

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

July 17, 2017

Mike Walla, P.E.
Walla Engineering
6501 Americas Pwky NE, Suite 301
Albuquerque, NM, 87110

**RE: The Cage
Grading and Drainage Plan
Stamp Date: 7/12/17
Hydrology File: K17D114**

Dear Mr. Walla:

Based upon the information provided in your submittal received 7/12/17, the Grading and Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. The storm water quality volume for this site is required in order to manage the storm water runoff. Since this is a redevelopment site, the storm water quality volume is calculated based on the 0.48 inch storm. To calculate the required storm water quality volume to be captured, multiply the impervious area by 0.28 inches for the 80th percentile storm.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Reneé C. Brissette

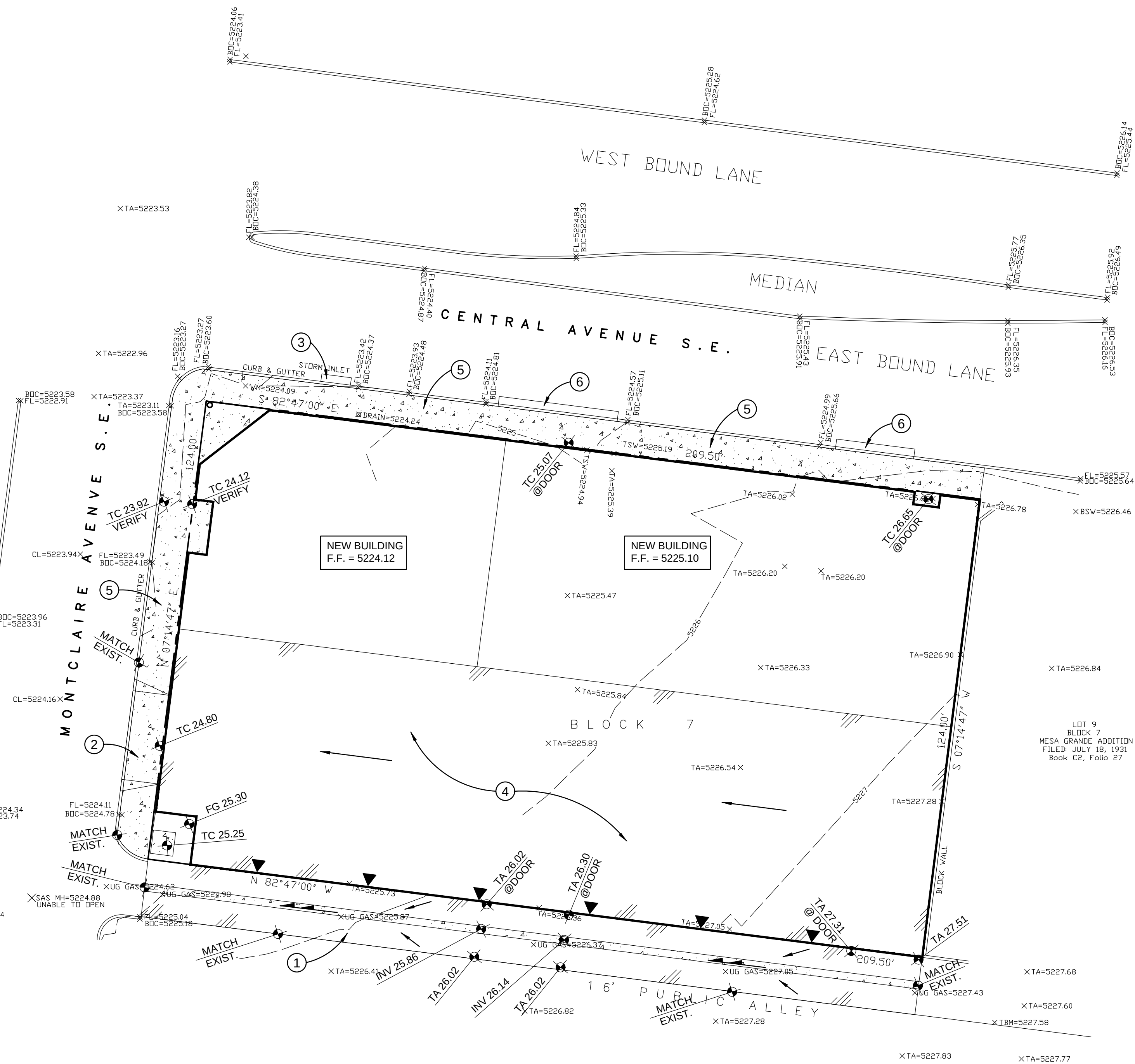
Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department

