

CITY OF ALBUQUERQUE



July 28, 2017

Mark Baker
Baker Architecture + Design
505 Central Ave. NW Suite E
Albuquerque, NM 87102

Re: High And Dry Brewery
Project Address
Traffic Circulation Layout
Architect's Stamp 7-24-17 (K17D115)

Dear Mr. Baker,

Based upon the information provided in your submittal received 7-25-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width, sidewalk, and street widths on Adams Street.
2. Clarify existing property lines and proposed property lines.
3. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
4. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
5. Solid Waste vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
6. One-way vehicular paths require pavement directional signage and a posted "**Do Not Enter**" sign at the point of egress. Please show detail and location of posted signs.
7. Provide dimension from the telephone pole to the property line on the west side of the site.
8. The Alley on the west side of the site should be paved. Per city standard drawing.
9. Work within the public right of way requires a work order with DRC approved plans.
10. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
11. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3630.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

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Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

MA/LP via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: HIGH & DRY BREWERY Building Permit #: BP-2017-21737 Hydrology File #: K17D115
DRB#: _____ EPC#: 16EPL-40070 Work Order#: _____
Legal Description: 022 032 HTS RESERVOIR TR32 LTS 23 & 22
City Address: 529 ADAMS ST NE ALBUQUERQUE, NM 87109

Applicant: BAKER ARCHITECTURE + DESIGN Contact: (505) 254-4697
Address: 505 CENTRAL AVE NW SUITE E
Phone#: (505) 254-4697 Fax#: - E-mail: baker@bakerad.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 7-25-2017

By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____



THE TOTAL NUMBER OF BICYCLE SPACES PROVIDED IS 7.

THE TRAFFIC CIRCULATION CONCEPT FOR THE DEVELOPMENT IS SUCH THAT VEHICLES SHALL ENTER FROM ADAMS STREET ON THE EAST SIDE OF THE PROPERTY. PROCEEDING WEST THOUGH THE ONE-WAY PARKING LOT, VEHICLES WILL THEN MAKE A RIGHT TURN INTO THE ADJACENT ALLEY, CONTINUE NORTH TO THE PROPERTY LINE, AND PROCEED EITHER EAST OR WEST TO EXIT ONTO ADAMS ST OR WASHINGTON ST.



TCL

SHEET 1 OF 1