

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

August 15, 2018

Mike Walla, P.E.
Walla Engineering
6501 Americas Pwky NE, Suite 301
Albuquerque, NM, 87110

**RE: The Cage
4100 Central Ave. SE
Permanent C.O. - Accepted
Engineer's Certification Dated 08/13/18
Engineer's Stamp Date: 09/15/17
Hydrology File: K17D114**

PO Box 1293

Dear Mr. Walla:

Albuquerque

Based solely on the Hydrology Certification received from Mike Walla, P.E. received 08/13/18, Hydrology has no objection in support of Permanent Release of Occupancy with this certification.

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

www.cabq.gov

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: THE CAGE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOTS NUMBERED 1 THROUGH 8, BLOCK 7, OF MESA GRANDE, ALBUQUERQUE, NEW MEXICO
City Address: 4100 CENTRAL AVE. SE, ALBUQUERQUE, NEW MEXICO 87108

Applicant: WALLA ENGINEERING **Contact:** MIKE WALLA
Address: 6501 AMERICAS PARKWAY NE, SUITE 301, ALBUQUERQUE, NM 87110
Phone#: 505-881-3008 **Fax#:** 505-881-4025 **E-mail:** mikew@wallaengineering.com

Other Contact: EDI **Contact:** KENT BEIERLE
Address: 142 TRUMAN ST. NE, ALBUQUERQUE, NM 87108
Phone#: 505-242-2851 **Fax#:** 505-242-2852 **E-mail:** kent@edi-arch.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

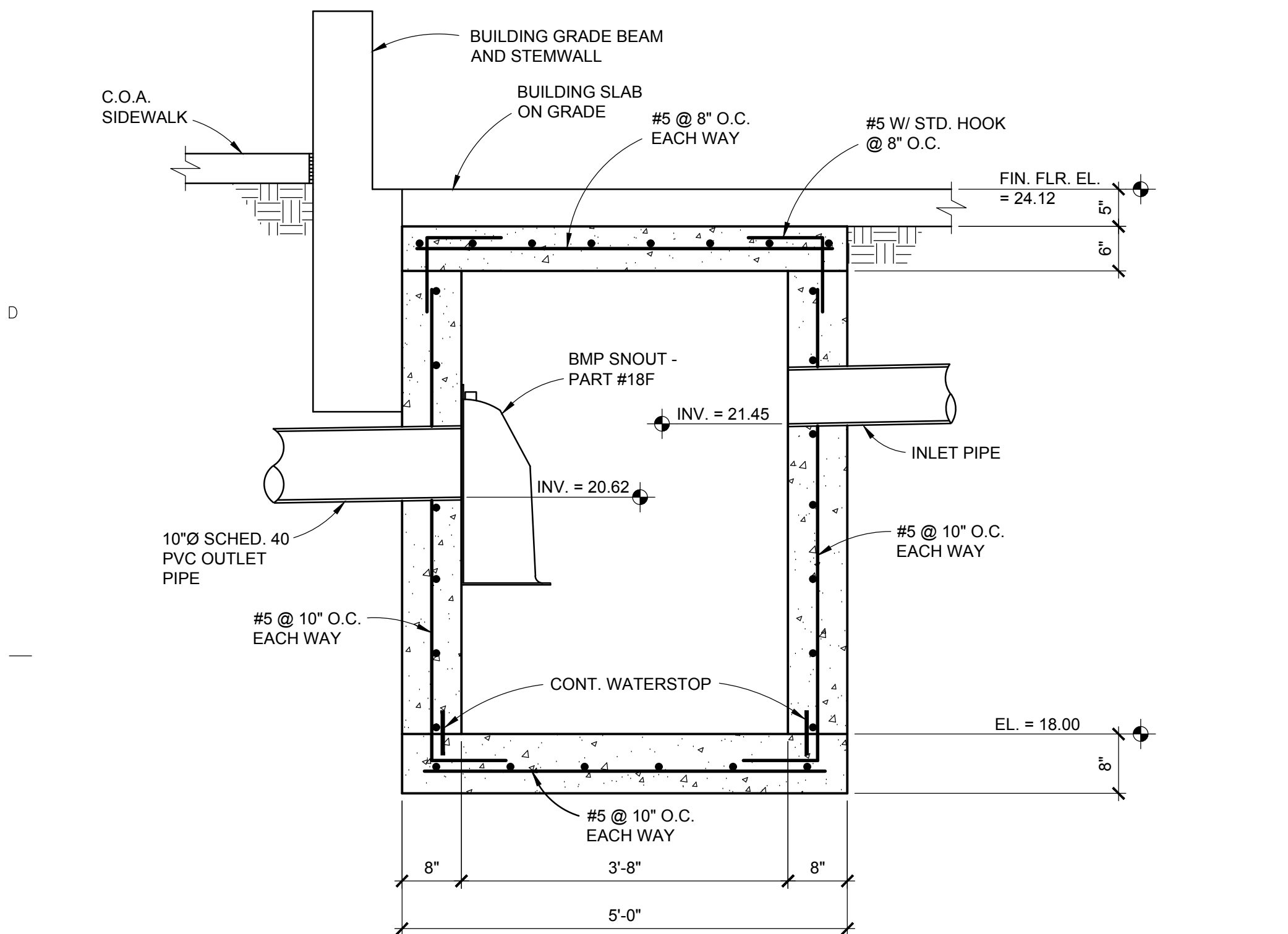
- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8-13-18 **By:** MIKE WALLA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

