## CITY OF ALBUQUERQUE



July 28, 2017

Mark Baker Baker Architecture + Design 505 Central Ave. NW Suite E Albuquerque, NM 87102

Re: High And Dry Brewery
Project Address
Traffic Circulation Layout
Architect's Stamp 7-24-17 (K17D115)

Dear Mr. Baker.

Based upon the information provided in your submittal received 7-25-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Identify the right of way width, sidewalk, and street widths on Adams Street.
- 2. Clarify existing property lines and proposed property lines.
- 3. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
- 4. Label the compact parking spaces by placing the words "COMPACT" on the pavement of each space.
- 5. Solid Waste vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
- One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of posted signs.
- 7. Provide dimension from the telephone pole to the property line on the west side of the site.
- 8. The Alley on the west side of the site should be paved. Per city standard drawing.
- 9. Work within the public right of way requires a work order with DRC approved plans.
- 10. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
- Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3630.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

# CITY OF ALBUQUERQUE



Sincerely,

Logan Patz

Senior Engineer, Planning Dept. Development Review Services

Logon Pat

MA/LP via: email C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



### City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Lagal Description: 422 423475 07650461	EPC-40070 Work Order#:
Legal Description: 022 032HTS RESERVOIR	1 K32 LTS 23 422
City Address: 529 ADAMS ST NE ALBO	DQUERQUE, NM 97109
Applicant: BAKER ARCHITECTURE + DESI	
Address: 505 CENTRAL AVE NW SUITE E	Contact: (SOS) 254-4697
Phone#: (505) 254-4697 Fax#:	
Other Contact:	
Address:	
Phone#: Fax#:	E-mail:
Check all that Apply:	
DEPARTMENT:	TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
HYDROLOGY/ DRAINAGE	✓ BUILDING PERMIT APPROVAL
✓ TRAFFIC/ TRANSPORTATION  MS4/ EROSION & SEDIMENT CONTROL	CERTIFICATE OF OCCUPANCY
MO W ENCOSION & SEDIMENT CONTROL	GRADING/ESC PERMIT APPROVAL
TYPE OF SUBMITTAL:	
AS-BUILT CERTIFICATION _ [	PRELIMINARY PLAT APPROVAL
D	SITE PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN JUL 2 5 2017	SITE PLAN FOR BLDG. PERMIT APPROVAL
GRADING PLAN	FINAL PLAT APPROVAL
DRAINAGE MASTER PLAN LAND DEVELOPMENT SECTION	NC NC
DRAINAGE REPORT	SIA/ RELEASE OF FINANCIAL GUARANTEE
CLOMR/LOMR	FOUNDATION PERMIT APPROVAL
/ TDAFFIG CURCULATION A AVOID TO	SO-19 APPROVAL
✓ TRAFFIC CIRCULATION LAYOUT (TCL)  TRAFFIC IMPACT STUDY (TIS)	PAVING PERMIT APPROVAL
NEIGHBORHOOD IMPACT ASSESMENT (NIA)	GRADING/ PAD CERTIFICATION
NEIGHBORHOOD IMPACT ASSESMENT (NIA)	WORK ORDER APPROVAL
EROSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LOMR
OTHER (SPECIFY)	DDE DEGLOVA CONTROL
(GI LCH 1)	PRE-DESIGN MEETING?
	OTHER (SPECIFY)
S THIS A RESUBMITTAL?: Yes  V No	OTTER (DI ECH 1)
100 4	1,00
DATE SUBMITTED: 7.25-2017 By: 1	1/an 1 (1) X X

FEE RECEIVED: \_\_\_

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_

ZONE ATLAS PAGE: K -17 - E

ADDRESS:

**ZONING:** 

LEGAL DESCRIPTION:

TYPE OF DEVELOPMENT:

SIZE OF DEVELOPMENT:

529 ADAMS ST NE ALBUQUERQUE, NM 87108 022 032HTS RESERVOIR TR32 LTS 23&22

C-2

BREWERY AND TAPROOM

EXISTING BUILDING IS 4,955 SF AND SITE IS 14,850 SF.

### PARKING REQUIREMENTS

THE TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED PER THE ALBUQUERQUE ZONING CODE IS 23 SPACES.

THE TOTAL NUMBER OF OFF-STREET PARKING SPACES PROVIDED IS <u>23</u>.

PARKING CALCULATION: 1 PARKING SPACE IS REQUIRED PER 4 SEATS. 102 SEATS / 4 = 25.5 SPACES 10% REDUCTION FOR PROXIMITY TO TRANSIT 25.5 - 2.55 = 22.95 SPACES ~ <u>23 SPACES REQUIRED</u>

ADA ACCESSIBLE MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES PER IBC TABLE 1106.1 IS <u>1 SPACE</u>.

THE NUMBER OF ACCESSIBLE PARKING SPACES PROVIDED IS 1.

MOTORCYCLE
THE TOTAL NUMBER OF MOTORCYCLE SPACES REQUIRED PER THE ALBUQUERQUE ZONING CODE IS 1 SPACE.

THE TOTAL NUMBER OF MOTORCYCLE SPACES PROVIDED IS 1.

BICYCLE

1 SPACE REQUIRED PER 20 PARKING SPACES. NO LESS THAN 2. 23 PARKING SPACES / 20 = 1.15 ~ 2 SPACES REQUIRED

THE TOTAL NUMBER OF BICYCLE SPACES PROVIDED IS 7.

#### **EXECUTIVE SUMMERY:**

CONVERT AN EXISTING INDUSTRIAL BUILDING IN THE HIGHLAND NEIGHBORHOOD CURRENTLY USED AS A TATTOO PARLOR INTO A MICROBREWERY. THE EXISTING BUILDING IS 4,955 SF AND THE SITE IS 14,850 SF.

