Albuquerque Station '6-K18A' being a brass cap ELEV= 5249.996 (NAVD 1988)

SURVEYOR: Harris Surveying, Inc. dated June, 2016

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0354H (8/16/12), this site is identified as being within Zone 'X' which is located outside the 0.2% chance annual floodplain.

EXISTING CONDITIONS: The site is developed with an existing building and paved parking area. The site has minimal landscaping and is mainly impervious.

PROPOSED IMPROVEMENTS: The proposed improvements include a 1,000 square foot building with paved parking area and associated landscaping.

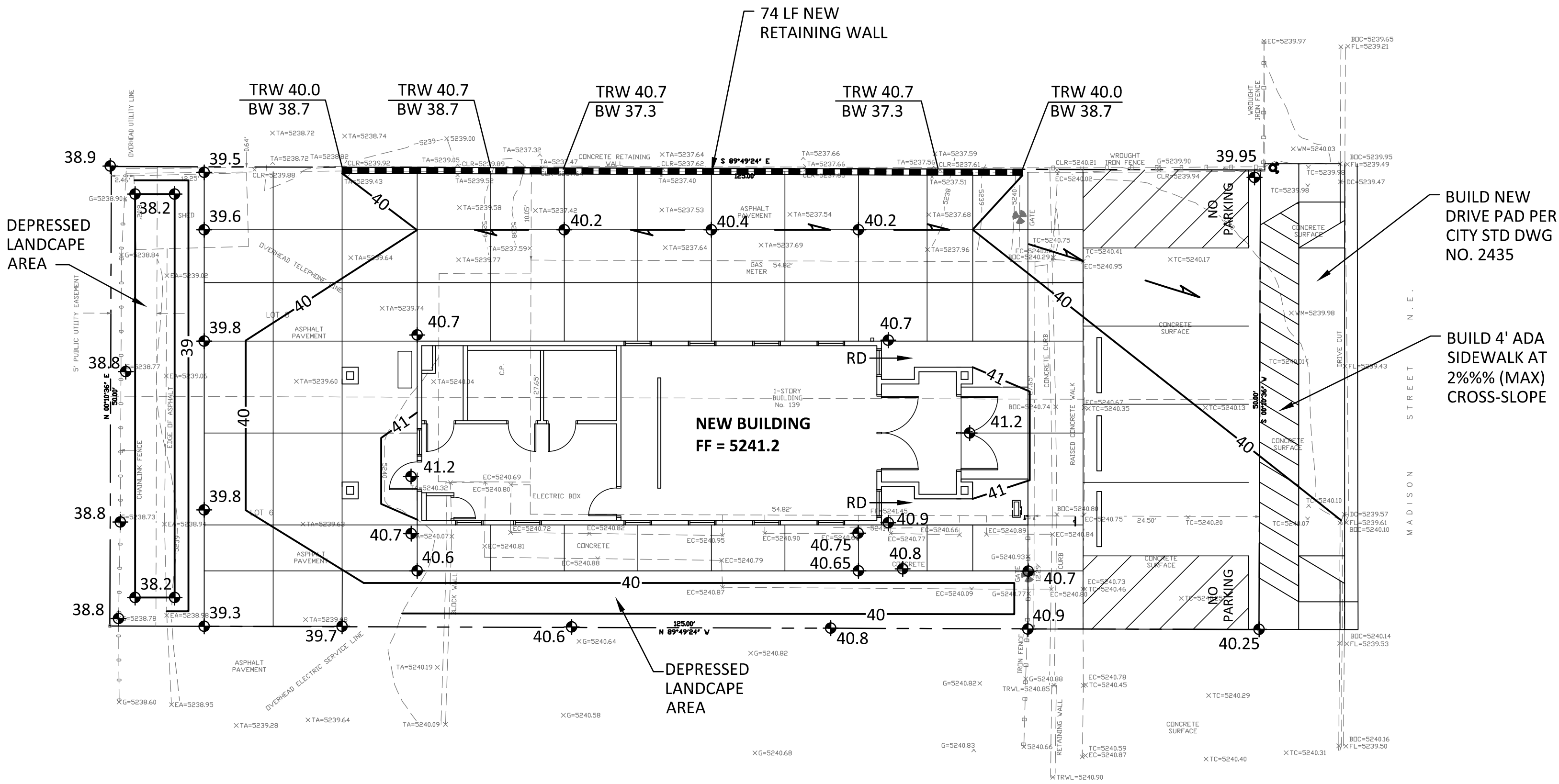
DRAINAGE APPROACH: The drainage plan will direct flows to the west side of the parking lot where they will be discharged through the existing drive pad.

Existing land treatment: 6% C & 94% D Precipitation Zone: 2
 $Q = [(0.06)(3.14) + (0.94)(4.70)](0.14) = 0.6 \text{ CFS}$

Proposed land treatment: 16% C and 84% D
 $Q = [(0.16)(3.14) + (0.84)(4.70)](0.14) = 0.6 \text{ CFS}$
First flush $V = (5,250)(0.34/12) = 149 \text{ CF}$

Storage volume provided: $V = (45 \times 8 \times 0.3') + (70 \times 5 \times 0.3') = 213 \text{ CF}$

The proposed depressed landscape area will contain the first flush volume. Site runoff will not increase and won't impact downstream drainage facilities.



GRADING AND DRAINAGE PLAN

1" = 10'

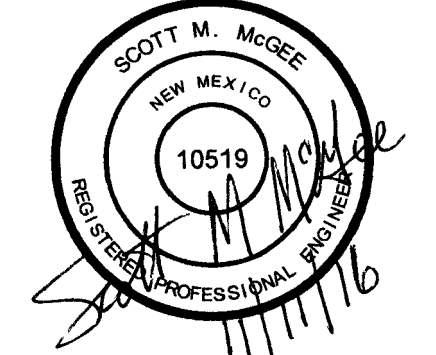
0 10' 20'



1306 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104
505-255-6400 505-268-6954 FAX
WWW.NCA-ARCHITECTS.COM

ARCHITECT

CONSULTANT



PROJECT TITLE

WAT
BUDDHASOTHORN
- VIDES
BUDDHIST
TEMPLE

ALBUQUERQUE
NEW MEXICO

REVISIONS:

MK DATE DESCRIPTION

DRAWN BY: CHECKED BY:

CB SMM

PROJECT NUMBER:

A16.09

DATE:

NOVEMBER 11, 2016

SHEET TITLE:

GRADING PLAN

SHEET NO:

C-101