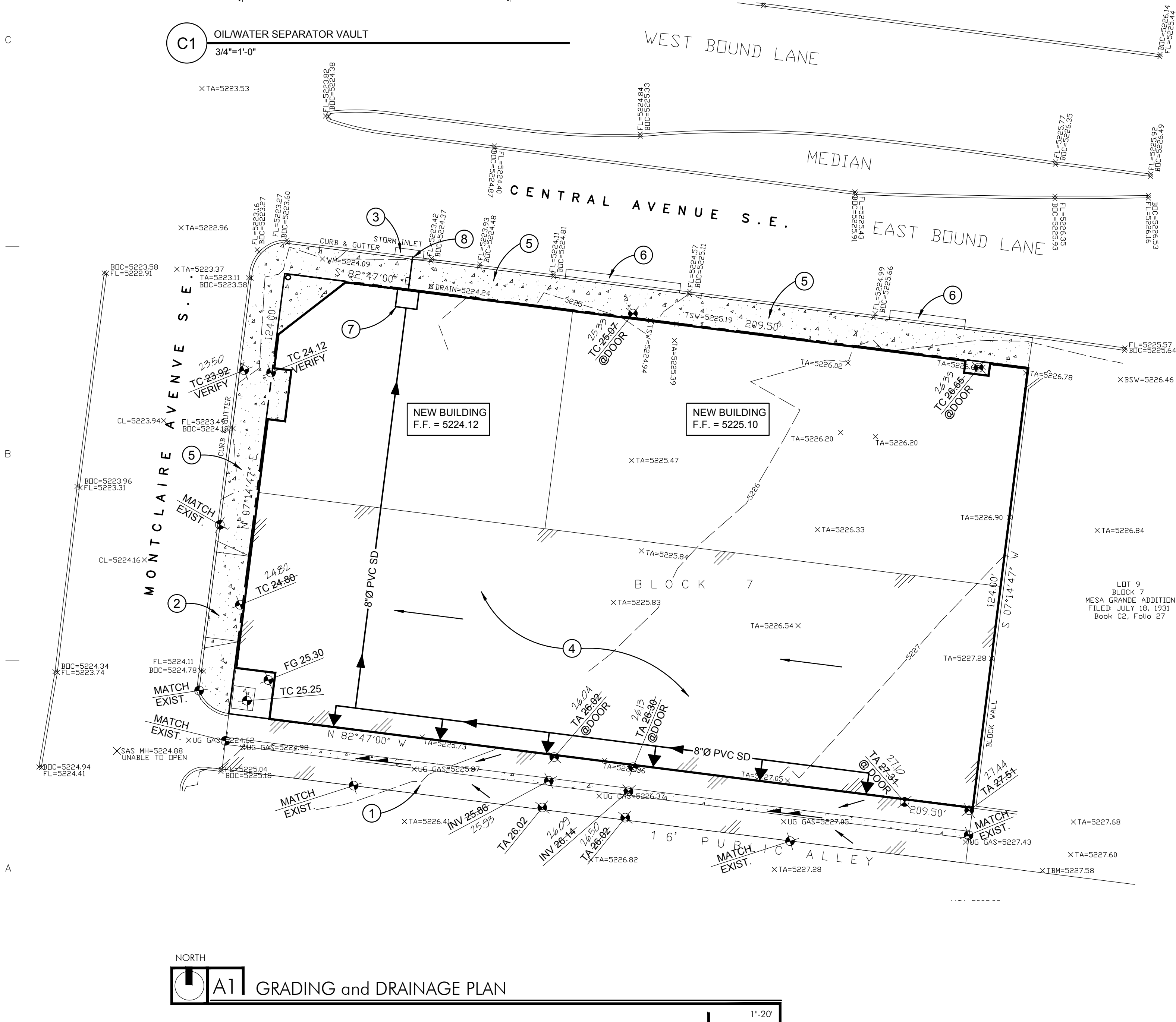
FEE PAID: _____



ENGINEERS CERTIFICATION

I, MIKE WALLA NMPE 11030, OF THE FIRM WALLA ENGINEERING, LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9-13-17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM CHRISTOPHER A. MEDINA, NMLPS #15702. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8-13-18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MIKE WALLA NMPE 11030



SHEET KEYNOTES

- 1 REMOVE AND REPLACE EXISTING ALLEY ASPHALT PAVING PER CITY OF ALBUQUERQUE STANDARD DRAWINGS #2411 AND #2415
- 2 NEW CONCRETE DRIVE PAD PER CITY OF ALBUQUERQUE STANDARD DRAWING #2425
- 3 REMOVE DEBRIS AT GRATE INSIDE EXISTING STORM INLET
- 4 SEE SHEET S101 FOR ASPHALT PAVING GRADE INSIDE BUILDING FOOTPRINT
- 5 REMOVE AND REPLACE EXISTING CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. #2430
- 6 REMOVE EXISTING LAYDOWN CURB AND GUTTER AND REPLACE WITH NEW CURB AND GUTTER PER C.O.A. STANDARD DWG. #2415
- 7 CONCRETE VAULT FOR OIL/WATER SEPARATION PER DETAIL C1/C101
- 8 CONNECT 10"Ø STORM DRAIN OUTLET PIPE TO BACK OF EXISTING STORM INLET PER C.O.A. STANDARD DWG. #2237

LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
X TA=5225.47	EXISTING SPOT ELEVATION
TC 24.80	NEW SPOT ELEVATION
---	BUILDING OUTLINE AT MAIN LEVEL
BOC	BACK OF CURB
FL	FLOW LINE
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE
FF	FINISHED FLOOR
FG	FINISHED GRADE
