

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

September 20, 2017

Mike Walla, P.E.
Walla Engineering
6501 Americas Pwky NE, Suite 301
Albuquerque, NM, 87110

**RE: The Cage
Grading and Drainage Plan
Stamp Date: 9/13/17
Hydrology File: K17D114**

Dear Mr. Walla:

PO Box 1293

Based upon the information provided in your resubmittal received 9/13/2017, the Grading and Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

www.cabq.gov

Sincerely,

Reneé C. Brissette

Reneé C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION

____ CONCEPTUAL G & D PLAN

____ GRADING PLAN

____ DRAINAGE MASTER PLAN

____ DRAINAGE REPORT

____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)

____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____

____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL

____ SITE PLAN FOR SUB'D APPROVAL

____ SITE PLAN FOR BLDG. PERMIT APPROVAL

____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE

____ FOUNDATION PERMIT APPROVAL

____ GRADING PERMIT APPROVAL

____ SO-19 APPROVAL

____ PAVING PERMIT APPROVAL

____ GRADING/ PAD CERTIFICATION

____ WORK ORDER APPROVAL

____ CLOMR/LOMR

____ OTHER (SPECIFY) _____

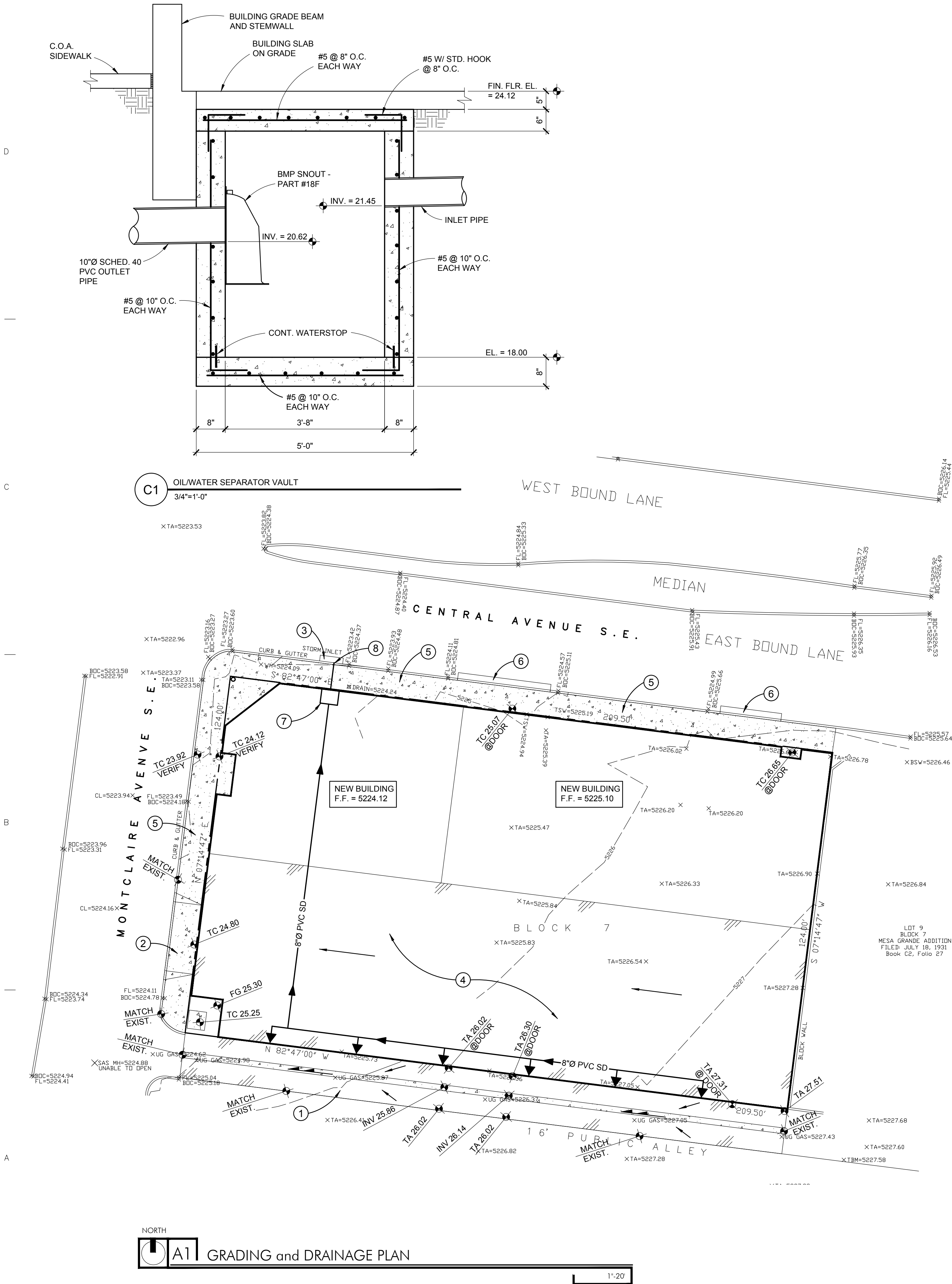
IS THIS A RESUBMITTAL?: ____ Yes ____ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