IMPROVEMENTS TO THE PROPERTY WILL INCLUDE A MAJOR INTERIOR REMODEL AS WELL AS EXTERIOR IMPROVEMENTS. EXTERIOR IMPROVEMENTS INCLUDE: NEW FINISHES AND PAINT, NEW PATIO AND SMALL ROOF DECK, REMOVAL OF A LOADING DOCK AND A CHAINLINK-FENCED STORAGE YARD. SITE IMPROVEMENTS WILL ALSO INCLUDE RESURFACING, ADDING SIGNAGE, ACCESSIBLE PARKING, BUMPERS, AND ISLANDS TO THE PARKING AREA, A NEW DUMPSTER ENCLOSURE AND A GENERAL CLEAN UP OF THE PROPERTY.

THE TRAFFIC CIRCULATION CONCEPT FOR THE DEVELOPMENT IS SUCH THAT VEHICLES SHALL ENTER FROM ADAMS STREET ON THE EAST SIDE OF THE PROPERTY. PROCEEDING WEST THOUGH THE ONE-WAY PARKING LOT, VEHICLES WILL THEN MAKE A RIGHT TURN INTO THE ADJACENT ALLEY, CONTINUE NORTH TO THE PROPERTY LINE, AND PROCEED EITHER EAST OR WEST TO EXIT ONTO ADAMS ST OR WASHINGTON ST.

505 CENTRAL AVE NW SUITE E ALBUQUERQUE, NM 87102 T 505.254.4697 www.bakerAD.com

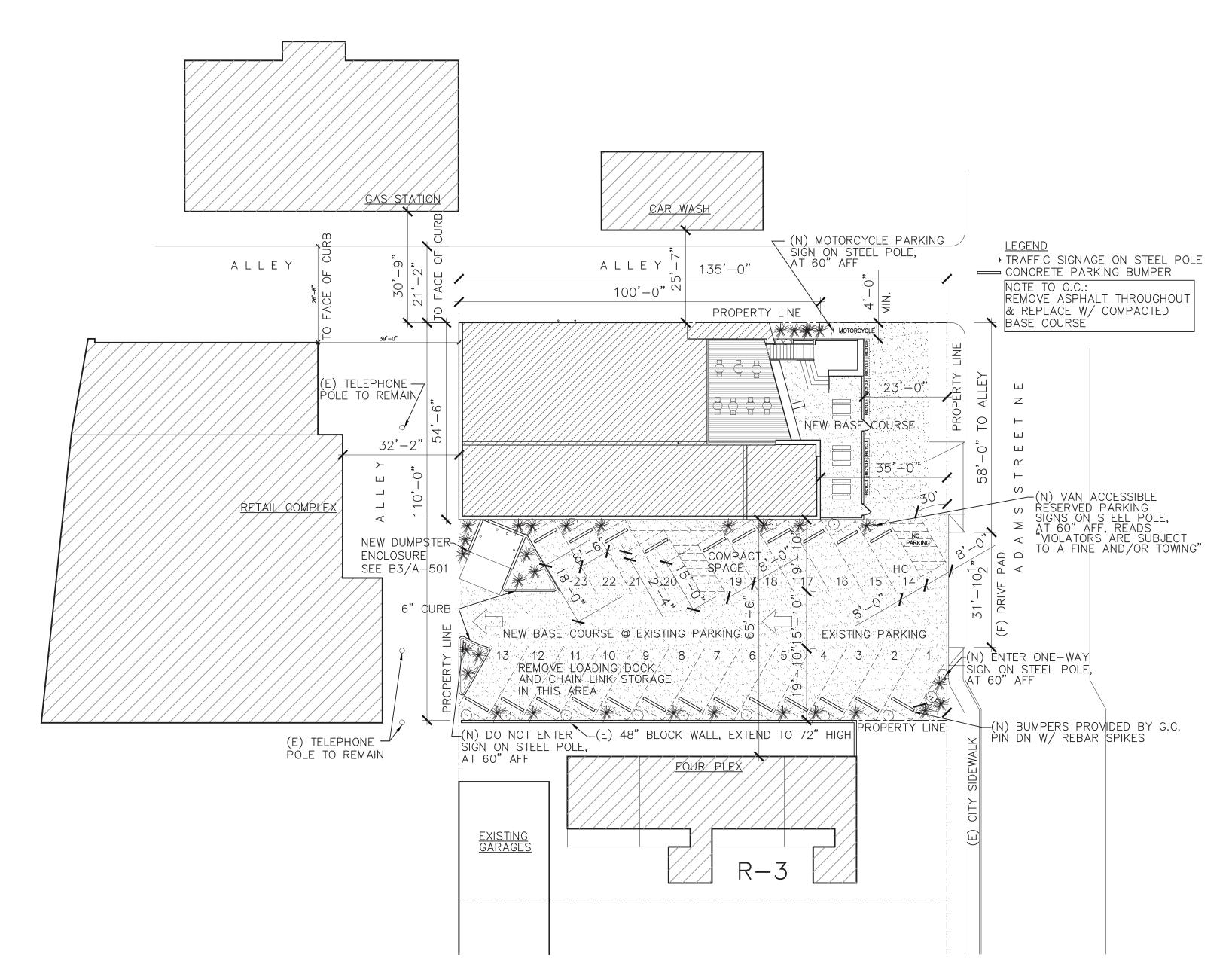


MARK DATE DESCRIPTION

B\_AD PROJECT # 07/24/201 DRAWN BY: CHECKED BY:

TRAFFIC CIRCULATION LAYOUT

SHEET 1 OF 1



TRAFFIC CIRCULATION LAYOUT