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A



A1 GRADING and DRAINAGE PLAN

SHEET KEYNOTES

- 1 REMOVE AND REPLACE EXISTING ALLEY ASPHALT PAVING PER CITY OF ALBUQUERQUE STANDARD DRAWINGS #2411 AND #2415
- 2 NEW CONCRETE DRIVE PAD PER CITY OF ALBUQUERQUE STANDARD DRAWING #2425
- 3 REMOVE DEBRIS AT GRATE IN INSIDE EXISTING STORM INLET
- 4 SEE SHEET \$101 FOR ASPHALT PAVING GRADE INSIDE BUILDING FOOTPRINT
- 5 REMOVE AND REPLACE EXISTING CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. #2430
- 6 REMOVE EXISTING LAYDOWN CURB AND GUTTER AND REPLACE WITH NEW CURB AND GUTTER PER C.O.A. STANDARD DWG. #2415

LEGEND

- PROPERTY LINE
- 5226--- EXISTING CONTOUR
- X TA=5225.47 EXISTING SPOT ELEVATION
- TC 24.80 NEW SPOT ELEVATION
- BUILDING OUTLINE AT MAIN LEVEL
- BOC BACK OF CURB
- FL FLOW LINE
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- FF FINISHED FLOOR
- FG FINISHED GRADE
- INV INVERT
- MH MANHOLE
- SAS SANITARY SEWER
- UG UNDERGROUND
- ▼ ROOF DRAIN
- FLOW DIRECTION
- SWALE
- NEW ASPHALT PAVING
- NEW CONCRETE PAVING

DESIGN NARRATIVE

THE SUBJECT PROJECT IS A 0.596 ACRE DEVELOPED SITE THAT HAD PREVIOUSLY BEEN THE LOCATION OF A NIGHTCLUB AND PAVED PARKING LOT. THIS BUILDING HAS BEEN REMOVED AND ALL OTHER EXISTING SURFACE PAVING WILL BE REMOVED TO CONSTRUCT A NEW BUILDING WHOSE FOOTPRINT WILL EXTEND TO THE PROPERTY BOUNDARIES ON ALL 4 SIDES OF THE SITE. THE SITE HAD BEEN COMPLETELY IMPERVIOUS ORIGINALLY AND THE NEW CONFIGURATION WILL BE THE SAME THEREFORE, THE NEW DEVELOPMENT WILL NOT INCREASE THE HISTORICAL DISCHARGE FROM THIS SITE. THE SITE IS LOCATED AT THE SEC OF CENTRAL AVE. AND MONTCLAIR SE AND IS BORDERED BY AN ALLEY ON THE SOUTH AND A MASONRY SITE WALL ALONG THE EAST BOUNDARY OF THIS SITE. THE PORTION OF ALLEY BORDERING THIS SITE WILL BE REPAVED AS PART OF THIS PROJECT PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS #2411 AND #2415. THIS ALLEY WILL FACILITATE CONVEYANCE OF ROOF DRAINAGE OFF OF THE SITE TO DOWNSTREAM FACILITIES IN MONTCLAIR AVE. WHERE RUNOFF WILL THEN FLOW TO STORM DRAIN FACILITIES IN CENTRAL AVE. THAT INCLUDE A BELOW GRADE STORM DRAIN WITH CATCH BASINS ALONG THE SOUTH SIDE OF CENTRAL. NO OFFSITE DRAINAGE AFFECTS THIS SITE SINCE IT IS BORDERED BY STREETS AND ALLEYS ON 3 SIDES AND A SITE WALL ON THE EAST.

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2				1hr	6hr	24hr	4day	10day
DESIGN STORM: (IN)				2.01	2.35	2.75	3.30	3.95
EXISTING CONDITIONS	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY
LAND AREA	(ACRE)	%	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)
TRTMNT								
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.596	100%	2.12	4.70	2.80	4,587	5,452	6,642
TOTALS	0.596	100%		2.80	4,587	5,452	6,642	8,048
PROPOSED CONDITIONS	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY
LAND AREA	(ACRE)	%	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)
TRTMNT								
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0
C	0.000	0%	1.13	3.14	0.00	0	0	0
D	0.596	100%	2.12	4.70	2.80	4,587	5,452	6,642
TOTALS	0.596	100%		2.80	4,587	5,452	6,642	8,048



VICINITY MAP K-17-Z

LEGAL DESCRIPTION

LOTS NUMBERED ONE (1) THROUGH EIGHT (8), INCLUSIVE, IN BLOCK NUMBERED SEVEN (7), OF MESA GRANDE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 18, 1931 IN PLAT BOOK C2, FOLIO 27.

BASIS OF ELEVATIONS

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "5-K17A", HAVING AN ELEVATION OF 5222.21

EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ISSUE:
100% CONSTRUCTION DOCUMENTS
DRAWN BY: LEK
CHECKED BY: MJW
DATE: 2017.07.12

REVISIONS
00.00.08
DESCRIPTION

GRADING and DRAINAGE PLAN

17005
C101
- OF -