A1 GRADING and DRAINAGE PLAN

SHEET KEYNOTES

- 1 REMOVE AND REPLACE EXISTING ALLEY ASPHALT PAVING PER CITY OF ALBUQUERQUE STANDARD DRAWINGS #2411 AND #2415
- 2 NEW CONCRETE DRIVE PAD PER CITY OF ALBUQUERQUE STANDARD DRAWING #2425
- 3 REMOVE DEBRIS AT GRATE INSIDE EXISTING STORM INLET
- 4 SEE SHEET S101 FOR ASPHALT PAVING GRADE INSIDE BUILDING FOOTPRINT
- 5 REMOVE AND REPLACE EXISTING CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. #2430
- 6 REMOVE EXISTING LAYDOWN CURB AND GUTTER AND REPLACE WITH NEW CURB AND GUTTER PER C.O.A. STANDARD DWG. #2415
- 7 CONCRETE VAULT FOR OIL/WATER SEPARATION PER DETAIL C1/C101
- 8 CONNECT 10"Ø STORM DRAIN OUTLET PIPE TO BACK OF EXISTING STORM INLET PER C.O.A. STANDARD DWG. #2237

LEGEND

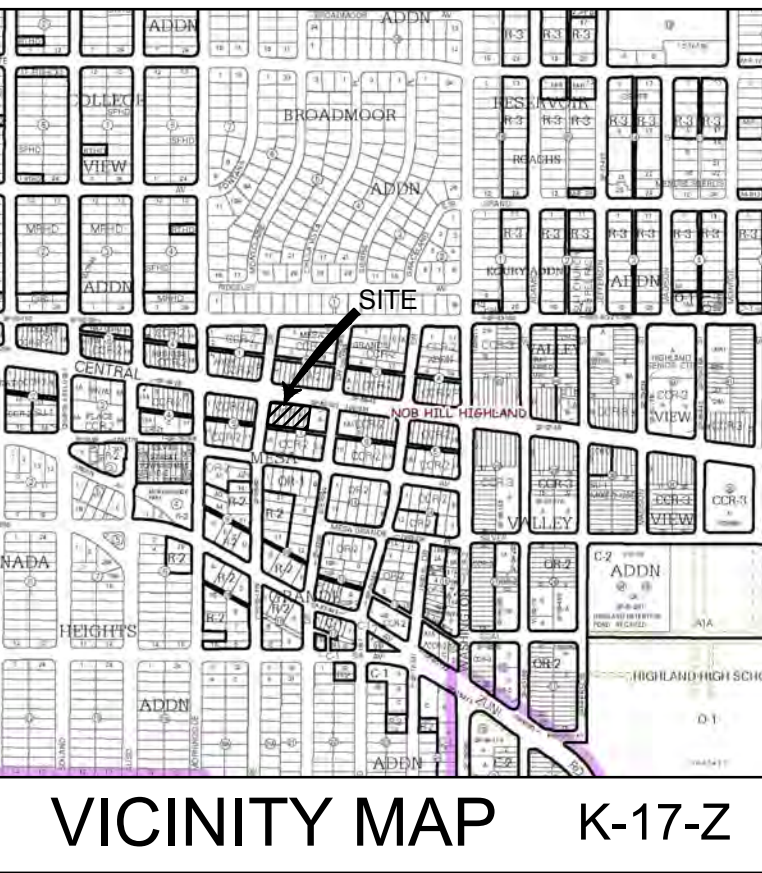
Legend defining symbols for property line, existing contour, existing spot elevation, new spot elevation, building outline at main level, back of curb, flow line, top of asphalt, top of concrete, finished floor, finished grade, storm drain, invert, manhole, sanitary sewer, underground, roof drain, flow direction, swale, new asphalt paving, and new concrete paving.