SD	STORM DRAIN
INV	INVERT
MH	MANHOLE
SAS	SANITARY SEWER
UG	UNDERGROUND
▼	ROOF DRAIN
→	FLOW DIRECTION
—+—	SWALE
▨	NEW ASPHALT PAVING
▤	NEW CONCRETE PAVING

DESIGN NARRATIVE

THE SUBJECT PROJECT IS A 0.596 ACRE DEVELOPED SITE THAT HAD PREVIOUSLY BEEN THE LOCATION OF A NIGHTCLUB AND PAVED PARKING LOT. THIS BUILDING HAS BEEN REMOVED AND ALL OTHER EXISTING SURFACE PAVING WILL BE REMOVED TO CONSTRUCT A NEW BUILDING WHOSE FOOTPRINT WILL EXTEND TO THE PROPERTY BOUNDARIES ON ALL 4 SIDES OF THE SITE. THE SITE HAD BEEN COMPLETELY IMPERVIOUS ORIGINALLY AND THE NEW CONFIGURATION WILL BE THE SAME THEREFORE, THE NEW DEVELOPMENT WILL NOT INCREASE THE HISTORICAL DISCHARGE FROM THIS SITE. THE SITE IS LOCATED AT THE SEC OF CENTRAL AVE. AND MONTCLAIR SE AND IS BORDERED BY AN ALLEY ON THE SOUTH AND A MASONRY SITE WALL ALONG THE EAST BOUNDARY OF THIS SITE. THE PORTION OF ALLEY BORDERING THIS SITE WILL BE REPAVED AS PART OF THIS PROJECT PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS #2411 AND #2415. THIS ALLEY WILL FACILITATE CONVEYANCE OF ROOF DRAINAGE OFF OF THE SITE TO DOWNSTREAM FACILITIES IN MONTCLAIR AVE. WHERE RUNOFF WILL THEN FLOW TO STORM DRAIN FACILITIES IN CENTRAL AVE. THAT INCLUDE A BELOW GRADE STORM DRAIN WITH CATCH BASINS ALONG THE SOUTH SIDE OF CENTRAL. NO OFFSITE DRAINAGE AFFECTS THIS SITE SINCE IT IS BORDERED BY STREETS AND ALLEYS ON 3 SIDES AND A SITE WALL ON THE EAST.