DESIGN NARRATIVE

THE SUBJECT PROJECT IS A 0.596 ACRE DEVELOPED SITE THAT HAD PREVIOUSLY BEEN THE LOCATION OF A NIGHTCLUB AND PAVED PARKING LOT. THIS BUILDING HAS BEEN REMOVED AND ALL OTHER EXISTING SURFACE PAVING WILL BE REMOVED TO CONSTRUCT A NEW BUILDING WHOSE FOOTPRINT WILL EXTEND TO THE PROPERTY BOUNDARIES ON ALL 4 SIDES OF THE SITE. THE SITE HAD BEEN COMPLETELY IMPERVIOUS ORIGINALLY AND THE NEW CONFIGURATION WILL BE THE SAME THEREFORE, THE NEW DEVELOPMENT WILL NOT INCREASE THE HISTORICAL DISCHARGE FROM THIS SITE. THE SITE IS LOCATED AT THE SEC OF CENTRAL AVE. AND MONTCLAIR SE AND IS BORDERED BY AN ALLEY ON THE SOUTH AND A MASONRY SITE WALL ALONG THE EAST BOUNDARY OF THIS SITE. THE PORTION OF ALLEY BORDERING THIS SITE WILL BE REPAVED AS PART OF THIS PROJECT PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS #2411 AND #2415. THIS ALLEY WILL FACILITATE CONVEYANCE OF ROOF DRAINAGE OFF OF THE SITE TO DOWNSTREAM FACILITIES IN MONTCLAIR AVE. WHERE RUNOFF WILL THEN FLOW TO STORM DRAIN FACILITIES IN CENTRAL AVE. THAT INCLUDE A BELOW GRADE STORM DRAIN WITH CATCH BASINS ALONG THE SOUTH SIDE OF CENTRAL. NO OFFSITE DRAINAGE AFFECTS THIS SITE SINCE IT IS BORDERED BY STREETS AND ALLEYS ON 3 SIDES AND A SITE WALL ON THE EAST.

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2 DESIGN STORM: (IN)		1hr	6hr	24hr	4day	10day
		2.01	2.35	2.75	3.30	3.95
EXISTING CONDITIONS	AREA	P6	Q	Q	V6	V24
LAND	(ACRE)		(CFS/AC)	(CFS)	(CF)	(CF)
TRTMNT	%					
A	0.000	0%	0.53	1.56	0.00	0
B	0.000	0%	0.78	2.28	0.00	0
C	0.000	0%	1.13	3.14	0.00	0
D	0.596	100%	2.12	4.70	2.80	4,587
TOTALS	0.596	100%		2.80	4,587	5,452
PROPOSED CONDITIONS	AREA	P6	Q	Q	V6	V24
LAND	(ACRE)		(CFS/AC)	(CFS)	(CF)	(CF)
TRTMNT	%					
A	0.000	0%	0.53	1.56	0.00	0
B	0.000	0%	0.78	2.28	0.00	0
C	0.000	0%	1.13	3.14	0.00	0
D	0.596	100%	2.12	4.70	2.80	4,587
TOTALS	0.596	100%		2.80	4,587	5,452



LEGAL DESCRIPTION

LOTS NUMBERED ONE (1) THROUGH EIGHT (8), INCLUSIVE, IN BLOCK NUMBERED SEVEN (7), OF MESA GRANDE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 18, 1931 IN PLAT BOOK C2, FOLIO 27.

BASIS OF ELEVATIONS

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "5-K17A", HAVING AN ELEVATION OF 5222.21

EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

- 1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ISSUE: 100% CONSTRUCTION DOCUMENTS
DRAWN BY: LEK
CHECKED BY: MJW
DATE: 2017.09.13

REVISIONS

GRADING and DRAINAGE PLAN