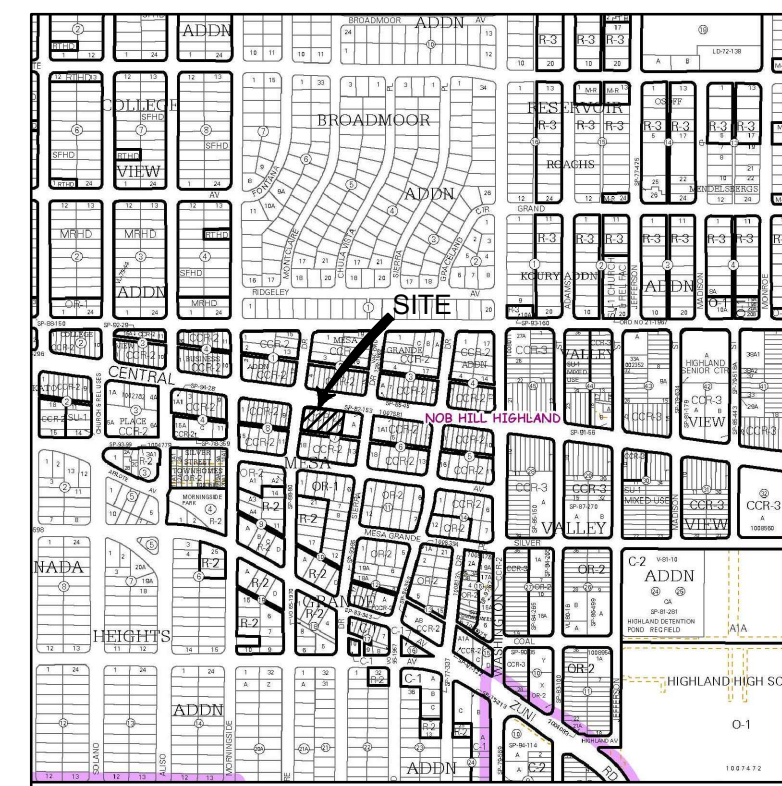
HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2
DESIGN STORM: (IN)

	1hr	6hr	24hr	4day	10day
	2.01	2.35	2.75	3.30	3.95

EXISTING CONDITIONS	LAND AREA	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY
TRMTMT	(ACRE)	%		(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0	0
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.596	100%	2.12	4.70	2.80	4,587	5,452	6,642	8,048
TOTALS	0.596	100%			2.80	4,587	5,452	6,642	8,048

PROPOSED CONDITIONS	LAND AREA	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY
TRMTMT	(ACRE)	%		(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0	0
C	0.000	0%	1.13	3.14	0.00	0	0	0	0
D	0.596	100%	2.12	4.70	2.80	4,587	5,452	6,642	8,048
TOTALS	0.596	100%			2.80	4,587	5,452	6,642	8,048



VICINITY MAP K-17-Z

LEGAL DESCRIPTION

LOTS NUMBERED ONE (1) THROUGH EIGHT (8), INCLUSIVE, IN BLOCK NUMBERED SEVEN (7), OF MESA GRANDE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 18, 1931 IN PLAT BOOK C2, FOLIO 27.

BASIS OF ELEVATIONS

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "5-K17A", HAVING AN ELEVATION OF 5222.21

EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ISSUE:
100% CONSTRUCTION
DOCUMENTS

DRAWN BY: LEK
CHECKED BY: MJW
DATE: 2017.09.13

REVISIONS

NO.	DESCRIPTION

GRADING and DRAINAGE PLAN

17005
C101